

# EAST CENTRAL CITY

## A Plan for the Redevelopment of East Central City



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Prepared for the  
East Central City Consortium, Inc.  
and the  
City of Columbia, South Carolina

June 2004

**F. A. JOHNSON CONSULTING GROUP, INC.**

MANAGEMENT DEVELOPMENT CONSULTANT  
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# Acknowledgements

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The City of Columbia  
Benedict-Allen Community Development Corporation  
Fannie Mae South Carolina Partnership Office  
Columbia Housing Authority

## Mayor and City Council Members:

Robert D. Coble	Mayor
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# Acknowledgements

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Lower Waverly Neighborhood Association	Durham Carter
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Lyon Street Neighborhood Association	Kenneth Burton
Midland Terrace Neighborhood Association	Jeanette McBride
Pinehurst Community Association	Brenda Oliver
Booker Washington Heights Association	Katheryn Bellfield
Barhamville Estates	Edith Holmes
Jones McDonald Community Club	Elise Martin
Edgewood Neighborhood Council	Myrtle Gordon
Eva P. Trezevant Neighborhood Club	Gardenia Fair
South Edisto Court Community Association	Bessie Watson
Allen University	Mia Butler
Benedict College	Dr. Shelia Ards
At-large	Frank McBride
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# Introduction and Executive Summary

Introduction and Executive Summary



# Introduction and Executive Summary

## Synopsis

We are pleased to present the following Plan for the Redevelopment of East Central City . This Master Land Use and Redevelopment Plan was prepared on behalf of the East Central City Consortium, Inc. (“ECCC”) and the City of Columbia (“City”). This plan was prepared in accordance with the South Carolina Community Development Law pursuant to S.C. Code 1976, § 31-10-10 et seq.

The scope of the Plan for the Redevelopment of East Central City is twofold: First, this report provides a redevelopment plan in the form of an Implementation Plan, **identifying initial catalyst projects for twelve of Columbia’s core neighborhoods with blighting influences**; and Second, it presents a Master Land Use Plan to develop generalized criteria for the overall development of the corridor, the elimination of the **blighting influences**, and the construction of necessary public infrastructure.

A number of factors described in this report along, with a number of other problems, have contributed to disinvestment and the demise of the project area to an intolerable level. The Redevelopment Plan, as described in this report, consists of the basic elements necessary to provide an action plan for implementing the redevelopment of the project area and eliminating blighting influences in a manner that will not only accommodate residents, but will also accommodate people residing in other areas of the City as well. This action plan is based upon sound economic principles and recognizes the problems characteristic of a blighted residential area within an inner-city neighborhood. This action plan will also provide the foundation for initial catalyst projects, which will serve as **development generators** needed to bring about the changes to the environment surrounding the catalysts. Finally, the Redevelopment Plan will constitute the “road map” for further development of the project area.

As a practical matter, many of the buildings in the project area have reached a stage of physical deterioration precluding their physical rehabilitation. However, scale and detail of these buildings contribute to the basic framework by which to guide the construction of new housing that are to replace them. If this development plan is carried out, the East Central City Redevelopment Area will once again become the rich and lively corridor it once was, and take its rightful role as a focal point for the surrounding neighborhoods.



*Mitchell St in the South Edisto Court Community*



*Abandoned Buildings on Heidt St*

# Introduction and Executive Summary

## Boundaries of The Redevelopment Area

The East Central City Redevelopment Project Area is comprised of approximately 1,050 acres. The majority of the project area consists of the contiguous area generally bounded by: Harden St to the west, Belt Line Rd to the north, the Forest Acres Community to the east and Santee Ave to the south. In addition, +/- 50 acres not contiguous to the project area are located to the south of the main project area. This area, known as the South Edisto Court Neighborhood, is bordered by the Owens Field to the south, a railroad-switching yard to the west, Holt St to the east, and Superior St to the north.

The attached boundary map, along with the previous location map, denotes the Redevelopment Project Area.

## Background

The East Central City Consortium is a partnership between twelve neighborhood associations Fannie Mae South Carolina Partnership Office and City of Columbia representatives dedicated to establishing a vision for the community. Initiated in the fall of 2002, ECCC was formed to create a master plan for the 1,050 plus acre area known as East Central City. Located to the east of the Central Business District of Columbia, South Carolina, **the East Central City was one of the first suburban neighborhoods of Columbia in the 1890's.** The area has suffered from decades of neglect, poor development choices and a population exodus. **The master plan focuses on creating affordable housing choices for future and current residents and improving retail goods and services within the community as well as planning for growth of local institutional uses.** The ECCC, a non-profit development organization, encompasses twelve neighborhood groups. These neighborhood groups are working in partnership with the City of Columbia, the Fannie Mae South Carolina Partnership Office, Allen University, Benedict College, the Columbia Housing Authority, the US Department of Housing and Urban Development, Providence Hospital, Richland County, Richland County School District One, Columbia-Sumter Empowerment Zone, the office of Congressman James Clyburn and many faith based organizations. These groups came together to endorse the concept of working to create a plan for not one entity, but for all.

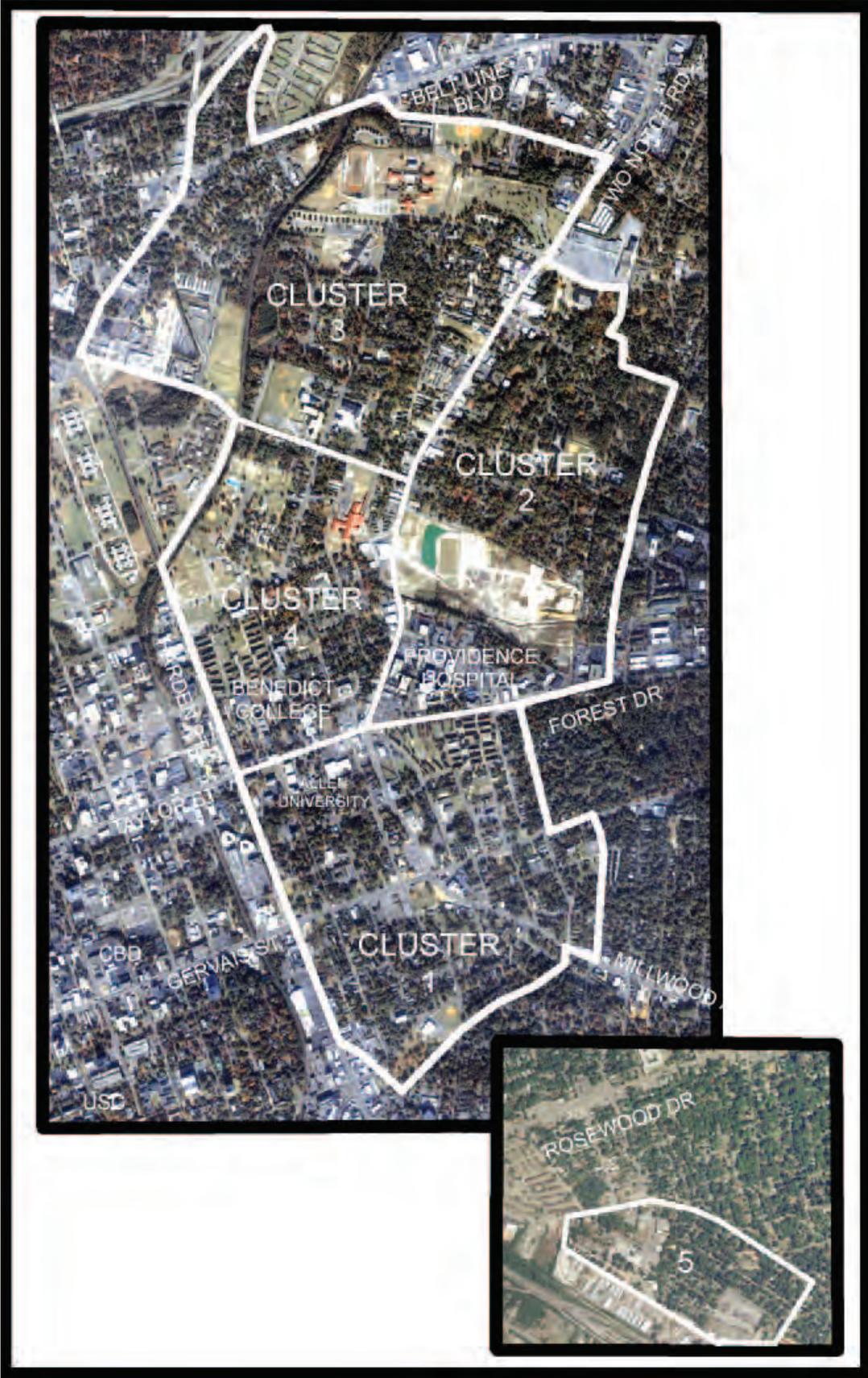


*Vacant lots on Wiley St*



*Mayor Coble announcing the East Central City Consortium Initiative*

# Introduction and Executive Summary



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## Executive Summary

### The Process

F.A. Johnson Consulting Group, Inc., conducted a four-step program in creating the master plan for East Central City. The four steps consisted of:

- ◆ **Community Analysis** – The development team conducted a three part community analysis to help “paint” a picture of the existing conditions within the community.
- **Site Analysis** – The site analysis was a physical assessment of the community. The development team conducted a field inventory of the existing conditions within the development area. These items included evaluating current land uses and building conditions as well as street patterns and pedestrian circulation. In addition, the development team reviewed the City’s existing zoning regulations, future land use plan and Capital Improvements Program.
- **Market Analysis** – The market analysis identified many of the economic conditions within and around the development area. It evaluated over 3600 parcels within the community and identified current land owners, as well as existing zoning and building conditions.
- **Community Workshops** – The most important element of the community analysis. During these workshops, residents were able to interact with each other and engage with the development team’s designers to create the framework for the master plan through a visual preference survey and tabletop planning session.
- ◆ **Master Plan** - The master plan was developed using the framework created during the community analysis phase. It encompasses the proposed land use plan, along with the development guidelines and streetscape concepts to promote the vision of what the community could become.
- ◆ **Catalyst Projects** – The catalyst projects were identified during the community analysis phase and were developed in coordination with the master plan. Many of these catalysts were identified by the site and market analysis as well as during the community workshops. Twenty-one catalysts were identified. The tier-one catalysts represent the initial proposed projects scheduled for implementation.
- ◆ **Implementation** – The implementation of the master plan in a timely manner is essential for the redevelopment of the East Central City. This action plan outlines specific strategies for achieving this goal.

Cluster One
Lower Waverly Neighborhood Association
Lyon Street Neighborhood Association
Waverly Neighborhood Association
Allen University

Cluster Two
Midland Terrace Neighborhood Association
Pinehurst Community Council
Providence Hospital

Cluster Three
Barhamville Estates
Booker Washington Heights Neighborhood
Jones McDonald Community Club

Cluster Four
Edgewood Neighborhood Council
Eva P. Trezevant Neighborhood
Benedict College
Columbia Housing Authority

Cluster Five
South Edisto Court Community

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With the enormous scale of the area, neighborhoods were grouped together in clusters. These clusters allowed the community workshops to be better organized, to be more specific to each area within the neighborhoods and to allow residents of all neighborhoods to have a voice. Five clusters in all, were created. These clusters, divided by natural boundaries such as major street corridors, grouped adjacent neighborhoods together. These groupings enabled the residents to think of not only their own street or neighborhood, but what their larger community might and should be. Many of the “old” divisions between neighborhood groups were put aside as the residents realized that what happens to one neighborhood, good or bad, affects them all.



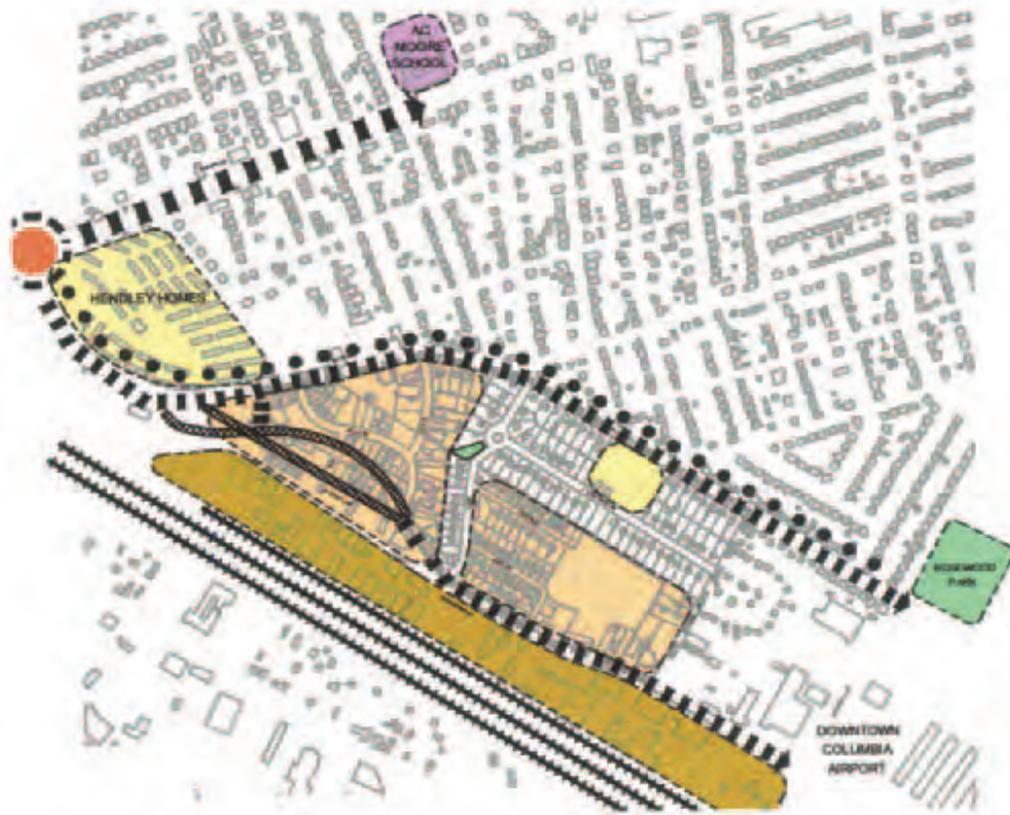
*Community Workshop*

# Introduction and Executive Summary



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## LEGEND

	NEW DEVELOPMENT/ REHABBED PROPERTY		SIGNIFICANT INTERSECTION/ POTENTIAL GATEWAY
	AREA FOR POTENTIAL REVITALIZATION		MAJOR ROAD
	EXISTING INSTITUTIONAL (GOVT SERVICES, HOSPITALS)		MINOR ROAD
	EXISTING SCHOOLS (PUBLIC SCHOOLS, HIGHER EDUCATION)		RAILROAD
	EXISTING INDUSTRIAL		BUS ROUTES
	EXISTING GREENSPACE / PARKS		

## SITE ANALYSIS

SOUTH EDISTO COURT

# Introduction and Executive Summary

## Existing Conditions

East Central City is characterized by single-family residential neighborhoods with traditional commercial corridors and large institutional uses. The area encompasses +/- 1050 acres of blighted conditions. The neighborhoods have suffered from years of governmental neglect and suburban flight. Two former public housing projects, Celia-Saxon and Hendley Homes, and the existing Allen-Benedict Court and Gonzales Gardens public housing projects have contributed to this condition. These large developments of low-income housing often had up to 400 residents placed within an existing community, interrupting the established economic and physical fabric. Minimal redevelopment efforts and a lack of capital improvements have left the communities with abandoned homes, vacant lots and heavy crime areas. Basic services such as street lighting, sidewalks, trash removal and code enforcement are absent within the community. Areas of the Lower Waverly and Lyons neighborhoods have not seen any new development or public investment for decades.

The traditional commercial corridors of Gervais St, Two Notch Rd, Harden St and Millwood Ave also have a negative influence upon the neighborhoods. As neighborhoods continued to develop to the north and south of East Central City, the population followed and so did the businesses. Today, many existing strip centers are vacant or contain commercial interests that are typical with low rent areas. Currently there are two grocery stores within the community.

Many positive elements exist within the community. The East Central project area is rich with history and a strong sense of community. The historic African American schools of Allen University and Benedict College provide a highly stable and untapped economic resource within the community. The schools combined enrollment exceeds 3500 students. The area also includes two new public schools and the C.A. Johnson Preparatory School. One of the city's largest hospitals, Providence Hospital, is located along one of the area's major arteries. Many neighborhoods have central gathering places, such as Pinehurst Park in the Pinehurst Community and Martin Luther King Park in the Lower Waverly neighborhood.

The neighborhood of Lower Waverly has been designated a historic district. The Waverly Neighborhood is currently pursuing a historic district designation. The Columbia Housing Authority, ("CHA"), has recently begun the redevelopment of the existing Celia Saxon Homes into a community of for-sale single-family homes, small-scaled rental properties, institutional uses such as the Charles R. Drew Wellness Center and a retail district. The existing Hendley Homes in the South Edisto community has been removed and CHA is currently pursuing funding for the redevelopment of this project into a new mixed-use community that is more compatible with the surrounding neighborhoods. Benedict College has recently developed a Business Development



*Vacant home on Germany St*



*Neglect in Waverly Neighborhood*



*Intersection of Gervais St and Millwood Ave*

# Introduction and Executive Summary

Center located on Two Notch Rd in order to assist the community with reinvesting within the community and starting new businesses.

In some isolated instances, individual investors have recently returned to selective portions of the project area. New and renovated homes have been built within the past few years within the area by the Columbia Housing Development Corporation, a City sponsored corporation. New homes within the Midlands Terrace and Waverly neighborhoods, and a new subdivision within the South Edisto Neighborhood have helped stabilize sections of their respective neighborhoods by introducing new residents to the community. However, as described above, this investment is the exception and not the norm.



*Faith Based Reinvestment*



*Two Notch Rd Corridor*

# Introduction and Executive Summary

## Community Workshop

Public workshops were conducted in June and July of 2003 with the residents of the neighborhoods. During these public workshops, the residents were asked to participate in a visual preference survey. The survey included images with varying land-use types and architectural styles as well as a questionnaire ranging from their general impressions of their community to identifying specific problems within the area. After the visual preference survey, the residents engaged with the development team's designers to create a master plan for their community. At the end of the day, each table presented their conceptual master plans to the group. Following these workshops, the development team, along with the ECCC board, developed a consensus master plan and identified potential catalyst plans. Both the conceptual master plan and catalyst concepts were presented to the residents in a follow-up workshop in November 2003. The residents were able to review the concepts, ask questions and voice concerns regarding the master plan and catalysts. In addition to these workshops, concepts and resident concerns were presented to City of Columbia staff, including the Public Utilities, Planning & Zoning, Traffic Engineering, Fire, Police, Parks & Recreation, Building Inspection, Engineering and Community Development departments in the summer and again in the fall of 2003 for review and comment.



Response	Total	Percentage
1	92	66%
2	14	10%
3	14	10%
4	7	5%
5	12	9%
Total	139	100%



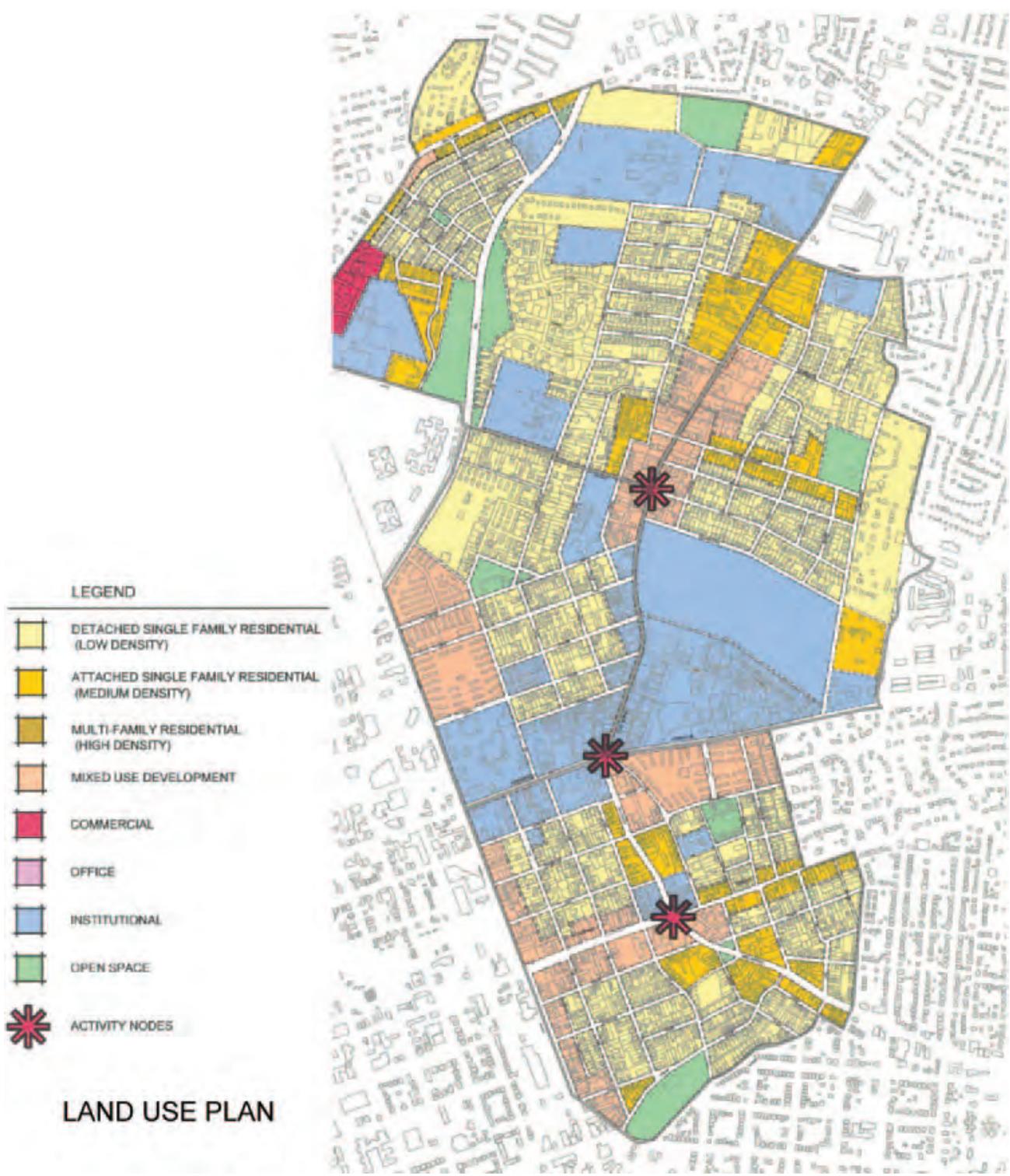
Response	Total	Percentage
1	71	54%
2	14	11%
3	20	15%
4	8	6%
5	18	14%
Total	131	100



Response	Total	Percentage
1	11	8%
2	9	7%
3	10	8%
4	13	10%
5	89	67%
Total	132	100

Response 1 indicated the image is very appropriate for their community while a Response 5 indicated the image is very inappropriate within the community

# Introduction and Executive Summary



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## Master Plan

The master plan was developed based upon three elements of the community analysis. First, the site analysis provided the physical impression of the area; Second, the market analysis provided the economic conditions of the area; and Third, the community workshops allowed the residents to voice their concerns, ideas and visions for their community. The master plan is a collaborative of these three elements. The following recommendations accompany the proposed land use plan. In addition, a set of **design guidelines** were developed to better articulate the community's ideas for how their neighborhood should look.

## Recommendations

- ◆ **Preserve the traditional single-family “core” neighborhoods**
  - The existing single-family fabric of the neighborhoods should be preserved and enhanced. Existing homes should be restored when feasible. New infill development within these cores should focus on single-family homes that are consistent in style and scale with the surrounding community.
- ◆ **Create centralized neighborhood activity nodes**
  - Concentrate high-density commercial areas at central locations within the community. These nodes should provide basic goods and services to the community. These nodes should be within walking distance for residents, provide a pedestrian friendly environment, and should include alternative transportation opportunities, such as designated transit stops with appropriate shelters, for better local mobility.
- ◆ **Redefine the traditional commercial corridors within the community**
  - The existing abandoned commercial corridors should be redeveloped as high-density housing districts. These districts would provide new and existing residents with various housing opportunities. These higher density residential uses would also create a physical buffer between the high volume traffic corridors of Gervais St, Two Notch Rd, Harden St and Millwood Ave, and the single-family core neighborhoods.
- ◆ **Preserve, enhance and create public open space**
  - Parks are great gathering and meeting places for people. East Central City is fortunate that there are some good parks within the community. But as the residential density increases, new and existing parks will need to provide safe and well-maintained spaces for residents to interact. The creation of additional pocket parks, such as Isaac McClinton Park in the South Edisto Court Neighborhood, and a linear trail space that connect neighborhoods to activity nodes is crucial.



*Single-Family Residential*



*Mixed-Use Activity Node*



*Preserve and Enhance Open Space*

# Introduction and Executive Summary

- ◆ **Encourage home ownership and rehabilitation**
  - During the community workshops, the neighborhood residents voiced concerns over the high number of rental properties. New homes, developed within the community, should be marketed towards the work force economic demographic.
- ◆ **Strengthen code enforcement**
  - To assist the public perception of the City's enforcement efforts, the City will need to educate the public of their activities within the community. In addition, increased consistent enforcement "sweeps" of known troubled properties will reinforce this commitment.
- ◆ **Create a pedestrian friendly environment**
  - Many of the streets within the East Central City do not encourage pedestrian movement. Sidewalks are often missing or damaged. Street lighting is limited. Along some of the commercial corridors, such as Gervais St and Two Notch Rd, walking is dangerous. Multiple curb cuts negatively affect pedestrian safety as well as inhibit traffic flow. Most of these corridors do not have shade trees. Bus stops are often nothing more than a sign and a dirt patch. New development and streetscape enhancement projects will need to focus equally upon traffic flow and safer pedestrian movements.
- ◆ **Create gateways to downtown Columbia**
  - East Central City has two strong gateways to downtown Columbia. The Gervais St and Taylor St corridors/intersections should not only be redeveloped to create a sense of "place" for the East Central City but also to create a significant "front door" for downtown district.
- ◆ **Enhance community identification**
  - Signage within the neighborhoods exists; but the signs are often small or obstructed. Neighborhood signage needs to be enhanced through the use of additional community signage, hardscape and landscape elements and increased sensitivity to signage placement.
- ◆ **Encourage continued community involvement**
  - The community workshops proved that the neighborhood residents are interested, concerned and vocal. They know the history of the neighborhood and the owners of properties, and have identified areas blight. Many residents have a negative opinion of the institutions and/or the City as they often find out projects after they have begun. Better City communication and continued community involvement will be crucial during the development of the catalyst projects for continued public support.



*Pedestrian Friendly Streetscape*



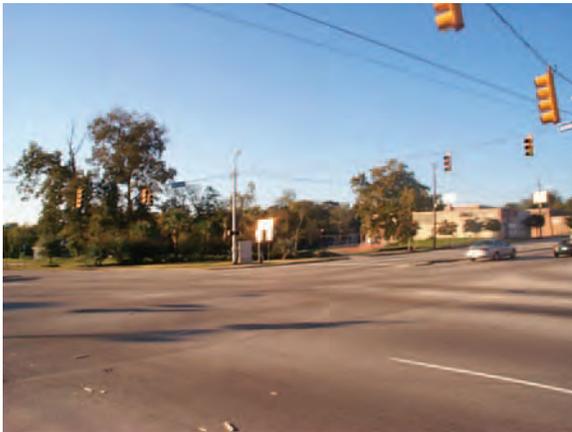
*Community Identification*

# Introduction and Executive Summary

## Catalyst 1-2

### (Heidt St Corridor)

The Heidt St corridor catalyst is +/- 19 acres in the Lower Waverly Neighborhood of Cluster One. The site is bordered by Heidt St to the west, Millwood Rd to the east, Gervais St to the north and Greene St to the south. The majority of the site consists of vacant lots with some single-family homes and commercial properties. The site's intersection at Gervais St and Millwood Rd would be ideal for a mixed-use development. Retail would be located on the ground floor with residential, such as market rate and work force apartments, or professional offices, on upper floors. The mixed-use element could also include a senior housing element. Attached single-family homes should be developed as part of the mixed-use development. These homes would face the interior of the neighborhood. Attached single-family homes would also front Gervais St and Short St. These new homes would provide a visual and physical buffer between the new higher density development along Gervais St and Millwood Rd and the existing single-family neighborhood. New single-family detached housing would be developed along the existing street corridors of Pendleton St, Greene St and Stark St. In addition, a neighborhood pocket park would be developed at Greene St and Short St.



Existing



Proposed

# Introduction and Executive Summary

SITE PLAN FOR:  
CATALYST 1-6 (MANNING ST)



## Catalyst 1-6

### (Manning St)

The site, located within the Lyon St Neighborhood of Cluster One, is bordered by Gervais St to the north, Washington St to the south, Manning St to the east and House St to the west. The existing conditions include vacant lots and single-family homes. Some of these existing homes are in need of extensive renovation. The catalyst should be redeveloped with new, detached single-family homes on existing lots. These new homes will fill in the “gaps” between existing homes within the neighborhood. Attached single-family homes should be developed fronting on Gervais St. These homes would be accessed by a common, secured rear drive from a secondary street, such as McDuffie St. The existing St Anna’s Park should be expanded to meet Washington Street.



*Existing*



*Proposed*

# Introduction and Executive Summary

## Catalyst 2-1

### (Schoolhouse Rd)

The Schoolhouse Rd catalyst is located within the Pinehurst Community of Cluster Two and occupies +/- 12 acres. The site is a combination of duplex and multi-family housing and a package store. These uses are inconsistent within the existing neighborhoods of Pinehurst and Midlands Terrace. The catalyst proposes to return single-family owner occupied homes to the community. Attached single-family homes should be developed at the eastern end of Schoolhouse Rd adjacent to Pinehurst Park and at the western end of Schoolhouse Rd closest to Two Notch Rd. Detached single-family homes should be developed at the center of the road. The attached single-family driveways should be accessed by a common rear access drive at secured entry points.



Existing



Proposed

# Introduction and Executive Summary



SITE PLAN FOR:  
BOOKER WASHINGTON HEIGHTS



*Existing*



*Proposed*

## Catalyst 3-4 & 3-5

### (Booker Washington Heights)

The Booker Washington Heights catalyst site, which is a combination of two proposed catalysts, is located within Cluster Three. The catalyst site is composed of vacant lots, existing housing in need of extensive rehabilitation or demolition and existing one-story multi-family buildings. The catalyst project should develop single-family homes within the core of the neighborhood on vacant lots and redevelop the existing multi-family tracts as attached and detached single-family homes.

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# Introduction and Executive Summary

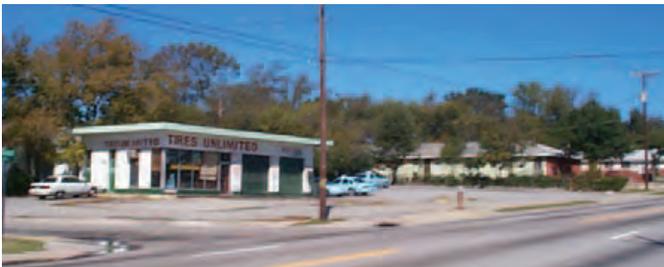


## Catalyst 4-5

### (Two Notch Rd & Chestnut St)

The Two Notch Rd at Chestnut St catalyst occupies +/- 6 acres currently being used for commercial and residential uses within Cluster Four. Some of the lots are vacant or businesses have been closed. The site should be redeveloped as a mixed-use development with medical-related offices or services, and possibly a small retail element. The site is close in proximity to Providence Hospital at the southern end of Two Notch Rd, adjacent to the ongoing development of the Leroy Walker Health and Wellness Center and adjacent to the Business Development Center operated by Benedict College. The further development of the adjacent Benedict College athletic campus, which will include a future housing and mixed-use retail element, will further enhance this intersection along Two Notch Rd as a destination point.

Introduction and Executive Summary



Existing



Proposed

# Introduction and Executive Summary

## Catalyst 5-1

### (Wiley Street Corridor)

The Wiley Street Corridor catalyst site is located within the South Edisto Court Neighborhood of Cluster Five. The existing conditions include vacant lots, buildings in disrepair or abandonment, existing industrial and/or retail uses and single-family homes. The site is bordered by the former Hendley Homes housing project to the north. The catalyst would be redeveloped as a residential community with attached and detached housing options. The catalyst should be developed to compliment the future mixed-use community of the former Hendley Homes. The site will need to address the existing infrastructure conditions. The inclusion of sidewalks, street lighting and street trees will be essential in replacing the existing stigma of an industrial warehouse district and in creating a pedestrian friendly, residential environment.



Existing



Proposed

# Introduction and Executive Summary

## Implementation

### Master Land Use Plan Recommendations

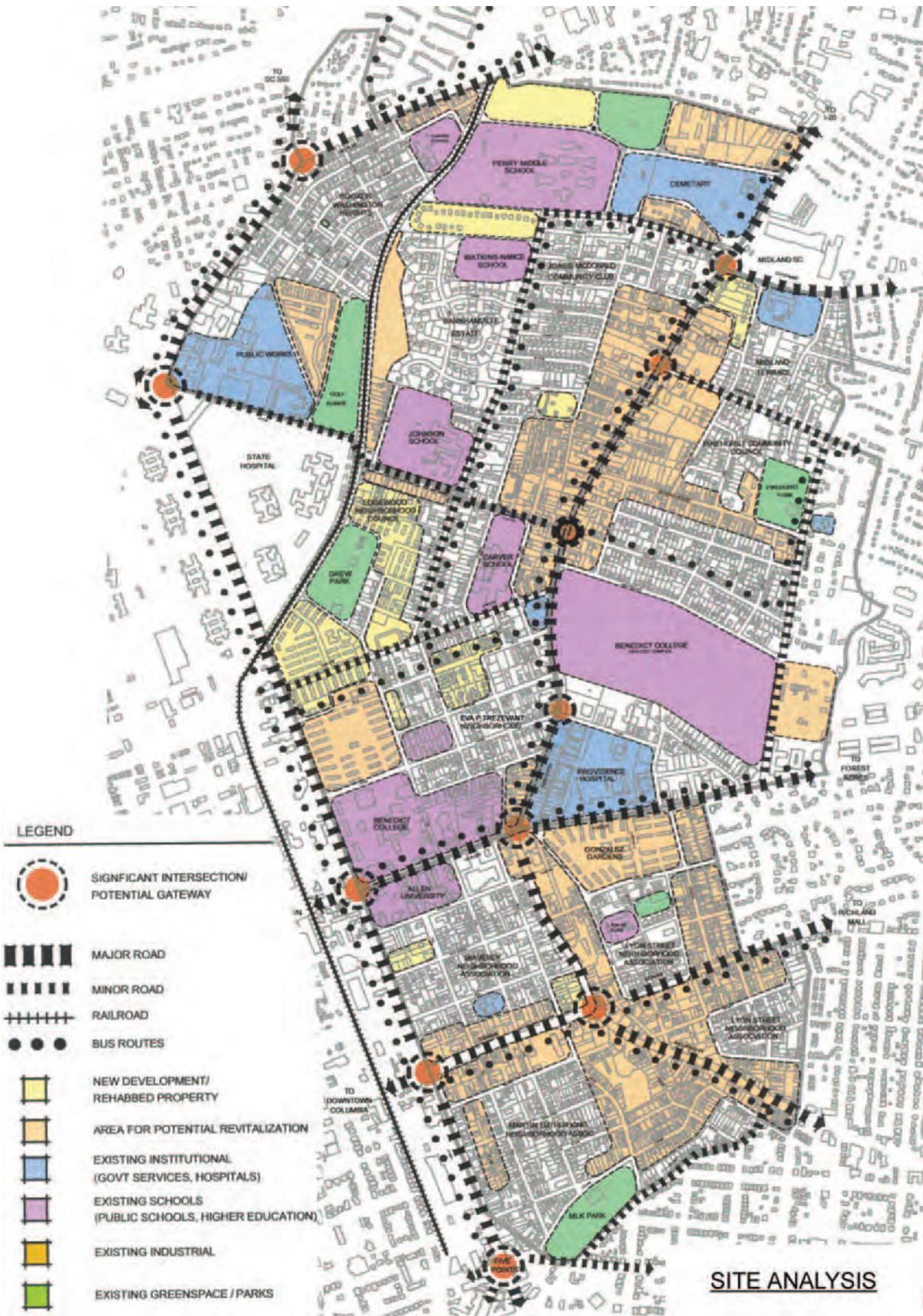
- ◆ Adoption of this Redevelopment Plan
- ◆ An ordinance should be passed by Columbia City Council creating the new classification of “Neighborhood Conservation District”
  - Enhanced Zoning Controls
  - Design Guideline Standards
  - Overlay Districts
  - Design Development Review Commission Powers and Duties within the Neighborhood Conservation District
- ◆ The Ordinance passed by Columbia City Council should provide for Land Uses allowed out right and by special exception based upon the Land Uses created during the East Central Planning process
- ◆ Columbia City Council Declaration of A Redevelopment Area
- ◆ Establish/Re-Establish A Redevelopment Commission Pursuant to S.C. Code 1976 § 31-10-10 et. seq.

### Master Implementation (Catalyst Site) Plan Recommendations

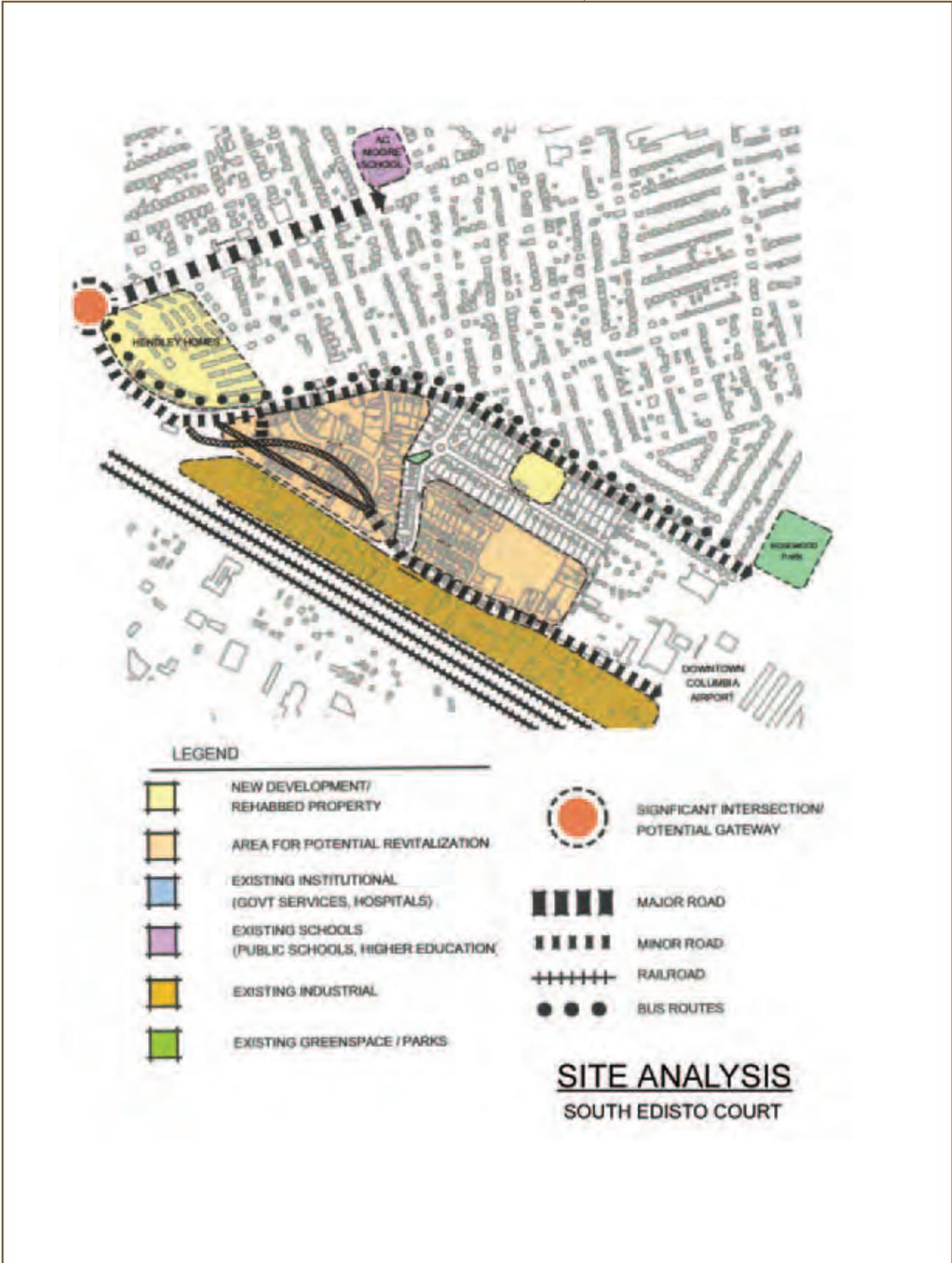
- ◆ Predevelopment Program (Design/Cost/Financing Methodology)
- ◆ Apply For Designation as a Community Housing Development Organization (“CHDO”)
- ◆ Capital Improvement Program (“CIP”): Evaluate the future years allocation of CIP resources for the neighborhoods impacted by the East Central Redevelopment Plan
- ◆ Land Assembly: The City can also facilitate infill development through *land assembly* - by assembling small, individual parcels into large blocks under common ownership
- ◆ Code Enforcement Educational Outreach Campaign
- ◆ Code Enforcement “Sweep” Activities
- ◆ Upgrading Infrastructure and Amenities
- ◆ Lowering of Impact Fees
- ◆ Fast Track and Streamlined Permitting
- ◆ Reduce lot sizes, setbacks, and parking requirements
- ◆ Zone for mixed-use development
- ◆ Increase density allowances

# Site Analysis

# Community Analysis



# Site Analysis



# Site Analysis

The area known as East Central City began as one of the first suburban expansions outside the planned city of Columbia S.C. This expansion began in the 1890's in what is now the Lower Waverly Neighborhood. An electric trolley line that ran between downtown Columbia and Five Points, later serviced these new suburbs. This "hub" was the commercial node for the community in the 1920's and 30's. New residential neighborhoods evolved over time and spread north towards two traditional African American schools of Allen University and Benedict College. The African Methodist Episcopal Church founded Allen University in 1870. Allen University became the first institution for higher education in South Carolina for African Americans. Benedict College, also founded in 1870, was created by the American Baptist Home Mission Society on the site of an old southern plantation. Named after Mrs. Bathesheba Benedict of Rhode Island, Benedict College became a chartered Liberal Arts College in 1894. Today, Benedict College has over 12,000 graduates and 3,000 students.

Many economic and physical factors have contributed to negative changes that have affected the community within the last fifty years. Significant changes have included the increased use and affordability of the automobile, the development of four public housing projects, Allen-Benedict Court, Celia Saxon Homes, Hendley Homes and Gonzales Gardens all within two miles of each other, in the 1940's, and the lack of redevelopment capital improvements within the area. These changes have resulted in areas within the community that include vacant lots, boarded-up homes, and increased drug and crime activities creating a blighted condition.

East Central City is composed of roughly +/-1,050 acres of existing urban fabric located east of the Central Business District ("CBD") of downtown Columbia. However, the project area is physically separated from the CBD by the existing CSX rail lines. In many instances the rail line is elevated which only increases the separation from the downtown area. This separation is significant in that many areas of the CBD have gone, or are currently undergoing, a revitalization of their own. The Vista area of downtown Columbia, to the west of CBD, is enjoying a boom in public and private development. This economic redevelopment has not transferred into the project area of the East Central City.

Harden St borders the site to the west, Belt Line Rd to the north, the Forest Acres Community to the east and Santee Ave to the south. In addition, +/- 50 acres not contiguous to the project area are located to the south of the main project area. This area, known as the South Edisto Court Neighborhood, is bordered by the Owen's Field to the south, a railroad-switching yard to the west, Holt St to the east, and Superior St to the north.



*Vacant home in East Central City*



*The Vista in Downtown Columbia*

# Site Analysis

The following zoning categories are found in the project area:

	Intended Use	Density
<b>Residential</b>		
RS-1	Single-family detached	3.6 Du/Ac
RS-2	Single-family detached	5.1 Du/Ac
RS-3	Single-family detached	8.7 Du/Ac
RG-1	Single-family and two-family detached, multi-family residential	8.7 Du/Ac
RG-2	Single-family and two-family detached, multi-family residential	16.4 Du/Ac
RG-3	Townhomes and High Rise Residential	NA
PUD-R	Residential	NA
<b>Non-Residential</b>		
C-1	Office and Institutional	NA
C-3	General Commercial	NA
M-1	Light Industrial District	NA
M-2	Heavy Industrial District	NA

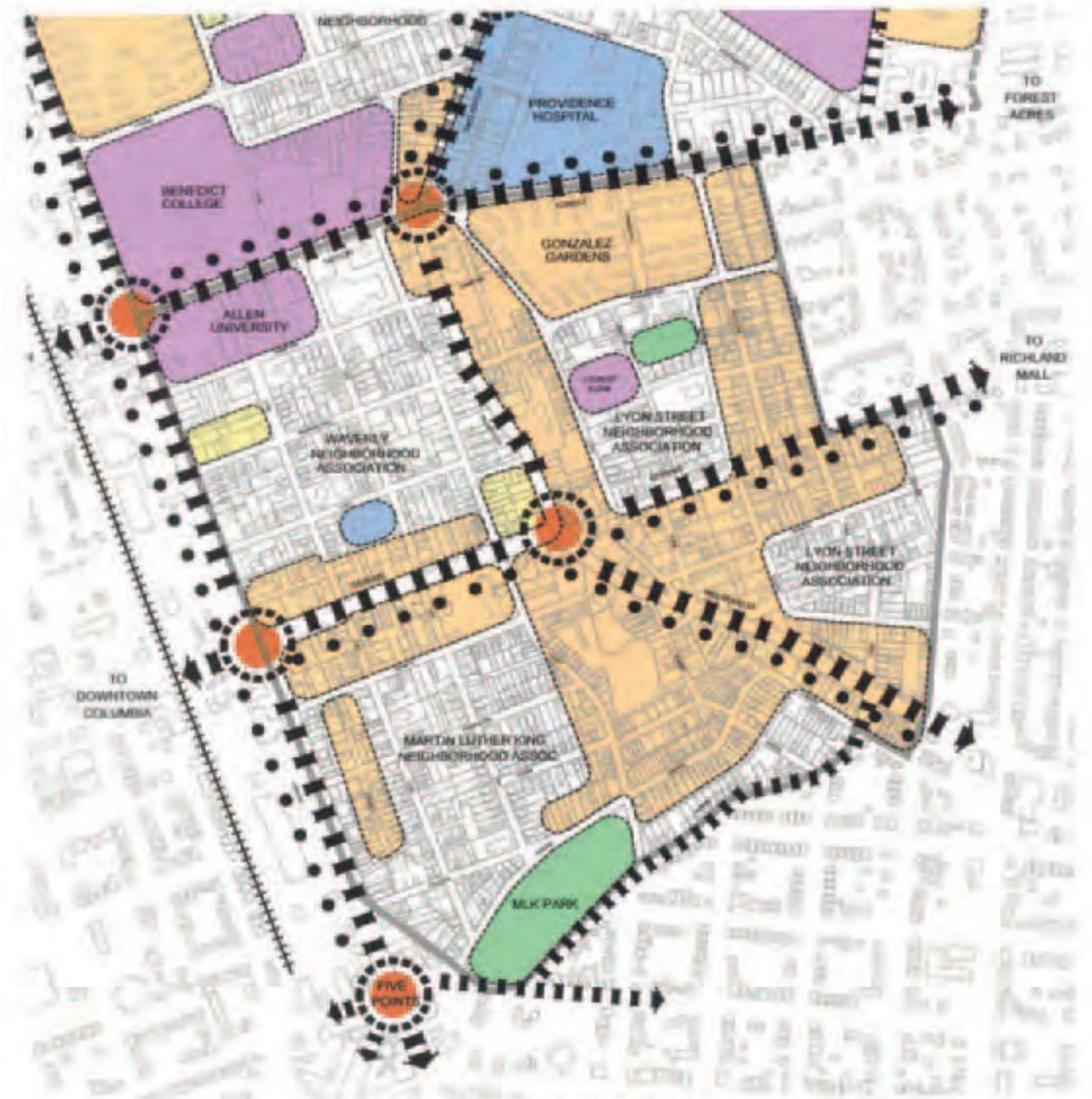
Due to the size of the project area and the number of neighborhood groups involved, **five clusters were created to join neighborhood groups together so each group would not only think about their immediate surroundings, but of the community as a whole.** The clusters boundaries were created along major road corridors.



*Existing Carwash on Two Notch Rd*



*Boarded Up Home in Cluster Four*



SITE ANALYSIS - CLUSTER ONE

LEGEND	
	SIGNIFICANT INTERSECTION/ POTENTIAL GATEWAY
	MAJOR ROAD
	MINOR ROAD
	RAILROAD
	BUS ROUTES
	NEW DEVELOPMENT/ REHABBED PROPERTY
	AREA FOR POTENTIAL REVITALIZATION
	EXISTING INSTITUTIONAL (GOVT SERVICES, HOSPITALS)
	EXISTING SCHOOLS (PUBLIC SCHOOLS, HIGHER EDUCATION)
	EXISTING INDUSTRIAL
	EXISTING GREENSPACE / PARKS

## Inventory

Cluster One is composed of the area south of the Taylor St/ Forest Dr corridor. The neighborhood groups located within Cluster One are: 1) The Waverly Neighborhood Association, which includes Allen University, encompasses the northeastern area of the cluster; 2) The Lyon Street Neighborhood occupies the eastern half of the cluster; and 3) The Lower Waverly Neighborhood Group encompasses the southeast area. It is +/- 270 acres. The cluster's characteristics are as different as the neighborhood groups. All three areas of the cluster share many of the same land use characteristics but their conditions can, and do, vary significantly. All three areas are predominately single-family residential with some duplex and multi-family located within the core of the neighborhood. Along the major traffic corridors, the uses include many low-end commercial, multi-family or vacant properties.

The Waverly Neighborhood is currently pursuing a Historic Overlay designation. The neighborhood has been well maintained along a majority of its interior streets. Impressive new homes have been built on Oak St. New church construction has taken place at the intersection of Gervais St and Millwood Ave as well as the corner of Washington St and Pine St. The neighborhood has the benefit of Allen University, which has created a stable influence for the northern edge of the cluster. The university is also a physical buffer between the single-family homes and the high traffic volume of Taylor St. Some retail uses are located fronting Taylor St, on land leased by Allen University. The future of the grocery store on Taylor St is uncertain. Other than the University, no dedicated parks or open spaces exist within the neighborhood.

The Lyon Street Neighborhood is divided into two halves by Gervais St. The area is composed of single-family, multi-family and some retail uses. A majority of these homes are in a condition of blight. The Gonzales Gardens housing project is located on Taylor St in the northern half of the neighborhood and is operated by the Columbia Housing Authority. Built in 1941, Gonzales Gardens has 280-units in 30 brick buildings. St Anna's Park is located to the south of Gonzales Gardens and is centrally located in the northern half of the Lyon St neighborhoods in the core of the residential area. Liberty Hill Elementary School is also located within the northern half of the neighborhood. The major north-south street corridor of Millwood Ave is predominately vacant lots or buildings with some low-end commercial developments.

The Lower Waverly Neighborhood is also predominately single-family residential with retail uses along major street corridors. Commercial is located along Harden St and is anchored by a grocery store on western side of Harden St. This commercial area is known as the Five Points District. Some commercial uses also exist along Gervais St to the north and Millwood Ave to the east. While the neighborhood is predominately single-family, the conditions of the homes within the area vary. An example of this is Heidt St. Heidt St runs north and south from Martin Luther King

Cluster One
Lower Waverly Neighborhood Association
Lyon Street Neighborhood Association
Waverly Neighborhood Association
Allen University



*Existing church on House St*



*Intersection of Gervais St and Millwood Ave*

Park to Gervais St. To the west of Heidt St, along Oak St and Pine St south of Senate St, the residential area is in relatively good condition; most homes are well maintained and there are few vacant lots. The same cannot be said for the area east of Heidt St. where there are a large number of vacant lots and non-code conforming homes. The number of vacant lots and homes has led to a “transient” community, which has produced a large number of police incidents in the area.

The neighborhood has a good existing park, which features both passive and active recreation. Martin Luther King Park also provides a community building for the residents. This park is vital for the community for both recreation and as a community-gathering place. Arrington Manor, operated by the Columbia Housing Authority, is a high rise building built in 1981 with 58 units designated for elderly housing. Arrington Manor is adjacent to MLK Park on College St.

It is important to note that the Lower Waverly Neighborhood has been designated a historic district. Any new construction and or renovations are subject to the guidelines found in the Old Shandon/Lower Waverly Design Guidelines adopted by the City of Columbia in September of 2001.

Numerous bus routes providing mass transit connections to downtown Columbia serve the neighborhood. Bus routes 15, 18, 19 all serve the cluster along the major traffic corridors of Taylor St and Gervais St. Bus route 19 loops through the southern half of the Lyons Street neighborhood before heading north along Millwood Ave to Gervais St.

## Analysis

### Benefits

Cluster One has many opportunities for positive redevelopment. The area has close proximity to the Central Business District, a strong residential core, and a stable influence in Allen University. The Waverly District has already begun a positive transformation with the development of new large homes on Oak Street. Two churches have recently expanded to offer better services for their congregations. There are areas that have large vacant parcels contiguous to one another along major traffic corridors. These parcels offer great visibility and the opportunity to have a greater impact for redevelopment. Millwood Ave, Gervais St and Taylor St are major commuter traffic routes offering the cluster great visibility. Martin Luther King Park is a large park that offers diverse recreational uses, large gathering places and is well maintained. The Lower Waverly Neighborhood has historic preservation guidelines to further ensure new construction and rehabilitation conforming to the existing neighborhood character.

### Challenges

The three major traffic corridors are detractors from the good residential core within the clusters. The corridors provide few retail



*Martln L. King Park in Lower Waverly*



*Vacant lots in Lower Waverly*

opportunities and are not aesthetically pleasing. The streetscape is non-existent nor is it pedestrian friendly. Too many curb cuts, poor lighting, sidewalks in poor condition and inadequate vegetative separation between the street and sidewalk contribute to making the corridors into a dangerous pedestrian experience. The presence of the Gonzales Gardens housing project negatively affects the Lyons Street Neighborhood.

The commercial corridors of Harden St, Gervais St and Millwood Rd negatively influence the Waverly neighborhood. There are numerous vacant lots along these corridors.

### Revitalization Opportunities

Revitalization opportunities exist throughout Cluster One. The Waverly Neighborhood has already begun a resurgence. The strong existing neighborhood fabric along with the positive, stable influence of Allen University and the existing churches have enabled groups to come and build new homes. The key for Waverly neighborhood will be the development of Harden St, Gervais St and Millwood Rd traffic corridors from traditional commercial corridors into a higher-density single-family uses. The creation of a historic district will also enable the neighborhood to better control the type and quality of new development.

The Lyon Street Neighborhood revitalization relies heavily on the redevelopment of the Gonzales Gardens housing project. No positive impact for the Lyon Street neighborhood can be accomplished without first addressing Gonzales Gardens. St Anna's Park provides the neighborhood with a meeting place. The park should be expanded in conjunction with the redevelopment of Gonzales Gardens

In addition to Gonzales Gardens, the traffic corridors of Gervais St, Millwood Ave and Taylor St provide a good opportunity for redevelopment. A large percentage of these parcels are vacant. Changing the current use of these corridors changes the perception of the neighborhood. The core of the neighborhood has some good single-family residential homes. Renovation of existing homes should be encouraged.

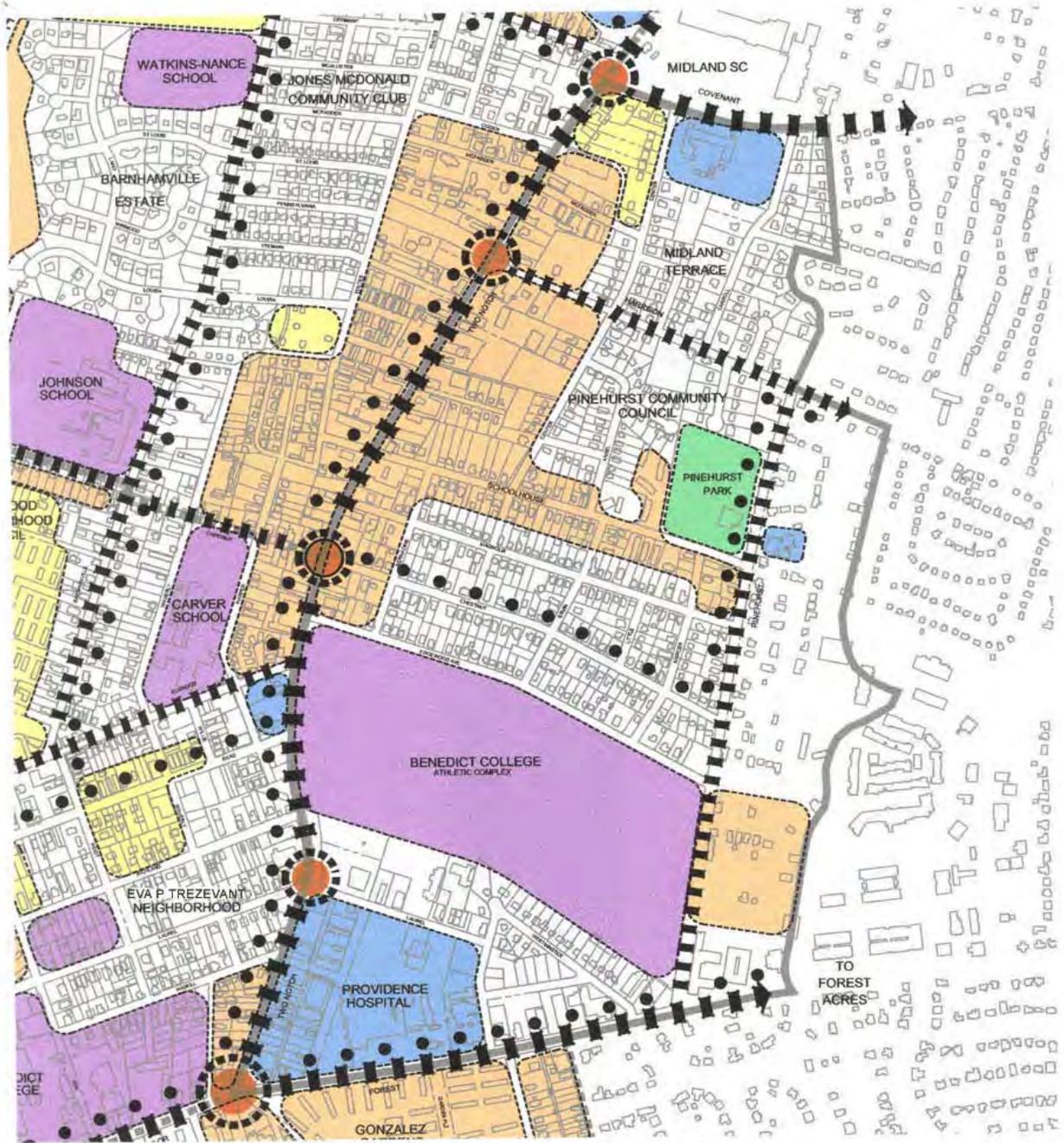
The Lower Waverly Neighborhood revitalization opportunities predominately remain east of Heidt St. This area contains many vacant large parcels as well as many vacant or neglected homes. The area also has been designated as an "Area B" historic district by the City of Columbia. This designation encourages new construction over rehabilitation. The site visibility of the intersection of Gervais St and Millwood Ave is also a great benefit. This intersection provides a great place to establish a gateway to downtown Columbia. The redevelopment of this corridor as either high-density residential or mixed-use, develops a strong neighborhood identity. It is important to note that the Heidt St corridor has significant problems/issues. Any redevelopment of this area within the Lower Waverly Neighborhood should encompass the entire limits of the corridor.



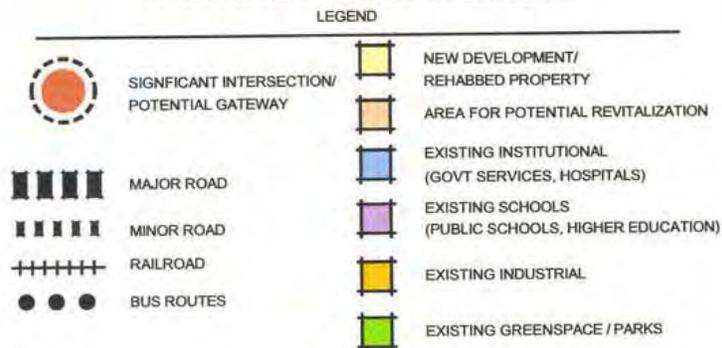
Existing building on Heidt St



Vacant parcels in Lower Waverly



SITE ANALYSIS- CLUSTER TWO



## Inventory

Cluster Two is composed of +/- 270 acres in the eastern quadrant of the East Central City. Two Notch Rd to the west, the Forest Acres neighborhood to the east, Forest Dr to the south and Covenant Rd to the north, comprise the boundaries of the cluster.

The Midlands Terrace Neighborhood Association and The Pinehurst Community Council represent the northern half of Cluster Two. Both neighborhoods are predominately single-family residential with some duplexes and multi-family units. The majority of the multi-family and duplex units are located along Schoolhouse Rd. Pinehurst Park was recently developed and offers active indoor and outdoor recreational opportunities.

The southern area of the neighborhood is influenced by two institutional uses. Providence Hospital is located along Forest Dr and Two Notch Rd. Medical-related uses such as doctor's offices and a new CVS Pharmacy are located within close proximity of the hospital. To the north of Providence Hospital, Benedict College has begun development of their new East Campus. The campus stretches from Pinehurst Rd on the east to Two Notch Rd on the west. It is bordered by Edgewood Ave to the north and Providence Hospital to the south. The proposed uses include new dormitories, a mixed-use retail/office development fronting Two Notch Rd and athletic facilities. The new campus will include a 10,000 seat football stadium.

The major traffic flow occurs along the periphery of the cluster. Forest Dr provides a major east-west traffic corridor for commuters heading to and from downtown. Richland Mall is one mile east of Cluster 2 on Forest Dr. Two Notch Rd is a major commercial and transportation corridor. Many of the existing commercial establishments along Two Notch Rd are vacant or are occupied by low rent retailers. In January, the City of Columbia began a major road widening/streetscaping project along Two Notch Rd.

Bus routes 15, 16, 17, and 35 serve Cluster Two. Bus routes 15 and 16 serve the major traffic corridors of Forest Dr and Two Notch Rd respectively. Bus route 17 bisects the cluster along Chestnut St before heading north along Pinehurst Rd. Bus route 35 also serves Two Notch Rd.

## Analysis

### Benefits

The cluster has a good single-family residential core. The average income for Cluster Two, as well as the average home price, are the highest within the East Central City. The neighborhood has a new park to provide recreation opportunities and gathering places for the community. The new East Campus of Benedict College will provide an economic generator for the area with its proposed mixed-use element as well as more open space for neighborhood residents. Providence Hospital, located along the southern



*Providence Hospital*



*Construction debris dumped on Pinehurst Rd*

*Existing apartments on Schoolhouse Rd*

boundary, creates a positive/stable benefit within the community by providing jobs and services as well as by bringing in new support facilities (ex: CVS Pharmacy). New residential development along Covenant Rd is scheduled to begin and the opening of a new adult learning center in an old school building should bring stability to the northern boundary of the project area.

### Challenges

The Two Notch Rd commercial corridor has a negative influence upon the community. Many of the buildings along the corridor are vacant or in need of renovation. In addition, many of the corridors uses do not include daily uses or needs for the community residents. There are no grocery stores along this stretch of Two Notch Rd. The Schoolhouse Rd and Pinehurst Rd corridors are detractors from the neighborhood. Their predominate land uses include multi-family and duplex homes that are in poor shape or vacant lots. These uses are not indicative of other residential streets within the community.

### Revitalization Opportunities

Benedict College already has made a positive change within the community. The new East Campus has the opportunity to redefine the impression of the Two Notch Rd corridor. The continued redevelopment of the Two Notch Rd corridor is vital for the growth of Cluster Two. This road corridor has a negative influence upon the community. The opportunity exists for consolidating the current retail uses into larger redevelopment pods. These pods would be best utilized with higher density residential along the majority of the corridor with some and commercial or mixed-use destination nodes at major intersections. The consolidation of commercial and mixed-use developments into nodes would enhance the impact of the developments and also create central destination points for the neighborhoods. The higher density residential would also buffer the neighborhood from the traffic along Two Notch Rd.

Providence Hospital could utilize the area along Taylor St for future expansion. Many of these parcels contain surface parking lots or small doctors' offices. By consolidating the parking into parking structures more office development opportunities could be pursued.

The Pinehurst Rd and Schoolhouse Rd redevelopment would benefit from removing the existing multi-family rental occupied units and replacing them with single-family owner occupied homes.



Duplex on Schoolhouse Rd



Existing Retail on Two Notch Rd



SITE ANALYSIS - CLUSTER THREE

LEGEND

	SIGNIFICANT INTERSECTION/ POTENTIAL GATEWAY		NEW DEVELOPMENT/ REHABBED PROPERTY
	MAJOR ROAD		AREA FOR POTENTIAL REDEVELOPMENT
	MINOR ROAD		EXISTING INSTITUTIONAL (GOVT SERVICES, HOSPITALS)
	RAILROAD		EXISTING SCHOOLS (PUBLIC SCHOOLS, HIGHER EDUCATION)
	BUS ROUTES		EXISTING INDUSTRIAL
			EXISTING GREENSPACE / PARKS

## Inventory

Cluster Three contains +/- 370 acres located in the northwest corner of the East Central City. The cluster is bordered by Farrow Rd/Belt Line Blvd to the north, Harden St to the west, Chestnut St/Slighs Ave to the south and Two Notch Rd to the east. The cluster is divided by the existing CSX railine. To the north of the CSX railroad is the Booker Washington Heights Neighborhood, which is predominately single-family homes with some duplex or multi-family homes along Beaumont Rd. The majority of these homes exhibit blighted conditions with numerous vacant lots and boarded homes. The existing multi-family homes are relatively well maintained but nearing the end of their economic lifespan. There are few streetlights and sidewalks within this area of the cluster. Some commercial land uses are located along the major transportation corridor of Farrow Rd/Belt Line Blvd. Belt Line Blvd is used as a access street to Highway 277 as it leaves downtown Columbia. There is a small neighborhood park located centrally to the neighborhood at the intersection of Beaumont St and Douglas St. The city has recently completed a public golf range at the intersection of Slighs Ave and Howell St. The City's Public Works department occupies +/- 20 acres at the intersection of Slighs Ave and Farrow Rd. The former Sarah Nance Elementary School located in the northern part of the Booker Washington Heights Neighborhood has been transformed into a neighborhood cultural center. Two bus routes support this area of Cluster Three. Bus Route 23, runs north/south along Farrow Rd and Bus Route 12 reaches the Booker Washington area along Belt Line Blvd before returning to the downtown transit station.

The area east of the railroad corridor is composed of The Barhamville Estates Neighborhood and the Jones-McDonald Community Club. These neighborhoods are predominately single-family neighborhoods built from 1950 to 1970. The majority of the homes are in good condition and the lots are well maintained. Two new developments have been constructed within the last three years. The Columbia Housing Authority ("CHA") has redeveloped the former Jagers Terrace apartments, into a 25-unit single-family home ownership community. In addition, CHA has built a 13-lot "new urbanism" project just north of Perry Middle School.

The area between Waites Rd and the Two Notch Rd corridor to Chestnut St on the south, is a mixture of single-family, duplex/ multi-family, and commercial uses. This area contains predominately rental properties. The homes in this area are poorly maintained and in need of demolition. Many of the commercial buildings are vacant or are occupied by commercial interests that are typical of low rent areas. In many cases the streets do not have curbs and gutters, and a lack of sidewalks and street lighting create an unsafe pedestrian experience. Good pedestrian movement is essential for a successful commercial environment.

Cluster Three
Barhamville Estates
Booker Washington Heights Neighborhood
Jones McDonald Community Club



*Barhamville Rd*



*Renovation adjacent to former Celia-Savon homes*

Three schools support the neighborhoods. Perry Middle School has been recently renovated and Watkins-Nance Elementary School is relatively new. The C.A. Johnson High School is now a preparatory school. All three schools have athletic fields and outdoor play spaces.

## Analysis

### Benefits

Cluster Three has many positive attributes including the new Watkins-Nance Elementary School, the renovated Perry Middle School and the Johnson Prep School. In addition the existing Barhamville Estates and Jones McDonald Community Club are stable single-family neighborhoods. The demolition and redevelopment of the adjacent Saxon Homes will have a positive influence on the cluster and the neighborhood schools. The Thomas Martin Park and public golf range offer new public recreation opportunities for the neighborhood.

### Challenges

The project area is divided by the existing elevated railroad. This railroad creates a physical boundary within the cluster. While the Barhamville Estates and Jones McDonald neighborhoods have maintained their value and appearance, the Booker Washington Height Neighborhood has suffered from its separation from the larger community. A physical connection needs to be made to rejoin the neighborhoods. The Two Notch Rd corridor has negatively influenced the area adjacent to Waites Rd. The majority of Two Notch Rd is composed of vacant or “dead” retail uses. In turn, the adjacent multi-family and duplex units along Waites Rd are in poor condition.

### Revitalization Opportunities

The Two Notch Rd corridor presents an opportunity to reduce the amount of existing commercial property, much of which is vacant or under-utilized, and to introduce a higher density residential element that could in turn support a smaller retail node. The higher-density residential would provide housing options as well as buffer the existing residential “core” from Two Notch Rd. The City of Columbia’s sponsored non-profit TN Development Corporation has already begun the transformation of Waites Rd at Schoolhouse Rd, with new residential units.

Chestnut St and Dart St are dominated by vacant lots and poorly maintained homes. The area just north of Dart St is a drainage area with dense vegetation owned by the City of Columbia. This drainage area could be redeveloped to include a passive park with walking trails, which would be an attractive amenity for new homes constructed on Dart or Chestnut Streets.



Existing retail on Two Notch Rd



Booker Washington Heights

Another area for revitalization is within the Booker Washington Heights Neighborhood. Although some homes are being renovated, many vacant parcels exist. New homes “sprinkled” within the existing neighborhood fabric would benefit the community. An area for a larger impact of neighborhood enhancement would be the redevelopment of existing multi-family homes along Beaumont St into single-family homes. The use of multi-family housing is not consistent with its surrounding land uses. The intense traffic corridor of Belt Line Blvd is not compatible with the existing single-family homes fronting the street. A higher density residential use would be more suitable.



*Existing homes on Germany St*



**SITE ANALYSIS - CLUSTER FOUR**

LEGEND

	SIGNIFICANT INTERSECTION/ POTENTIAL GATEWAY		NEW DEVELOPMENT/ REHABBED PROPERTY
	MAJOR ROAD		AREA FOR POTENTIAL REDEVELOPMENT
	MINOR ROAD		EXISTING INSTITUTIONAL (GOVT SERVICES, HOSPITALS)
	RAILROAD		EXISTING SCHOOLS (PUBLIC SCHOOLS, HIGHER EDUCATION)
	BUS ROUTES		EXISTING INDUSTRIAL
			EXISTING GREENSPACE / PARKS

## Inventory

Cluster Four located “in the middle” of East Central City, occupies +/- 90 acres. Cluster One borders it to the south with Taylor St being the dividing line, Cluster Two to the east with Two Notch Rd being the dividing line and Cluster Three to the north. Harden St is the boundary limit to the west. Two Notch Rd, Harden St and Taylor St are the major traffic corridors surrounding Cluster Four. Some east-west cut thru traffic occurs along Elmwood and Laurel St. Much of this traffic can be attributed to Providence Hospital. Two neighborhood groups represent Cluster Four, the Eva P. Trezevant Neighborhood Association and the Edgewood Neighborhood Council. There are also two institutional groups, Benedict College and the Columbia Housing Authority.

The neighborhoods are predominantly single-family with some duplex and multi-family residential. As with much of East Central City, many of the homes are in need of renovation. New renovation has begun around the former Celia Saxon homes as well as adjacent to Benedict College.

CHA has three properties within Cluster Four. The Allen-Benedict Court, located north of Benedict College, was built in the 1941 and has 244 units. To the east of Allen Benedict Court, the Oak-Read high-rise built in 1968 has 111 units designated for elderly housing. Just north of Allen-Benedict Court, the former Celia-Saxon homes were demolished in 2000. The master plan for the new Celia-Saxon neighborhood proposes 438 new single-family homes and duplexes and will be funded through the Hope 6 Program. Construction has begun on the first homes along Elmwood St. Drew Park, located within the former Celia Saxon Housing project, which will provide recreational opportunities for the cluster. The park currently has an athletic field as well as a swimming pool. With the redevelopment of the Celia Saxon homes, the configuration of the existing park is scheduled to change.

The House of Prayer, located at the intersection of Waverly St and Read St, has recently built brick duplexes and single-family homes within the Trezevant Neighborhood.

Benedict College is located in the southeastern corner of Cluster Four. The campus stretches along Harden St to Waverly St and encompasses twenty acres. The current enrollment for the college is 2,966 students with an anticipated growth of 1500 students over the next ten years. The school has grown 134% since 1993. Major projects developed over the last ten years include a new administration building, student center, dormitory and parking deck. The college has also developed a new public park adjacent to the new Oak Street Honors Dormitory. A new Business Development Center was opened in 2001 at the intersection of Two Notch Rd and Chestnut St.

Bus routes 12, 15, 16, 17, 35 and 36 all serve Cluster Four.

Cluster Four
Edgewood Neighborhood Council
Eva P. Trezevant Neighborhood
Benedict College
Columbia Housing Authority



*Vacant retail on Two Notch Rd*



*Abandoned home on Simpkins Lane*

## Analysis

### Benefits

Cluster Four benefits from many positive influences including visual exposure from Harden St, Taylor St and Two Notch Rd, the strong religious presence from the House of the Prayer and its close proximity to downtown and Providence Hospital. But the two largest positive influences within the neighborhood are Benedict College and the Columbia Housing Authority. Benedict College provides a stable economic and aesthetic presence. The college has been renovating homes adjacent to the campus for both institutional and residential uses. CHA's revitalization of the Celia-Saxon homes will provide new housing options, retail opportunities along Harden St and public support uses, such as the new Charles R. Drew Wellness Center, to the community. The School District has recently renovated the existing Carver Elementary School.

### Challenges

Cluster Four has suffered for many years from the influence of the former Celia-Saxon homes and the existing Allen-Benedict Court. Blighted areas surround the former Celia-Saxon homes. Many lots are vacant and overgrown. Buildings are in disrepair and in need of substantial renovation. Many of the existing commercial uses along Two Notch Rd are abandoned or neglected, creating an uninviting streetscape and unsafe pedestrian experience. The Taylor St corridor is in need of a streetscape program. This area is not aesthetically pleasing, and defined pedestrian traffic crossings for students are not evident. Taylor St is not only a gateway corridor to downtown Columbia; it is often the first impression motorists have of Benedict College.

### Revitalization Opportunities

The largest and most beneficial element for revitalization is the demolition and redevelopment of the Celia-Saxon homes. Other areas for revitalization include the Allen-Benedict Court housing project.

The continued growth of Benedict College will help Cluster Four as long as that development is sensitive to the existing neighborhoods. It will be important for the College to expand in a way that is both beneficial to the institution and to the neighborhood. The College has already begun to redefine the Two Notch Rd corridor. The new Business Development Center, along with the proposed mixed-use development located in the adjacent Cluster Two, will further benefit the community with new services and residential opportunities. New mixed-used or multi-family development along Two Notch Rd could best utilize the services proposed by the College. Mixed-use developments with an emphasis on high-density residential would benefit from the close proximity to Benedict College and Providence Hospital. The redevelopment of the Taylor St and Two Notch Rd intersection into a mixed-use development could provide a gateway for downtown Columbia and Benedict College.

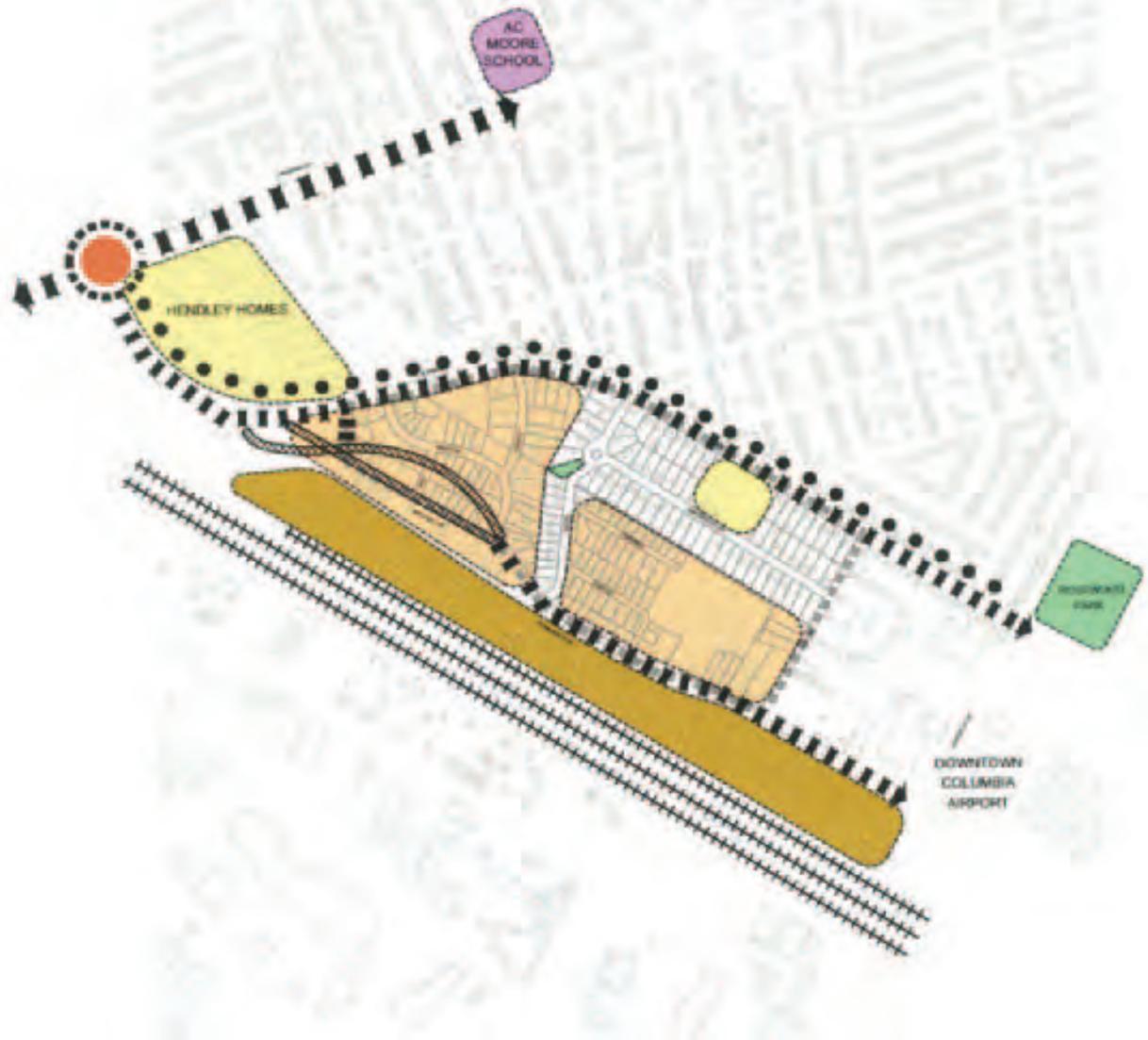


*Entrance to historic Benedict College*

*New Carver-Lyon Elementary School*



*Vacant retail on Two Notch Rd*



**SITE ANALYSIS - CLUSTER FIVE**

LEGEND

	SIGNIFICANT INTERSECTION POTENTIAL GATEWAY		NEW DEVELOPMENT/ REHABED PROPERTY
	MAJOR ROAD		AREA FOR POTENTIAL REDEVELOPMENT
	MINOR ROAD		EXISTING INSTITUTIONAL (GOVT SERVICES, HOSPITALS)
	RAILROAD		EXISTING SCHOOLS (PUBLIC SCHOOLS, HIGHER EDUCATION)
	BUS ROUTES		EXISTING INDUSTRIAL
	TRUCK ROUTE ALTERNATIVES		EXISTING GREENSPACE /PARKS

## Inventory

Cluster Five is not contiguous with the majority of the East Central City Redevelopment Area. The South Edisto Court Neighborhood is the neighborhood group for Cluster Five. The site, located 1.2 miles to the south of Cluster One, is composed of +/-52 acres. It is bordered by the Columbia Downtown Airport to the east, Holt St to the north, the former Hendley Homes to the west and the CSX Railroad to the south. The cluster is composed of two primary uses. The eastern half of the cluster is dominated by small single-family homes with some commercial/industrial uses. The homes are in good condition along Kingswood and Holt St with some homes in need of renovations along Easy St and Coming Rd. The new single-family Graymont Subdivision was recently completed within the area. The eastern half of the cluster area also includes a small passive park with a playground. Rosewood Park, located two blocks from Cluster Five, includes baseball fields and a skate park. An existing asphalt parking/storage area is located at the terminus of Easy St and Coming Rd. Below this parking facility is a large underground detention facility developed by the City to handle the storm run-off for the area. This facility was necessary as many of the homes on Easy St and Coming St were experiencing flooding during heavy rain periods.

The western half of cluster five exhibits a **blighted condition**. It is a mixture of commercial/industrial uses and single-family homes and duplexes. Many of these buildings are in need of extensive renovation or demolition. A large volume of truck traffic passes through this area from the industrial uses and Owen's Field. A plan was recently adopted to direct traffic to the periphery of the neighborhood along a realigned Commerce Dr/Mitchell St corridor.

The former Hendley Homes public housing project were recently demolished. A mixed-use, mixed income development is being proposed for the site. The future Hendley Homes will offer single-family homes, duplexes, mixed-use and some retail services.

Only Bus Route 3 serves Cluster Five. The route provides a direct connection between downtown Columbia and Owen's Field.

## Analysis

### Benefits

The South Edisto Court Neighborhood benefits from its close proximity to downtown as well as the surrounding neighborhood's single-family residential core. There is an existing neighborhood park that is well maintained and in use. In addition to this small park, Rosewood Park offers a variety of outdoor recreation facilities. The lots and streets have very good vegetation cover in the existing residential areas in the eastern half of the cluster. The demolition of the Hendley Homes and subsequent redevelopment will also enhance the impression of the area.

Cluster Five

South Edisto Court Community



Abandoned Industrial on Wiley St



South Edisto Court Community Neighborhood Park



Vacant Commercial / Industrial on Edisto Ave

## Challenges

Many of the buildings in the area are in need of extensive renovation or demolition. The majority of the streets do not have curbs and gutters, and there are no sidewalks or street lighting throughout the cluster. In addition the truck traffic does not always utilize the existing designated truck routes, but passes through the residential core.

The former nuclear laundry facility site also carries a negative impression of the neighborhood. An extensive environmental clean up and a public relations campaign are essential for addressing this issue. The mixture of industrial uses and residential habitats in Cluster Five do not enhance the residential neighborhood. These two uses are incompatible. The industrial uses detract from the residents' quality of life, while the residential neighborhoods limit the growth of existing businesses. Cluster Five is not easily accessed nor is it visible from the major traffic corridor of Rosewood Dr furthering limiting the economic stability of commercial uses.

## Revitalization Opportunities

The existing industrial uses within Cluster Five, would be better served in the adjacent industrial area south of the railroad line. With the redevelopment of the Hendley Homes site into a mixed-use project predominately of single-family homes, the existing industrial uses will be further separated from any major traffic corridors. This separation will force truck traffic through the residential neighborhoods. The industrial uses are currently marginal operations, which would prosper in a more suitable location with better traffic visibility and access. The existing industrial sites should be redeveloped as a higher density single-family community, which compliments the proposed Hendley Homes site.

The new Wiley St corridor could be redefined as a residential corridor with an emphasis on pedestrian movement from the proposed mixed-use Hendley Homes project to the existing neighborhood park.

The existing asphalt parking lot offers a good opportunity for new single-family homes and/or park space. New single-family homes would be more consistent with the existing neighborhood fabric.



*New infill housing at Graymont Circle*

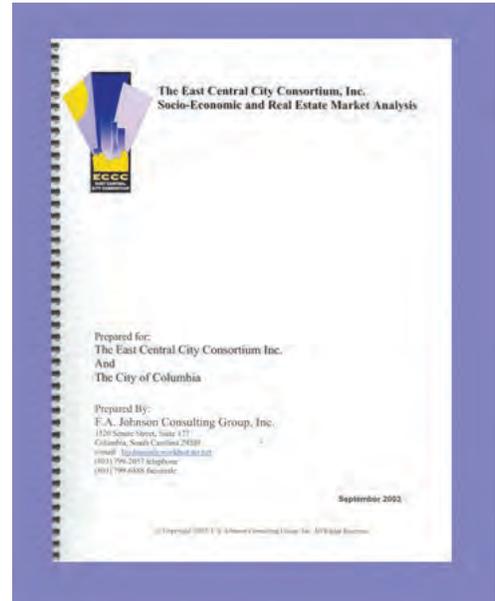


*Existing industrial on Commerce St*

# Market Analysis

## Demographics

The development team conducted the **Socio-Economic And Real Estate Market Analysis** during the fall of 2003 for the East Central City Consortium . The analysis provided an existing economic blueprint of the community. The analysis identified both the positive and negative influences affecting the growth of each cluster within the consortium. In addition, the development inventoried and accessed each land parcel within the consortium. The following information has been taken from the Socio-Economic and Real Estate Analysis Report, dated September 2003 as a summary of each cluster. Information provided included population growth rates, age groupings of the existing population, income levels, education attainment levels and housing trends as well as analysis of existing residential and commercial real estate, historic growth trends, current supply and demand climate. The information within this report assisted in the development of the Master Plan as well as identifying potential catalyst projects with each cluster.



Community Analysis

## Statistics

- ◆ There are 1,240 individual parcels in Cluster One
- ◆ Within Cluster One, a total of 190 structures require immediate demolition because they are either uninhabitable, or the cost to rehabilitate exceeds any potential value to be generated.
- ◆ Another 27 structures require either immediate demolition or substantial rehabilitation.
- ◆ A total of 385 parcels contain buildings and site improvements in need of minor cosmetic renovation.

## Development Trends

- ◆ The potential for revitalization of both residential and commercial development within Cluster One is reasonably high.
- ◆ Cluster One is strategically located between a major employment center to the west (Columbia's Central Business District), an entertainment/retail district to the southwest (Five Points), and a dense, stable and relatively wealthy population base to the east (Forest Acres).
- ◆ Transportation routes surrounding and throughout Cluster One are adequate.
- ◆ Portions of Cluster One are currently experiencing a market-based revitalization, while others have consistently declined over time to the detriment of surrounding areas.
- ◆ Areas of opportunity include the Gonzales Gardens Apartments and the existing development between Heidt Street and Millwood Avenue south of Gervais Street. The rehabilitation of these areas will result in dramatic enhancements for the surrounding residential properties.

## Demographic Analysis

- ◆ As of 2003, the U.S. Census Bureau estimates there are 2,990 residents living within the boundaries of Cluster One.
- ◆ The total population within Cluster One decreased consistently between 1990 and 2000, and is projected to decrease to a low of 2,841 persons by 2008.
- ◆ As of 2003, the U.S. Census Bureau estimates there are 1,229 households within the boundaries of Cluster One.
- ◆ The total number of households also decreased consistently between 1990 and 2000, and is projected to decrease to a low of 1,194 households by 2008.
- ◆ The consistent and relatively significant decreases in both population and number of households between 1990 and 2000 reflects the decline of many residential areas within

Cluster One	
Lower Waverly Neighborhood Association	
Lyon Street Neighborhood Association	
Waverly Neighborhood Association	
Allen University	

Population Trends – Cluster 1	
2008 Projection	2,841
2003 Estimate	2,990
2000 Census	3,082
1990 Census	3,488
1990 – 2000 Total Growth	-11.64%
Annual Average	-1.16%

Source: U.S. Bureau of Census and Claritas, Inc.

Household Trends – Cluster 1	
2008 Projection	1,194
2003 Estimate	1,229
2000 Census	1,249
1990 Census	1,419
1990 – 2000 Total Growth	-11.98%
Annual Average	-1.20%

Source: U.S. Bureau of Census and Claritas, Inc.

Occupied Housing Units – Cluster 1	
2000 Total Occupied Housing Units	1,249
Owner Occupied	21.46%
Renter Occupied	78.54%
Average # Persons Per HH	2.28

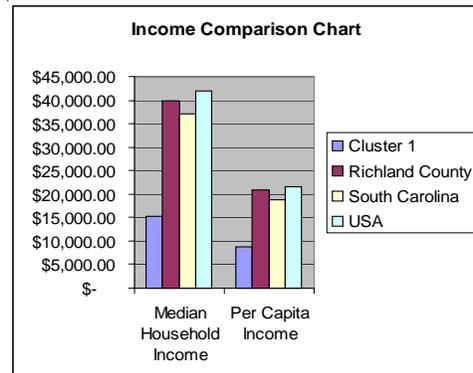
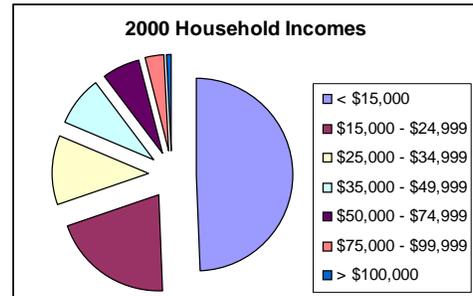
Source: U.S. Bureau of Census and Claritas, Inc.

Owner-Occupied Property Values – Cluster 1	
Under \$20,000	0.00%
\$20,000 - \$59,999	32.26%
\$60,000 - \$79,999	40.14%
\$80,000 - \$99,999	11.83%
\$100,000 - \$149,999	5.38%
\$150,000 - \$199,999	5.02%
\$200,000 +	5.38%
Median Property Value	\$68,850

Source: U.S. Bureau of Census and Claritas, Inc.

this cluster overall.

- ◆ As the quality of available housing and neighborhood amenities has decreased, the demand for existing residential structures in Cluster One has decreased accordingly.
- ◆ A total of 78.54% of all occupied housing units within Cluster One are renter occupied, indicating a relatively transient population base.
- ◆ Within Cluster One, 60.12% of the population over the age of 25 has earned a high school diploma or GED.
- ◆ The percentage of population without a high school diploma or GED is considerable and has adversely impacted the household income and per capita income levels achieved within Cluster One.
- ◆ There are a reported 1,399 housing units within Cluster One and 1,249 households, indicating an overall occupancy rate of 89.28% for all housing types.
- ◆ Just over 47% of the existing housing units are single-family dwellings, and nearly 94% of all existing housing units were built before 1980.
- ◆ The median property value within Cluster One was \$68,850 in 2000.
- ◆ In 2000, just over 40% of the population within Cluster One generated incomes below the poverty level.
- ◆ In 2000, the median household income and per capita household income levels reported within Cluster One were substantially lower than those reported for Richland County, the State of South Carolina and the nation.
- ◆ While the below average income levels generated by residents within Cluster One will not preclude revitalization, it will require a revitalization plan that includes a variety of housing opportunities within a broad range of pricing options to serve the needs of both the existing population base and the future influx of new residents.



## Statistics

- ◆ There are 882 individual parcels in Cluster Two.
- ◆ Within Cluster Two, a total of 43 structures require immediate demolition because they are either uninhabitable, or the cost to rehabilitate exceeds any potential value to be generated.
- ◆ Another 28 structures require either immediate demolition or substantial rehabilitation.
- ◆ A total of 231 parcels contain buildings and site improvements in need of minor cosmetic renovation.

## Development Trends

- ◆ The potential for revitalization of both residential and commercial development within Cluster Two is reasonably high.
- ◆ Cluster Two is strategically located between a major employment center to the west (Columbia's Central Business District), and a dense, stable and relatively wealthy population base to the east (Forest Acres).
- ◆ Transportation routes surrounding and throughout Cluster Two are adequate.
- ◆ New residential construction continues on the few remaining lots in the northern portion of Cluster Two; however, much of housing between Edgewood Avenue and Harrison Road is suffering a decline.
- ◆ The on-going decline is the result of incompatible multi-family developments interspersed among the predominantly single-family development and incompatible commercial uses along Two Notch Road.
- ◆ Areas of opportunity include the incompatible commercial development along Two Notch Road and the lack of an adequate buffer between those commercial uses and the adjacent residential districts. The installation of an adequate buffer zone between these uses will enhance the appeal of both property types.

## Demographic Analysis

- ◆ As of 2003, the U.S. Census Bureau estimates there are 2,162 residents living within the boundaries of Cluster Two.
- ◆ The total population within Cluster Two decreased consistently between 1990 and 2000, and is projected to decrease to a low of 2,065 persons by 2008.
- ◆ As of 2003, the U.S. Census Bureau estimates there are 854 households within the boundaries of Cluster Two.
- ◆ The total number of households also decreased consistently between 1990 and 2000, and is projected to decrease to a low of 849 households by 2008.

Cluster Two	
Midland Terrace Neighborhood Association	
Pinehurst Community Council	
Providence Hospital	

Population Trends – Cluster 2	
2008 Projection	2,065
2003 Estimate	2,162
2000 Census	2,222
1990 Census	2,295
<hr/>	
1990 – 2000 Total Growth	-3.18%
Annual Average	-0.32%

Source: U.S. Bureau of Census and Claritas, Inc.

Household Trends – Cluster 2	
2008 Projection	849
2003 Estimate	854
2000 Census	856
1990 Census	805
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1990 – 2000 Total Growth	6.34%
Annual Average	0.63%

Source: U.S. Bureau of Census and Claritas, Inc.

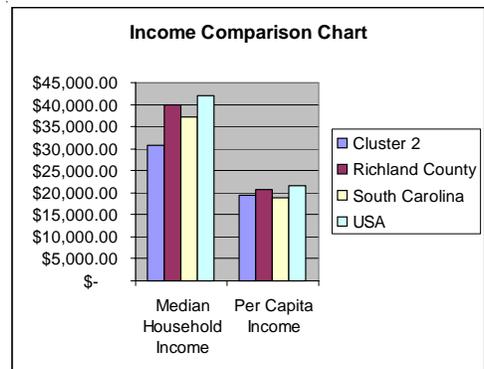
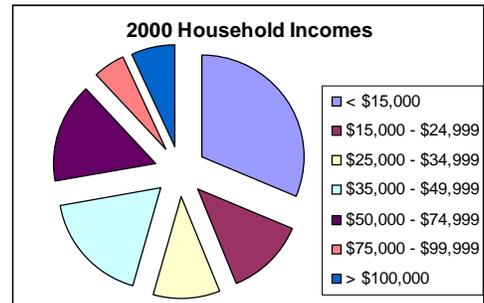
Occupied Housing Units – Cluster 2	
2000 Total Occupied Housing Units	1,249
Owner Occupied	49.42%
Renter Occupied	50.58%
<hr/>	
Average # Persons Per HH	2.18

Source: U.S. Bureau of Census and Claritas, Inc.

Owner-Occupied Property Values – Cluster 2	
Under \$20,000	7.60%
\$20,000 - \$59,999	13.83%
\$60,000 - \$79,999	27.42%
\$80,000 - \$99,999	21.89%
\$100,000 - \$149,999	19.82%
\$150,000 - \$199,999	7.14%
\$200,000 +	2.30%
<hr/>	
Median Property Value	\$81,146

Source: U.S. Bureau of Census and Claritas, Inc.

- ◆ The minimal decreases in total population and number of households between 1990 and 2000 reflects overall stability within this cluster overall.
- ◆ While some residential areas have suffered a moderate decline, the overall quality of available housing and neighborhood amenities is sufficient to maintain the population base.
- ◆ A total of 50.58% of all occupied housing units within Cluster Two are renter occupied, indicating a relatively stable population base.
- ◆ Just over 30% of the population within Cluster Two is over the age of 65 years, which has contributed to the higher percentage of owner-occupancy and stable population base within this cluster.
- ◆ Within Cluster Two, 74.32% of the population over the age of 25 has earned a high school diploma or GED.
- ◆ The percentage of population without a high school diploma or GED is considerable and has adversely impacted the household income and per capita income levels achieved within Cluster Two.
- ◆ There are a reported 950 housing units within Cluster Two and 856 households, indicating an overall occupancy rate of 90.11% for all housing types.
- ◆ Just over 52% of the existing housing units are single-family dwellings, and nearly 84% of all existing housing units were built before 1980.
- ◆ The median property value within Cluster Two was \$81,146 in 2000.
- ◆ In 2000, just over 35% of the population within Cluster Two generated incomes below the poverty level.
- ◆ In 2000, the median household income and per capita household income levels reported within Cluster Two compared favorably to those reported for Richland County, the State of South Carolina and the nation.
- ◆ The income earning potential of current residents within Cluster Two is sufficient to maintain portions of the residential development; however, those residents struggling financially will be unable to contribute to the long-term maintenance of the neighborhood without assistance from a variety of sources. As many properties continue to decline, the residents of this cluster would be unable to spur a market-driven revitalization.
- ◆ The rehabilitation of this cluster will require a revitalization plan that includes a variety of housing opportunities within a broad range of pricing options to serve the needs of both the existing population base and the future influx of new residents.



## Statistics

- ◆ There are 931 individual parcels in Cluster Three.
- ◆ Within Cluster Three, a total of 73 structures require immediate demolition because they are either uninhabitable, or the cost to rehabilitate exceeds any potential value to be generated.
- ◆ Another 30 structures require either immediate demolition or substantial rehabilitation.
- ◆ A total of 195 parcels contain buildings and site improvements in need of minor cosmetic renovation.

## Development Trends

- ◆ The potential for revitalization of both residential and commercial development within Cluster Three is reasonably high.
- ◆ Cluster Three is strategically located near a major employment center to the west (Columbia's Central Business District).
- ◆ Transportation routes surrounding and throughout Cluster Three are adequate.
- ◆ The majority of housing in Cluster Three is stable. In the central and northern sections, there has been some new construction; however, most older homes have not been renovated. The result is the appearance of a slow decline in most areas. The existence of inferior quality multi-family housing throughout the cluster has also adversely impacted the adjacent single-family development.
- ◆ Areas of opportunity include the incompatible commercial development along Two Notch Road and the lack of an adequate buffer between those commercial uses and the adjacent residential districts. The installation of an adequate buffer zone between these uses will enhance the appeal of both property types. In addition, there are a number of incompatible commercial uses along Carnegie Street that act as a barrier to new development. These incompatible uses must be addressed.

## Demographic Analysis

- ◆ As of 2003, the U.S. Census Bureau estimates there are 2,158 residents living within the boundaries of Cluster Three.
- ◆ The total population within Cluster Three decreased consistently between 1990 and 2000, and is projected to decrease to a low of 1,924 persons by 2008.
- ◆ As of 2003, the U.S. Census Bureau estimates there are 892 households within the boundaries of Cluster Three.
- ◆ The total number of households also decreased consistently between 1990 and 2000 and is projected to

Cluster Three	
Barhamville Estates	
Booker Washington Heights Neighborhood	
Jones McDonald Community Club	

Population Trends – Cluster 3	
2008 Projection	1,924
2003 Estimate	2,158
2000 Census	2,311
1990 Census	3,197
1990 – 2000 Total Growth	-27.71%
Annual Average	-2.77%

Source: U.S. Bureau of Census and Claritas, Inc.

Household Trends – Cluster 3	
2008 Projection	832
2003 Estimate	892
2000 Census	980
1990 Census	1,086
1990 – 2000 Total Growth	-14.36%
Annual Average	-1.44%

Source: U.S. Bureau of Census and Claritas, Inc.

Occupied Housing Units – Cluster 3	
2000 Total Occupied Housing Units	930
Owner Occupied	31.08%
Renter Occupied	69.82%
Average # Persons Per HH	2.48

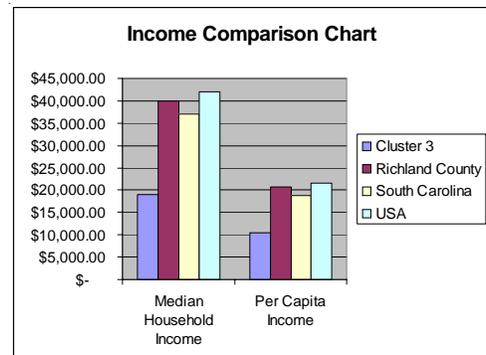
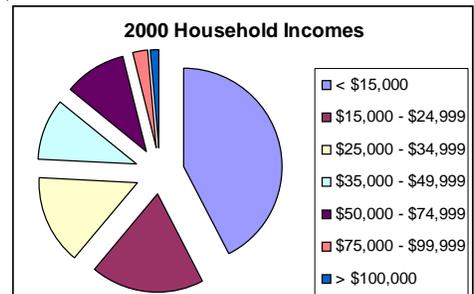
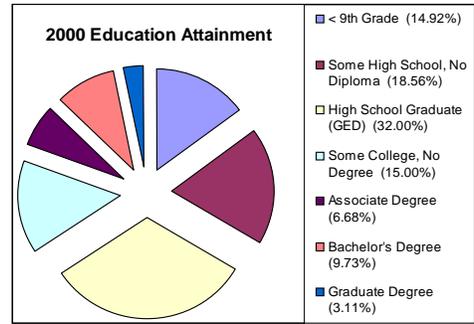
Source: U.S. Bureau of Census and Claritas, Inc.

Owner-Occupied Property Values – Cluster 3	
Under \$20,000	6.16%
\$20,000 - \$59,999	36.99%
\$60,000 - \$79,999	15.75%
\$80,000 - \$99,999	25.68%
\$100,000 - \$149,999	8.22%
\$150,000 - \$199,999	7.52%
\$200,000 +	0.00%
Median Property Value	\$68,936

Source: U.S. Bureau of Census and Claritas, Inc.

decrease to a low of 832 households by 2008.

- ◆ The consistent and relatively significant decreases in both population and number of households between 1990 and 2000 reflects the decline of many residential areas within this cluster overall.
- ◆ As the quality of available housing and neighborhood amenities has decreased, the demand for existing residential structures in Cluster Three has decreased accordingly.
- ◆ A total of 69.82% of all occupied housing units within Cluster Three are renter occupied, indicating a relatively transient population base.
- ◆ Within Cluster Three, 66.52% of the population over the age of 25 has earned a high school diploma or GED.
- ◆ The percentage of population without a high school diploma or GED is considerable and has adversely impacted the household income and per capita income levels achieved within Cluster Three.
- ◆ There are a reported 1,074 housing units within Cluster Three and 930 households, indicating an overall occupancy rate of 86.59% for all housing types.
- ◆ Just over 51% of the existing housing units are single-family dwellings, and nearly 84% of all existing housing units were built before 1980.
- ◆ The median property value within Cluster Three was \$68,936 in 2000.
- ◆ In 2000, just over 37% of the population within Cluster Three generated incomes below the poverty level.
- ◆ In 2000, the median household income and per capita household income levels reported within Cluster Three were substantially lower than those reported for Richland County, the State of South Carolina and the nation.
- ◆ While the below average income levels generated by residents within Cluster Three will not preclude revitalization, it will require a revitalization plan that includes a variety of housing opportunities within a broad range of pricing options to serve the needs of both the existing population base and the future influx of new residents.



## Statistics

- ◆ There are 425 individual parcels in Cluster Four.
- ◆ Within Cluster Four, a total of 49 structures require immediate demolition because they are either uninhabitable, or the cost to rehabilitate exceeds any potential value to be generated.
- ◆ Another 15 structures require either immediate demolition or substantial rehabilitation.
- ◆ A total of 68 parcels contain buildings and site improvements in need of minor cosmetic renovation.

## Development Trends

- ◆ The potential for revitalization of both residential and commercial development within Cluster Four is reasonably high.
- ◆ Cluster Four is strategically located between a major employment center to the west (Columbia's Central Business District), and a dense, stable and relatively wealthy population base to the east (Forest Acres).
- ◆ Transportation routes surrounding and throughout Cluster Four are adequate.
- ◆ Portions of Cluster Four are currently experiencing a market-based revitalization, while others have consistently declined over time to the detriment of surrounding areas.
- ◆ Areas of opportunity include the Allen-Benedict Apartments located at the corner of Laurel, Read and Harden Streets, and the incompatible commercial development along Two Notch Road. The rehabilitation of these areas will result in dramatic enhancements for the surrounding residential properties

## Demographic Analysis

- ◆ As of 2003, the U.S. Census Bureau estimates there are 4,460 residents living within the boundaries of Cluster Four.
- ◆ The total population within Cluster Four decreased consistently between 1990 and 2000, and is projected to decrease to a low of 4,174 persons by 2008.
- ◆ As of 2003, the U.S. Census Bureau estimates there are 1,119 households within the boundaries of Cluster Four.
- ◆ The total number of households also decreased consistently between 1990 and 2000, and is projected to decrease to a low of 1,030 households by 2008.
- ◆ The consistent and relatively significant decreases in both population and number of households between 1990 and 2000 reflects the decline of many residential areas within

Cluster Four	
Edgewood Neighborhood Council	
Eva P. Trezevant Neighborhood	
Benedict College	
Columbia Housing Authority	

Population Trends – Cluster 4	
2008 Projection	4,174
2003 Estimate	4,460
2000 Census	4,645
1990 Census	4,859
1990 – 2000 Total Growth	-4.40%
Annual Average	-0.44%

Source: U.S. Bureau of Census and Claritas, Inc.

Household Trends – Cluster 4	
2008 Projection	1,030
2003 Estimate	1,119
2000 Census	1,174
1990 Census	1,406
1990 – 2000 Total Growth	-16.50%
Annual Average	-1.65%

Source: U.S. Bureau of Census and Claritas, Inc.

Occupied Housing Units – Cluster 4	
2000 Total Occupied Housing Units	1,174
Owner Occupied	10.99%
Renter Occupied	89.01%
Average # Persons Per HH	2.19

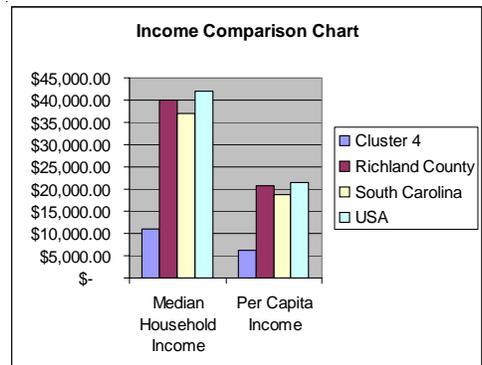
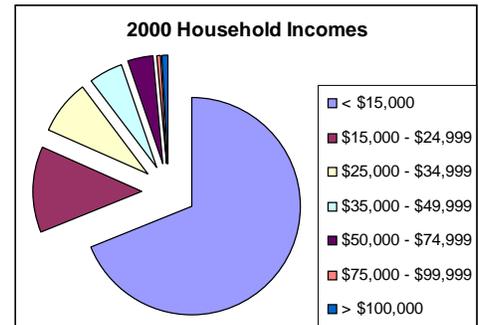
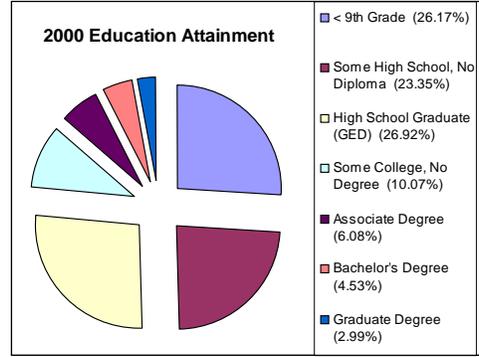
Source: U.S. Bureau of Census and Claritas, Inc.

Owner-Occupied Property Values – Cluster 4	
Under \$20,000	10.32%
\$20,000 - \$59,999	30.16%
\$60,000 – \$79,999	26.98%
\$80,000 - \$99,999	8.73%
\$100,000 - \$149,999	3.97%
\$150,000 - \$199,999	13.49%
\$200,000 +	0.00%
Median Property Value	\$67,143

Source: U.S. Bureau of Census and Claritas, Inc.

this cluster overall.

- ◆ As the quality of available housing and neighborhood amenities has decreased, the demand for existing residential structures in Cluster Four has decreased accordingly.
- ◆ A total of 89.01% of all occupied housing units within Cluster Four are renter occupied, indicating a relatively transient population base.
- ◆ Within Cluster Four, only 50.48% of the population over the age of 25 has earned a high school diploma or GED.
- ◆ The percentage of population without a high school diploma or GED is considerable and has adversely impacted the household income and per capita income levels achieved within Cluster Four.
- ◆ There are a reported 1,355 housing units within Cluster Four and 1,030 households, indicating an overall occupancy rate of 76.01% for all housing types.
- ◆ Just over 21% of the existing housing units are single-family dwellings, and nearly 89% of all existing housing units were built before 1980.
- ◆ The median property value within Cluster Four was \$67,143 in 2000.
- ◆ In 2000, just over 54% of the population within Cluster Four generated incomes below the poverty level.
- ◆ In 2000, the median household income and per capita household income levels reported within Cluster Four were less than half those reported for Richland County, the State of South Carolina and the nation.
- ◆ While the below average income levels generated by residents within Cluster Four will not preclude revitalization, it will require a revitalization plan that includes a variety of housing opportunities within a broad range of pricing options to serve the needs of both the existing population base and the future influx of new residents.



## Statistics

- ◆ There are 206 individual parcels in Cluster Five.
- ◆ Within Cluster Five, a total of 20 structures require immediate demolition because they are either uninhabitable, or the cost to rehabilitate exceeds any potential value to be generated.
- ◆ Another 5 structures require either immediate demolition or substantial rehabilitation.
- ◆ A total of 68 parcels contain buildings and site improvements in need of minor cosmetic renovation.

## Development Trends

- ◆ The potential for revitalization of both residential and commercial development within Cluster Five is reasonably high.
- ◆ Cluster Five is strategically located between a major employment center to the north (Columbia's Central Business District), and a dense, stable population base to the northeast. In addition, Cluster Five has proximity to the retail and entertainment district of Five Points, the Rosewood Dr corridor, the campus of the University of South Carolina, Sarge Frye Field and Williams Brice Stadium.
- ◆ Transportation routes surrounding and throughout Cluster Five are adequate.
- ◆ The majority of existing residential development within Cluster Five is stable. In the northern portion of this cluster, recent new construction has been well-received by homeowners and indicated continuing demand for good quality housing.
- ◆ The residential development on the northwest and south-central portions of this cluster have suffered a steep decline over the past 20 years, which is directly attributable to the adjacent incompatible warehouse/ industrial development.
- ◆ Areas of opportunity include the incompatible warehouse/ industrial development interspersed throughout the residential development on the northwest and south-central portions of this neighborhood and the lack of sufficient buffering between those uses. In addition, the former nuclear laundry site has adversely impacted this neighborhood and acted as a barrier to revitalization. The future rehabilitation of this area is dependent upon the successful clean up of this site and the mitigation of resulting stigma to the area.

## Demographic Analysis

- ◆ As of 2003, the U.S. Census Bureau estimates there are

Cluster Five	
South Edisto Court Community	

Population Trends – Cluster 5	
2008 Projection	230
2003 Estimate	257
2000 Census	281
1990 Census	392
1990 – 2000 Total Growth	-28.32%
Annual Average	-2.83%

Source: U.S. Bureau of Census and Claritas, Inc.

Household Trends – Cluster 5	
2008 Projection	101
2003 Estimate	108
2000 Census	115
1990 Census	156
1990 – 2000 Total Growth	-26.28%
Annual Average	-2.63%

Source: U.S. Bureau of Census and Claritas, Inc.

Occupied Housing Units – Cluster 5	
2000 Total Occupied Housing Units	115
Owner Occupied	40.87%
Renter Occupied	58.26%
Average # Persons Per HH	2.45

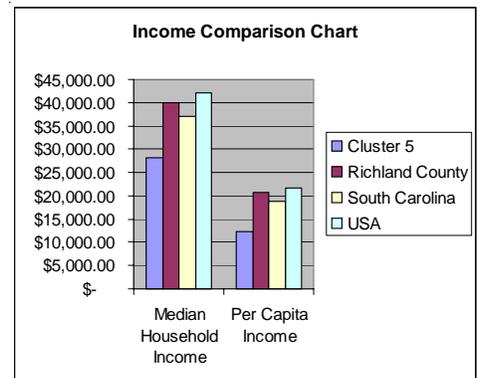
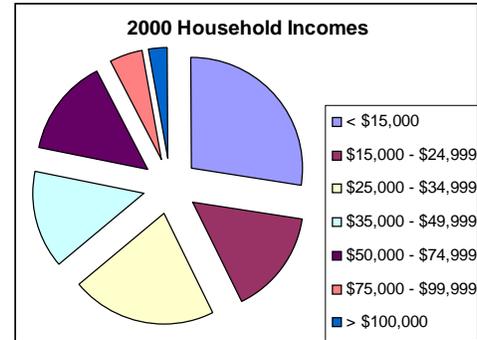
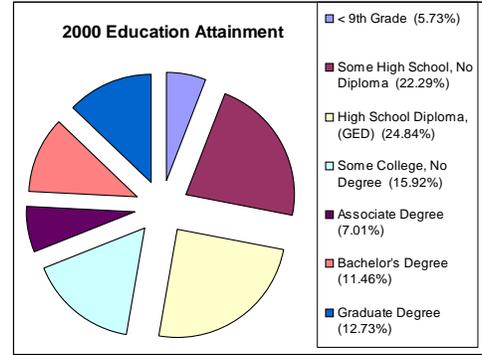
Source: U.S. Bureau of Census and Claritas, Inc.

Owner-Occupied Property Values – Cluster 5	
Under \$20,000	0.00%
\$20,000 - \$59,999	28.57%
\$60,000 - \$79,999	9.52%
\$80,000 - \$99,999	50.00%
\$100,000 - \$149,999	11.90%
\$150,000 - \$199,999	0.00%
\$200,000 +	0.00%
Median Property Value	\$68,850

Source: U.S. Bureau of Census and Claritas, Inc.

257 residents living within the boundaries of Cluster Five.

- ◆ The total population within Cluster Five decreased consistently between 1990 and 2000, and is projected to decrease to a low of 230 persons by 2008.
- ◆ As of 2003, the U.S. Census Bureau estimates there are 108 households within the boundaries of Cluster Five.
- ◆ The total number of households also decreased consistently between 1990 and 2000, and is projected to decrease to a low of 101 households by 2008.
- ◆ The consistent and relatively significant decreases in both population and number of households between 1990 and 2000 reflects the decline of many residential areas within this cluster overall.
- ◆ As the quality of available housing and neighborhood amenities has decreased, the demand for existing residential structures in Cluster Five has decreased accordingly.
- ◆ A total of 58.26% of all occupied housing units within Cluster Five are renter occupied, indicating a relatively transient population base.
- ◆ Within Cluster Five, 71.98% of the population over the age of 25 has earned a high school diploma or GED.
- ◆ The percentage of population without a high school diploma or GED is considerable and has adversely impacted the household income and per capita income levels achieved within Cluster Five; however, a significant portion of the adult population has earned a college degree, which reflects positively on the potential of the local population to enhance their quality of life.
- ◆ There are a reported 168 housing units within Cluster Five and 115 households, indicating an overall occupancy rate of 68.45% for all housing types.
- ◆ Just over 54% of the existing housing units are single-family dwellings, and nearly 93% of all existing housing units were built before 1980.
- ◆ The median property value within Cluster Five was \$68,850 in 2000.
- ◆ In 2000, just over 23% of the population within Cluster Five generated incomes below the poverty level.
- ◆ In 2000, the median household income and per capita household income levels reported within Cluster Five were slightly lower than those reported for Richland County, the State of South Carolina and the nation.
- ◆ While the below average income levels generated by residents within Cluster Five will not preclude revitalization, it will require a revitalization plan that includes a variety of housing opportunities within a broad range of pricing options to serve the needs of both the existing population base and the future influx of new residents.



# Community Workshops

## What is it?

The community workshop is a neighborhood meeting in which concerned residents provide input regarding the future direction of the community. The community workshop also provides a forum for residents to voice concerns regarding issues already within the community. In these workshops, the residents all have an equal voice. The residents' concerns, issues and visions were documented by the development team for use during the conceptual design phase. This phase of the design process is one of the most important elements in preparing a master plan. This feedback provides the development team with necessary information and history background to successfully input change within the community.

## Process

The initial community workshops were conducted during the Summer of 2003. A workshop for Clusters One and Two was conducted on June 28, Clusters Three & Four on June 21, 2003 and a workshop for Cluster Five was conducted on July 19 with over 350 residents and City officials attending. The workshops brought together the neighborhood residents, the City staff, elected officials and the development team into one room to work out a vision for the community. The residents were able to communicate directly with the development team regarding their thoughts on what their neighborhood currently is and what it could become. The residents were encouraged to think of what they would want their neighborhood to look and feel like. On a larger scale, elements included identifying what goods and services were needed within the community, and on a smaller scale where bus stops should be located.

At the beginning of the workshop, the residents were asked to participate in a visual preference survey. This survey showed images of various types of land uses, housing styles, streetscape elements and neighborhood monuments or identifications. The residents were asked to rank images on how much they liked each image and each image's appropriateness in their community. The summary of these findings painted a picture, which guided the development team during the design phase.

In addition to the preference survey, the design team conducted a "table planning" process. Residents, City staff and elected officials were divided into tables representing the five clusters within the East Central City. At these tables the residents were encouraged to describe their community. Items included the positives and negatives within their neighborhoods as well as important issues facing their community. In many cases the City staff, who were also participating in the "table planning" process, were able to address the residents concerns. All these thoughts were written down and videotaped by the development team and were incorporated into workshop summaries. Once these issues were "on the table", the development team assisted the residents in



*"A better and more detailed need for community involvement as a whole not in a separate vein, because we all have to live together."*



# Community Workshops

developing a concept plan for their respective cluster. This conceptual plan will provide the foundation for all future master plans and assisted in identifying the potential catalyst projects for each cluster. At the end of each workshop, each group's plan was presented to all the residents in attendance. This enabled all the resident's citizens to see what everyone else was thinking and too provide additional input. These conceptual master plans as well as the results from the visual preference survey and each resident's responses were collected and published as the **Neighborhood Design Workshop Findings**.

## Summary

The following items are representative comments taken from the results from initial workshop findings.

### Positives

- ◆ Family Oriented Environment
- ◆ Location
- ◆ History
- ◆ Diversity
- ◆ Parks

### Negatives

- ◆ Lack of Code enforcement
- ◆ Vacant Lots
- ◆ Dilapidated Houses
- ◆ Gonzales Gardens
- ◆ Crime

### Needs

- ◆ Affordable housing
- ◆ Single-family housing
- ◆ Owner-Occupied housing
- ◆ Parks
- ◆ Renovation of existing structures
- ◆ Street lighting
- ◆ Sidewalk maintenance
- ◆ Basic retail services



*"It is very important to keep a safe productive family-oriented community with access for our children and elderly residents to be conducive for learning and productivity."*



Community Analysis

On November 22, 2003, the development team presented their findings, and reviewed the proposed conceptual Land-Use Plans and conceptual catalyst programs to the community. After the presentation, residents were encouraged to evaluate the proposals and participate in a second round of table planning sessions. During this time, residents were able to ask the development teams questions and critique the design proposals. The following items were comments collected from the community questionnaire following the conceptual Land-Use and Catalyst presentations:

## Land Use Plan

*What are your general impressions of the proposed land use plan for your neighborhood cluster?*

- ◆ Excellent.
- ◆ Overall it is very good; it will certainly add to the area.
- ◆ The area/neighborhood is prime for uplift and restoration.
- ◆ Very impressed with the proposed land plan.
- ◆ I am impressed by the work that has been done so far, and I am in favor of the proposed land use plan. I especially like the idea of multi-use buildings and creating neighborhoods that people can live in all during their lifetime, even if they move to different housing within the same neighborhood.
- ◆ Put in mix-use (grocery, dry cleaner) and put in sidewalks.
- ◆ Gonzales Gardens (drugs) clean up.
- ◆ Idea looks good, also needs more direction into community planning.
- ◆ Proposals seem to make a positive difference.
- ◆ Take in Midland Shopping center (to include it).
- ◆ How soon & where will the money come from?
- ◆ Good where implemented.
- ◆ Great plans, attention to detail has been great.
- ◆ Most concerned about paving of sidewalks.
- ◆ Impressed with overall plan.
- ◆ The general land use plan in its earliest form looks good. We just certainly need to ensure we as residents remain active and vigilant.
- ◆ Gonzales Gardens and overcome drugs.
- ◆ I think the plan will be great and the improvement to our community.
- ◆ We plan to push our cluster group and our neighborhood meetings.
- ◆ Looks great!
- ◆ Good idea, protective, can only improve the neighborhood.
- ◆ I like the general proposed plans.
- ◆ Much needed.



*"The general land use plan in its earliest form looks good. We just certainly need to ensure we as residents remain active and vigilant."*



*"Hopefully this will be done soon."*

- ◆ Sounds good. Is this just talk?
- ◆ Better than nothing – good if implemented soon.
- ◆ It's a great improvement for my area.
- ◆ Good.
- ◆ I am very impressed with the proposed land use plan for the neighborhood.
- ◆ The plan is wonderful, just what our area needs. Great plan.
- ◆ Very good, this is an outstanding opportunity for us to come together and become neighbors with more in common than I've realized before.
- ◆ Great! Great! Great! A great plan!
- ◆ Hopefully this will be done soon.
- ◆ From the meeting I observed very little change from all that has been proposed thus far.
- ◆ Very good.

*What elements that are still needed in your neighborhood, have not been reflected in the land use plan?*

- ◆ Bike pathways.
- ◆ Sidewalks & lighting – possibly park improvements to make it more family friendly.
- ◆ How much/ or what status would the commercial component play? i.e. food stores, laundrymats, gas stations, etc.
- ◆ Bus transit location – to keep buses from holding up traffic.
- ◆ Educational Destinations – Public library would add to the community.
- ◆ Sidewalks throughout each neighborhood, a new U.S. Post office & Library, a Recreation Center.
- ◆ Sidewalk & Sewer.
- ◆ Need more information – earlier instance of planning areas in which offering people who live there to be on these planning committees.
- ◆ Need a central library.
- ◆ Midland Shopping Center needs to be included in boundaries and study of how property can be used.
- ◆ Parking – solving street parking issues.
- ◆ More multifamily development. Neighborhoods will all need to understand mixed-use.
- ◆ Better street lighting.
- ◆ New use for Midland Shopping Center and Central Carolina Academy should be considered catalyst.
- ◆ Vacant lots and cars cleaning and remove.
- ◆ Vacant lots – sidewalks, etc.
- ◆ Bicycle paths, crime & security measures.



*"Midland Shopping Center needs to be included in boundaries and study of how property can be used."*



*"Is this just talk?"*

- ◆ Parks, recreation areas for children.
- ◆ Quality of housing.
- ◆ Library.
- ◆ Walking & Bike trails.
- ◆ Curbs & sidewalks on all side streets. If no place for sidewalks, please put curbs on all side streets.
- ◆ Drainage on Louise & Barhamville.
- ◆ Public Library.
- ◆ Believe you have addressed most of our problems.
- ◆ Improved lighting, walking trails.
- ◆ Along Two-Notch, Cluster Four – Commercial businesses to address venture that cater to the neighborhood residential and student communities as well as, to cater to visitors coming to games and other college and community events.
- ◆ We need a library and park for the children.
- ◆ Has the widening of Two Notch been considered and could the widening be incorporated. Maybe two notch needs to zigzag rather than straight

*What issues still needed to be addressed in your neighborhood?*

- ◆ Homelessness in relationship to foot traffic and homeowners' security.
- ◆ We have drug problems coupled with absentee landlords.
- ◆ Abandoned houses, rentals, city services.
- ◆ Bicycle path lanes. Something to slow the traffic down on Barhamville Rd and Kuban Substation.
- ◆ Clean neighborhood; stealing and drugs and commercial area.
- ◆ Drug; crime; low income housing; more police patrolling; monitoring in a more control time; response time to assist elderly members of the living area.
- ◆ Security, noise, clean-up and general policing. We as a community organization have complained about loud stereos in cars in the entire neighborhood.
- ◆ Responses to the issues are not taken in account in a timely manner.
- ◆ Note: some response has been w/ Lt. Johnson Stocker.
- ◆ Sidewalks would be an improvement and some properties on Harrison Rd are eyesores.
- ◆ Midland Shopping Center.
- ◆ Re-stripe parking spaces.
- ◆ Issues of street drainage, junk & other refuse on the 2300 block of Richland Street.
- ◆ City needs to be more proactive on cleaning streets and picking up junk.
- ◆ On street parking needs to be available for residents (people are parking in front of my house).



*“Along Two-Notch, in Cluster Four – Commercial businesses to address venture that cater to the neighborhood residential and student communities as well as, to cater to visitors coming to games and other college and community events.”*



*“Responses to the issues are not taken into account in a timely manner.”*

- ◆ Abandoned cars prevent street cleaning.
- ◆ Sidewalks need cleaning.
- ◆ More parking.
- ◆ Harrison Rd & Pinehurst Rd – sidewalks.
- ◆ Zoning enforcement.
- ◆ Infrastructure maintenance.
- ◆ Clean-up James Town (Food Lion).
- ◆ The cleaning up of your lots abandoned cars.
- ◆ Traffic is heavy on this street – school children, etc.
- ◆ Pulliam Ford “try outs”.
- ◆ Run down trailer park – (Victory St & Dubard) – excessive drugs & drinking in there.
- ◆ Sources of crime – access from sources.
- ◆ Crime.
- ◆ Water drainage on Santee near MLK Park.
- ◆ Double parking on one street leaving a narrow driving space.
- ◆ I want to see more palmetto trees in the whole area.
- ◆ Recreation for the youth.
- ◆ Curbs & green space.
- ◆ Library.
- ◆ Over growth of trees on my back yard fence, it’s a concrete wall that borders the property, trees are damaging the wall.
- ◆ My neighborhood was not addressed. There is an apartment complex on the corner of Water Street/ Manse Street and several houses on Shaw Street and 5 apartments that all need to be torn down. They are an eyesore to the other neighbors who try to improve their homes. In addition, there is a lot of traffic.
- ◆ Traffic and parking on Oak St.
- ◆ Crime & more lighting, some areas are very dark.
- ◆ A new library & more area parks for our children/ grandchildren.
- ◆ Oak St corridor as an established campus grounds.
- ◆ Remove apartments in community.
- ◆ Apartments are far too many.
- ◆ Streets with curbs and sidewalks (curbs not sloped sides).
- ◆ Include Rochelle Heights, Covenant Rd up Two Notch to Beltline.

## Catalyst Plans

*What are your impressions of the proposed catalyst for your neighborhood/ cluster?*

- ◆ My impressions focus on the area between Harden and



*“A new library & more area parks for our children / grandchildren.”*



*“City needs to be more proactive in cleaning the streets and picking up junk.”*

Two Notch along Elmwood Street.

- ◆ Good if implemented.
- ◆ Very good, to make our area a better place for us to live.
- ◆ Very good.
- ◆ In Cluster Three, three were identified. Okay with them.
- ◆ The plans are great, but I feel the three planners need to present their plans to the neighborhood.
- ◆ The catalyst plans seem good. Focus on cleaning up & beautifying Green Street.
- ◆ Good, productive will improve the neighborhood.
- ◆ Very good, need more information.
- ◆ Excellent, deal with Gonzales Gardens first.
- ◆ Seem to be good – Arbor Hill – Midland Shopping Center, etc.
- ◆ I am looking forward to the change.
- ◆ Very good.
- ◆ Excellent.
- ◆ Great projects, great design.
- ◆ Don't make them so straight, use more curves and various shapes, and allow for parking off street that would also encourage use of the front door.
- ◆ Great.
- ◆ Plans for Schoolhouse Rd are attractive and will be a nice improvement to neighborhood.
- ◆ I like them. We need more single-family housing especially. I agree that the neighborhoods in Cluster 3 need to be connected better by doing something about the railroad track.
- ◆ Didn't get it all.
- ◆ I think this is an excellent plan and it is wonderful to continue with community members input.
- ◆ Yes on Schoolhouse Rd. The logistics of getting this done can be a problem.

*Do these projects enhance or improve your neighborhood? If not, why?*

- ◆ Yes & No – Benedict College has a master plan, city & neighborhoods need a master plan for remaining community. Put these plans together in action.
- ◆ Yes.
- ◆ Yes, they do.
- ◆ Yes, can this be done in my lifetime?
- ◆ They do improve the neighborhood.
- ◆ Improve yes.
- ◆ Improve & enhance.
- ◆ Could enhance.
- ◆ Will improve when put into action.



*"I am looking forward to the change."*



- ◆ Any improvement would enhance the neighborhood.
- ◆ There is overall improvement.
- ◆ Improve.
- ◆ This project is a definite improvement to neighborhood.
- ◆ Yes, everything doing fine.
- ◆ Yes, the project enhances.
- ◆ Enhance.
- ◆ Improve neighborhood.
- ◆ Enhance greatly.

## Additional Comments

- ◆ Keep up the good work.
- ◆ Check on houses that no one lives in in the neighborhood.
- ◆ I would like to see African-American as vendors, construction contractors, facilitators, and leaders in this planning process.
- ◆ Don't have enough time to finish filling this out. How about sending us a sheet to fill out that we can mail back in or take it to our next neighborhood meeting & give it to the president.
- ◆ Got to pick up the kids – will review thoughts. We (FHNA in conjunction with Lyons) are committed to high quality urban living. A concern comes from translation to implementation: great plan & awarding the planning construction contracts to developers who do not share our commitment to quality – 235 homes built in late 60's to early 70's comes to mind — BR.
- ◆ Keep up the neighborhood meetings. Communication is the key to success.
- ◆ Comments of the people really taken in consideration by the very good East Central City Consortium, Inc.
- ◆ Thank you for working so hard on this project and for getting our input.
- ◆ Residents will need help with financing to help with some home renovations.
- ◆ I like the idea that each neighborhood has an icon or a focal point as park or public space area.

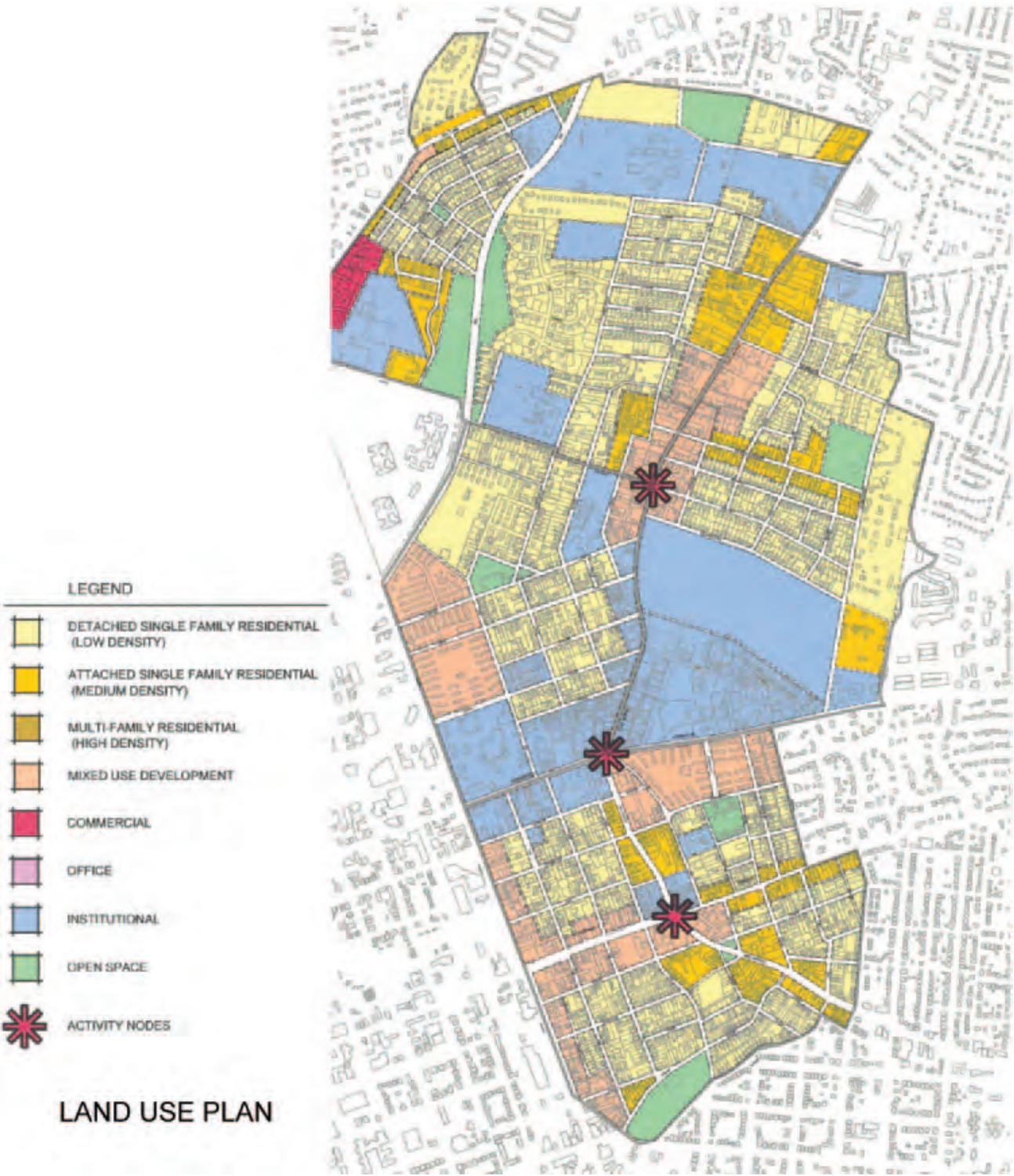


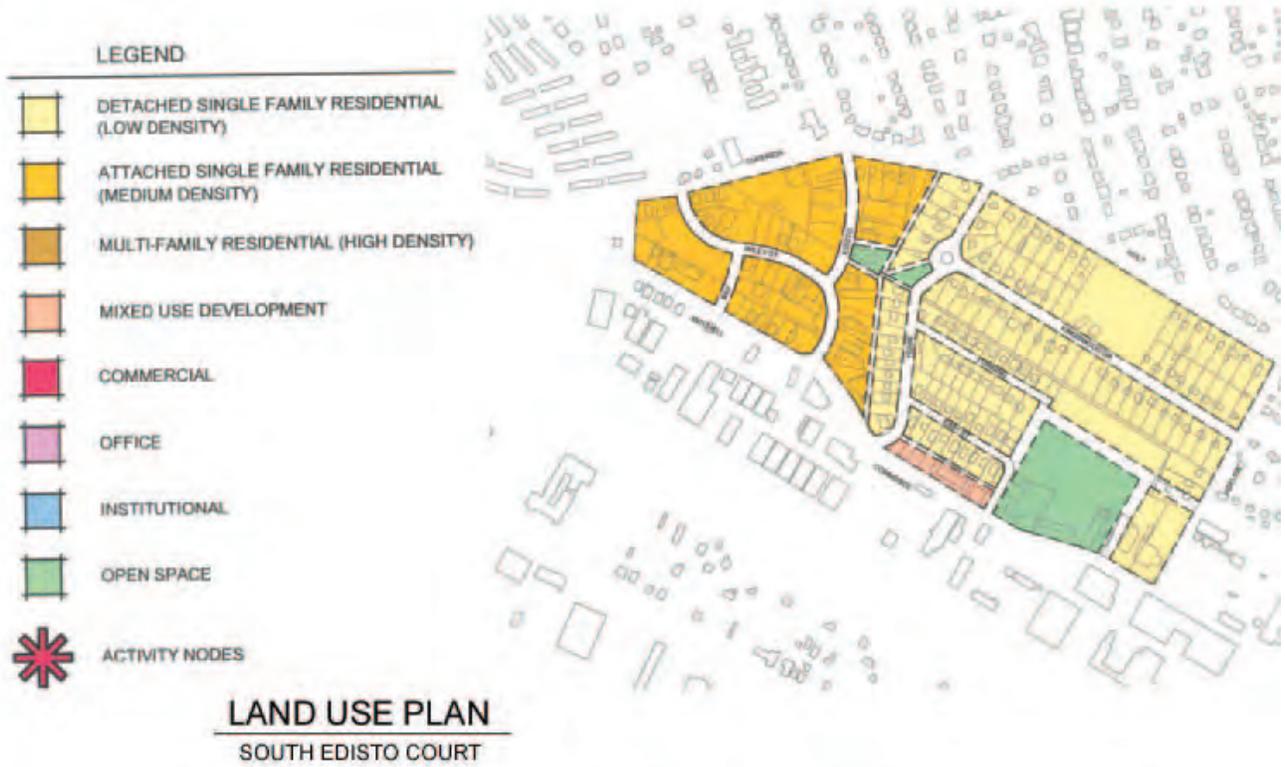
*"I like the idea that each neighborhood has an icon or a focal point as park or public space area."*



*"Yes, can this be done in my lifetime?"*

# Land-Use Plan





# Land-Use Plan

The Land-Use Plan for the East Central City was created by compiling three important elements. First; The site analysis prepared by the development team evaluated the site's many different physical elements including topography, infrastructure conditions, existing and adjacent land uses and building locations within the community. Second; The Socio-Economic and Real Estate Market Analysis included the current demographic and economic analysis for the area as well historical developmental trends and a detailed physical evaluation of each structure and parcel. Third; But the most important component in creating the comprehensive land use plan was the input provided by the residents during the community workshop. During this phase the residents were asked to provide input during a visual preference survey as well as participate in a land-use workshop for their own neighborhoods. The results from these workshops provided the basic framework for the land use plan.

In working with the City of Columbia's Planning Department, the development team created seven land-use categories and developed a set of design guidelines to better define land-use and design intentions for future development and rehabilitation within the East Central City Consortium. These land-use categories and design guidelines best reflect the wishes of the residents participating in the workshops. The proposed land-use categories are as follows:

Category	Intended Use	Density
Low-Density Residential	Detached Single-Family Residential	6-8 Du/Ac
Medium-Density Residential	Attached Single-Family Residential	8-10 Du/Ac
High Density Residential	Multi-Family Residential	12-14 Du/Ac
Mixed-Use Development	Retail, Office and Residential Elements	20,000 Sf/Ac
Commercial	Neighborhood Retail	12,000 Sf/Ac
Office	Professional Office	12,000 Sf/Ac
Institutional	Medical and Government Services	NA

Low-density, single family residential remains the "core" of the Land-Use Plan. The residents wished to preserve the existing residential fabric of many of the neighborhoods. While some of these neighborhoods are in fair condition, such as the Midlands Terrace Neighborhood and the Jones-McDonald Community, many neighborhoods such as the Lyon St Neighborhood and the Edgewood Neighborhood have numerous vacant lots and abandoned/neglected housing. There is a lack of code enforcement and basic city services within these neighborhoods. New construction and rehabilitation of existing structures within neighborhoods will be vital in the preservation of these neighborhoods. **New construction should focus on integrating within the existing street patterns and lot configurations.** The single-family "cores" should continue to push for affordable housing while promoting a need for individual home ownership. This transformation has already begun in some neighborhoods within the community. The Columbia Housing Authority has recently demolished two traditional public housing projects, Celia Saxon Homes and Hendley Homes. CHA will be reintroducing housing types and architectural styles consistent with the surrounding historic single-family community. In addition, CHA has



Community Workshop

Four planning principles were identified as a result of these workshops:

1. Preserve the traditional single-family "core" neighborhoods
2. Create centralized neighborhood activity nodes
3. Redefine the traditional commercial corridors within the community
4. Preserve, enhance and create public open space



Single-Family - Columbia, South Carolina

# Land-Use Plan

developed the TS Martin Community of new for-sale homes. The removal of existing housing projects, such as Gonzales Gardens and Allen-Benedict Court and other non-compatible uses will need to continue to preserve the single-family neighborhoods. In addition, new construction, such as on Heidt St in the Waverly Neighborhood or the Graymont subdivision in the South Edisto Court Community, will need to mimic the existing architectural styles within the community. New homes that do not integrate or blend with the surrounding homes, such as on Barhamville Rd and Oak St will not help preserve the neighborhood appeal of East Central City and in some cases, will damage the existing urban fabric.

**An activity node is defined as a mixed-use commercial core area that should provide community residents with basic goods and services. These uses should include neighborhood retail services, office and residential components.** Elements consistent with activity nodes include a pedestrian friendly environment, designated transit stops, public gathering spaces, civic uses, small retail shops, and strong streetscaping elements such as street trees, wide sidewalks and bicycle racks. An activity node is usually within a convenient walking distance for community residents so pedestrian activities are encouraged and car trips are minimized or distances reduced.

This Land-Use Plan has identified three activity nodes. The Gervais St/Millwood Ave intersection and the Taylor Rd/Two Notch Rd intersection have the potential to become activity nodes for the community as well as gateways to downtown Columbia. The Gervais St/Millwood Ave activity node would service three neighborhood communities; The Lyon St Neighborhood, The Lower Waverly and Waverly Neighborhoods are all located within walking distance of this intersection. The node should be developed as a mixed-use destination point. Retail and small office elements would cater towards the needs of the community while including a higher density residential component. The residential units, such as apartments or condominiums, would provide additional housing options for residents. In addition, the increased density will provide additional customers necessary to support the retail services. The Taylor St/Two Notch Rd activity node should also incorporate a mixed-use element, but it should be catered towards meeting the needs of college students and young professionals associated with the adjacent Allen University, Benedict College and Providence Hospital.

The third activity node should focus upon the redevelopment of Two Notch Rd between Schoolhouse Rd to the north and Chestnut St to the south. A mixed-use development is currently proposed for Benedict College's East Campus at this node. Across the street the college has created a Business Development Center for the community. Eva P. Trezevant, Edgewood, Midlands Terrace and Pinehurst Neighborhoods are all within walking distance of this activity node. Future office space would appeal to young professionals working with the Providence Hospital or Benedict College. Multi-family housing would be attractive to students who



Activity Node



Mixed-Use - Columbia, South Carolina

# Land-Use Plan

might benefit from being close to the adjacent athletic complex. A retail element will be vital in providing goods and services to the neighborhoods as well as students. The node should be anchored by a civic-use such as a library.

East Central City contains five traditional commercial corridors. A commercial corridor traditionally contains just one land-use. Historically, that use has been retail. In addition, these corridors are often within a non-pedestrian friendly, vehicular dominated environment. Buildings are often placed to the rear of the property separating the buildings entry point from the public sidewalk by a “sea of parking”. History has shown that this type of corridor is non-sustainable. As the city grows and new commercial markets are identified, prominent tenants leave these corridors for new, larger buildings with bigger parking lots. Many of the existing buildings are then forced to lower rental rates to remain competitive or become vacant. This trend has happened along the corridors of the East Central City.

Higher density, mixed-use developments should be developed along the street corridors of Gervais St west of Millwood Ave, Forest Dr east of Millwood Rd, and Harden St. These corridors should incorporate multi-family residential with retail and office components at street level. Buildings should front the street with parking to the rear of the building. The buildings placement, along with street trees, gracious sidewalk widths and street furnishings, will help create a strong street corridor and defined pedestrian-friendly environment. This land-use designation will be especially important with the redevelopment of Gonzales Gardens along Forest Dr and Allen-Benedict Court fronting Harden St. Gonzales Gardens has an opportunity to be developed as a mixed-use site that could cater towards the medical community, but this redevelopment will need to respect the residential fabric of the Lyon St Community.

Medium-density residential corridors should be developed along the remaining street corridors of Millwood Ave, Two Notch Rd, Gervais St east of Millwood Rd and Belt Line Blvd. A medium-density residential corridor will buffer the existing single-family residential neighborhoods from the busy collector streets while providing additional housing options to residents within the community. This higher-density residential component will also provide additional customers necessary for the neighborhood retail elements located within the proposed activity nodes.

The Taylor St corridor east of Millwood Ave, which is fronted by Allen University to the south and Benedict College to the north, should be redefined as an institutional corridor. As Allen University and Benedict College continue to grow, their campus growth should be encouraged along Taylor St. The presence of the institutions along this corridor will further strengthen visual identity of the schools as well as create a pedestrian friendly environment. This expansion would also allow for the traditional neighborhoods of Waverly and Eva P. Trezevant to remain single-family.



Mixed-Use - Atlanta, Georgia



Attached Single-Family - Atlanta, Georgia



Open Space - Columbia, South Carolina

# Land-Use Plan

While some neighborhoods, such as Lower Waverly and Pinehurst, have good existing parks, more public open space will be needed as the community begins to transform and more residents return. Three new parks are proposed for the East Central City. The largest park would benefit three neighborhoods while turning a negative space into a positive place. The park, located along the railroad tracks adjacent to Dart St, would physically link the Booker Washington, Barhamville Estates, and Edgewood Neighborhoods through a system of pedestrian pathways. These pathways would also connect the neighborhoods to the local schools located along Barhamville Rd. A new passive park is proposed for the South Edisto Court Community on what is currently an asphalt parking lot. The park would provide a passive recreation space that would benefit the community and remove an existing eyesore. The park could incorporate a civic use such as a library or community center. Additionally a passive park for neighborhood gatherings is proposed along Elmwood St within the new Celia Saxon community.

The land-use plan also proposes the expansion of several neighborhood parks. St Anna's park in the Lyon St neighborhood should be expanded to front Washington St. This expansion will not only benefit the community with more open space but will also provide additional security within the park by allowing the park to be viewed from Washington St in addition to two existing streets. The expansion of Isaac-McClinton Park in the South Edisto Community is crucial in linking the existing single-family community with the redevelopment of Wiley St and the former Hendley Homes.

## Recommendations

- ◆ Preserve the traditional single-family "core" neighborhoods
- ◆ Create centralized neighborhood activity nodes
- ◆ Redefine the traditional commercial corridors within the community
- ◆ Preserve, enhance and create public open space
- ◆ Encourage home ownership and rehabilitation
- ◆ Strengthen code enforcement
- ◆ Create a pedestrian friendly environment
- ◆ Create gateways to downtown Columbia
- ◆ Enhance community identification
- ◆ Encourage continued community involvement



Single-Family - Atlanta, Georgia



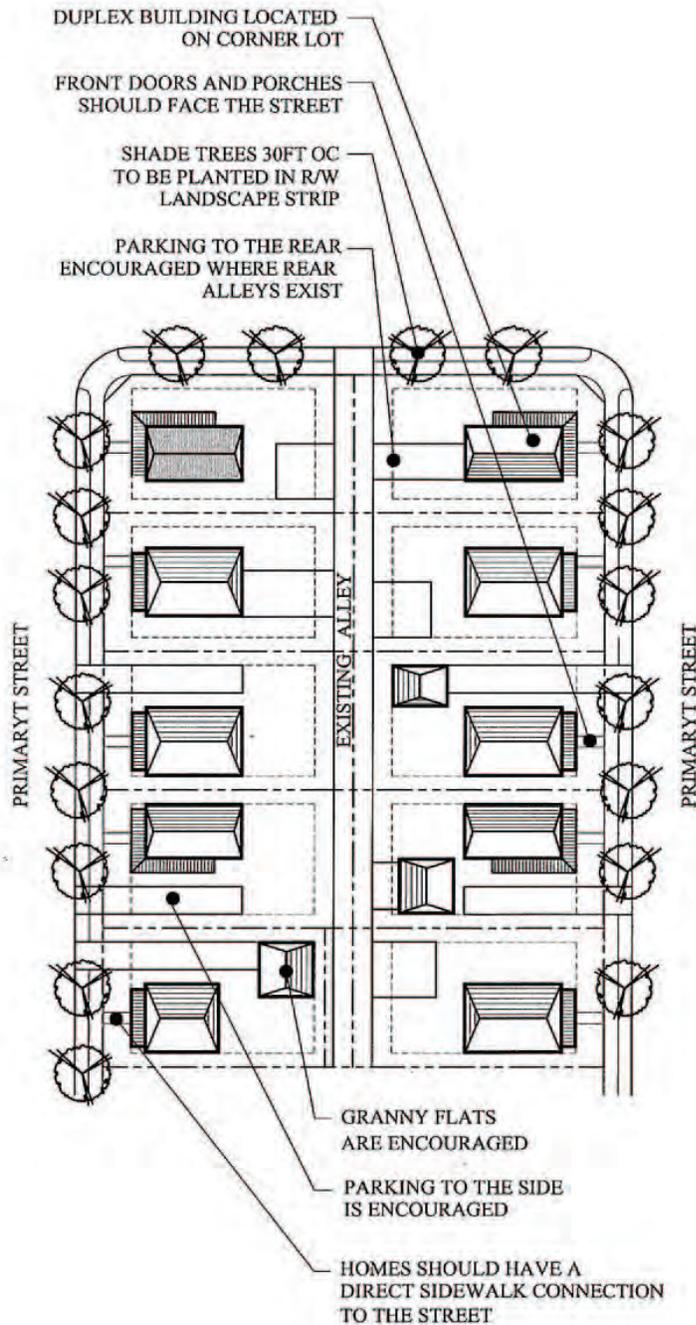
Activity Node



Open Space, Atlanta, Georgia



Pedestrian-Friendly Streetscape  
Chattanooga, Tennessee



1. New single-family homes shall be consistent in size and scale with the historical fabric of the community.
2. Architectural style and façade patterns shall be consistent with the historical fabric of the community.
3. Proposed single-family lot widths shall be consistent with that of the community. Lot widths shall be a minimum of 40 ft. (The minimum lot width for the Barhamville Estates Community shall be 80 ft. The minimum lot width for the Jones-McDonald Community shall be 50 ft and the minimum lot width for the Midland Terrace neighborhood shall be 50 ft).
4. No more than 25% of the building shall be used for business purposes and shall be limited to the ground floor.
5. The front yard setback shall be consistent with that of the surrounding buildings.
6. The minimum front yard setback shall be 15 ft. (The minimum front yard setback for the Barhamville Estates and the Jones – McDonald neighborhood shall be 25 ft).
7. Front steps or non-covered porches are allowed to encroach into the front yard setback a maximum of 5 ft.
8. Attached single-family homes (patiohomes, townhomes) shall vary building form through varying facades and front yard setbacks. Front yard setbacks shall be varied up to 5 ft.
9. New driveways shall be placed to the rear or side of new single-family homes. Driveway widths shall be limited to one car width (max. 12 ft).
10. The use of front yard parking pads shall be discouraged.
11. Attached single-family homes shall be encouraged to use one central driveway access point to minimize curb cuts.
12. Where rear loading or side loading driveways are non-feasible (due to topography), the minimum front yard setback shall be 20 ft. In addition,



*Discourage Front-Yard Fencing that exhibits no opacity (50% maximum)*



*Encourage a Direct Pedestrian Connection to the Street*



*Encourage Duplex Housing to be Consistent with the Historic Single-Family Fabric*



*Encourage New Construction to be Consistent to the Existing Historic Fabric*



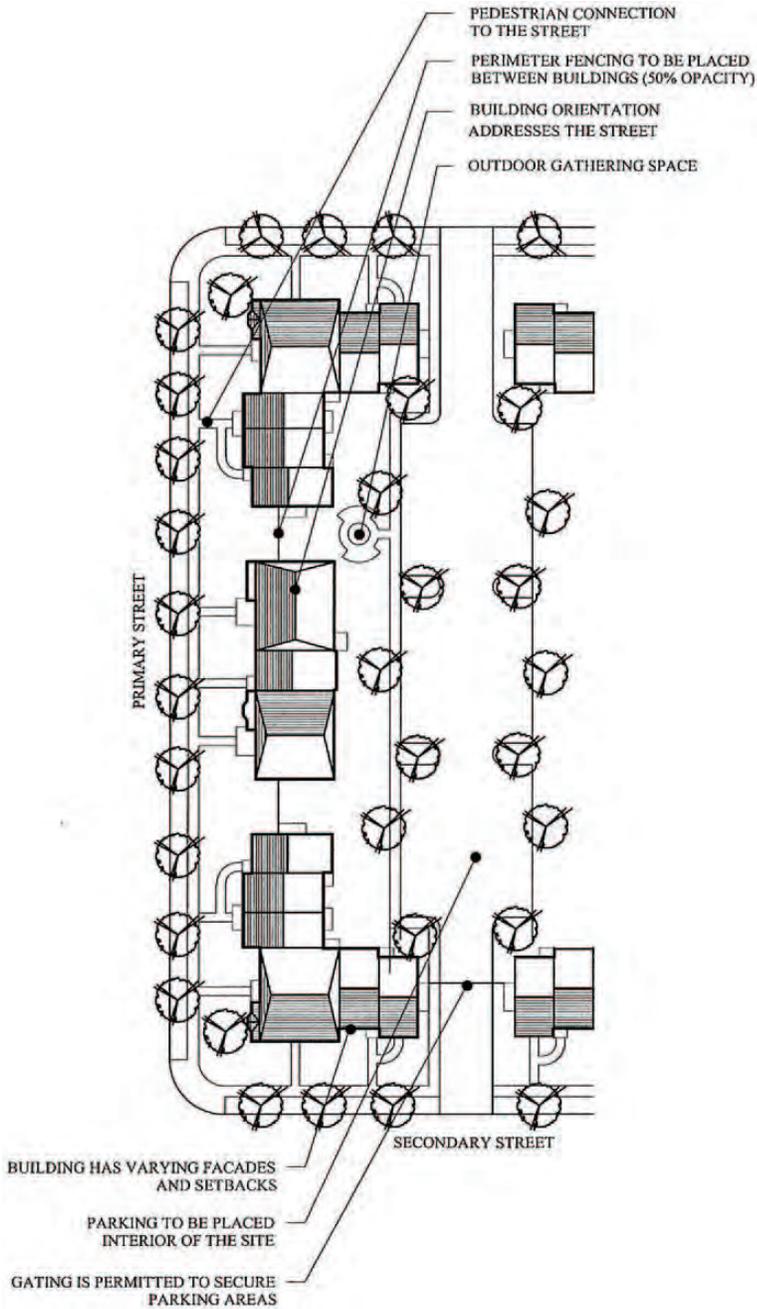
*Encourage Buildings with Varying Facades and Front Porches*



*Discourage Front Yard Parking Pads*

the garage door shall be recessed/ setback a minimum of 5 ft from the front of the home.

13. Shared rear and side yard driveways shall be encouraged.
14. Each home shall have a front entry point visible from the street and be directly connected to the public sidewalk by a sidewalk.
15. New single-family construction shall use brick, stone or hardy plank siding along all front and major sides.
16. New single-family construction shall vary in design and materials but be consistent in theme.
17. New single-family construction shall have “useable” front porches characteristic with homes within the community.
18. Accessory units or “Granny Flats” shall be encouraged to promote affordable housing options. Accessory units shall be defined as housing for nannies, elderly residents, housekeepers, etc. The maximum building size shall not exceed 400 sf on any one floor and shall be limited to two stories. The maximum lot coverage shall not exceed the allowable limit found in the Columbia Zoning Ordinance.
19. Duplexes shall be encouraged within the single-family residential neighborhoods. Duplexes shall be limited to corner lots and be limited to two lots per block. In addition, no duplex may face another duplex on the opposing block.
20. Minimum width for a duplex lot shall be 55 ft.
21. Fencing shall be permitted within the front yard. The maximum height of the fence shall be 48" and have 50% opacity. The use of brick, stone or wood shall be encouraged.
21. Chain-link fence shall only be permissible along side yard and rear yard lot lines and must be vegetatively screened from public view. Chain-link fence shall not be permissible along a major side.



1. New multi-family construction shall provide a central gathering or open space (i.e. playground, gazebo).
2. New multi-family homes shall be oriented towards the street to promote interaction with the street and neighborhood.
3. Buildings shall be multi-storied with a three story limit.
4. Buildings shall be arranged to provide strong visual corridors for pedestrian circulation.
5. New multi-family homes shall be visually compatible in scale, size, materials and design to its surrounding community. Buildings shall be designed with varying façade treatments, setbacks and a strong sense of pedestrian entry.
6. All sides of new multi-family construction within the public view shall be treated with the same level of architectural style and detail.
7. Useable front porches shall be encouraged to promote better interaction between the residents and the streets.
8. Driveway/parking access shall be from secondary or side streets.
9. All off-street parking shall be placed to the interior of the development. Parking shall be adequately screened from the public right of way. Designated on-street parking may be counted towards meeting the required parking density.



*Encourage Buildings with Varying Facades, Roof Pitches, and Setbacks*



*Encourage Buildings with Useable Porches*

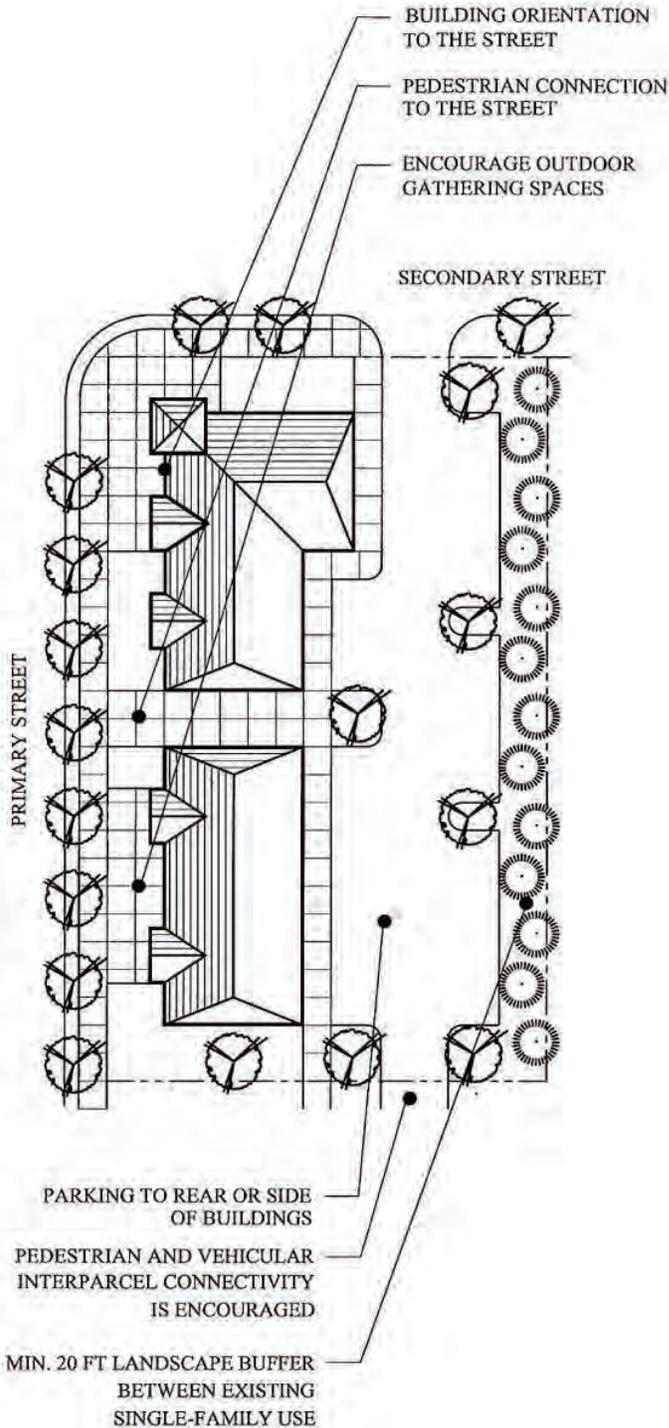


*Encourage Sidewalk Connections from Front Entry to Public Sidewalk*



*Discourage Buildings that are Out of Scale and Inconsistent with the Neighborhood Fabric*

10. A minimum 20 ft landscaped buffer shall be required between existing single-family homes and multi-family developments.
11. All dumpsters and trash receptacle areas shall be placed internal to the development and shall be screened from public view by fencing and landscape materials.
12. Fencing shall be permitted within the front yard setback. Fencing shall be limited to 5 ft in height and 50% opacity. The use of brick, stone wood and aluminum/iron pickets shall be encouraged.
13. Chain-link fencing shall not be permitted within the front or visible side yards.



1. Office or retail development is permitted where the entire building is located within 200 ft of the major commercial corridors of Gervais St, Taylor St, Two Notch Rd, Forest Dr or Millwood Rd.
2. Buildings shall be neighborhood/ pedestrian in scale & design and shall include pedestrian elements at sidewalk level such as generous sidewalk widths (8 ft minimum), street lighting, seating areas, paving patterns and landscaping.
3. Buildings shall be encouraged to align with street frontages to reinforce a continuous public street and public pathway space.
4. Buildings shall be encouraged to respect the historic architectural style of the community.
5. New mixed-use developments shall be encouraged to produce two-story buildings with either office and/or residential elements.
6. Buildings are not to exceed three stories except on corner lots (Gervais St and Millwood Rd intersection or Two Notch Rd/Taylor Rd intersection) where buildings are permitted a fourth story within 100 ft of the intersection (as measured along the street right-of-way).
7. Shared driveway/parking access shall be encouraged.
8. Driveways to adjoining non-residential land uses/parcels shall be encouraged to minimize curb cuts along public streets and promote better inter-parcel vehicular and pedestrian connectivity.
9. Required on-site parking shall be encouraged to the interior of the development and shall be screened from public view.



*Encourage New Construction to Respect Historical Fabric*



*Encourage a Pedestrian Scale Environment*



*Encourage Building to Front of the Street and the Use of Awnings/Canopies*



*Encourage the Delineation Between Pedestrian and Vehicle Space*

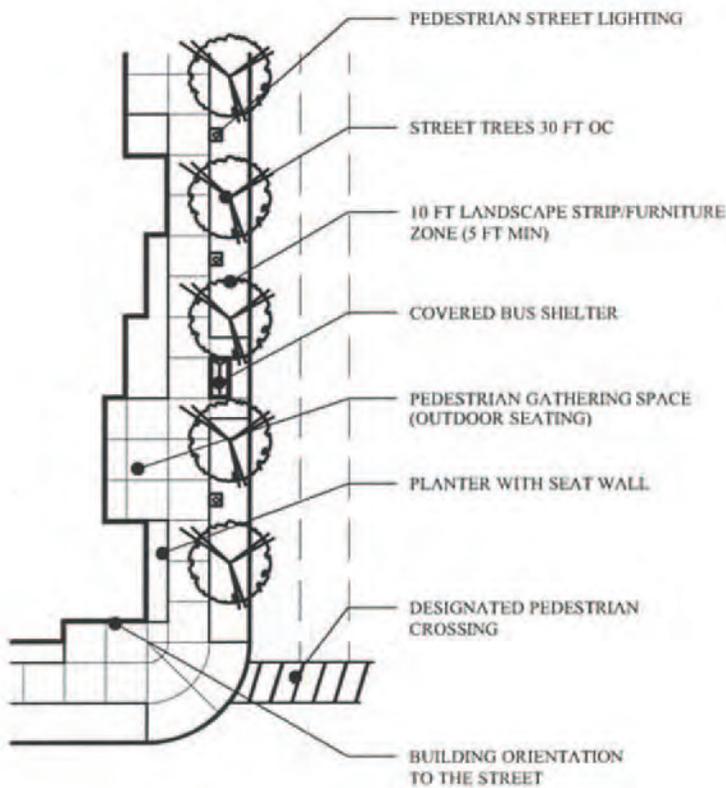


*Encourage Multi-Story Mixed-Use Buildings that Front the Street*



*Discourage "Seas" of Parking*

10. Designated on-street parking shall be required when feasible and may count towards reaching required parking density.
11. New buildings shall have their primary orientation to the street rather than the parking area.
12. There shall be a direct pedestrian connection between the public sidewalk and the buildings primary entrance.
13. The use of alternative paving materials and bollards to delineate between pedestrian circulation movements and vehicular traffic shall be encouraged.
14. The use of varying building facades and setbacks and the use of canopies and/or awnings shall be encouraged.
15. All sides of the building within the public view shall be treated with the same level of architectural style and detail.
16. A minimum 20 ft landscape buffer shall be required between an existing single-family residential home and non-residential uses. The buffer shall include a brick or wooden fence and appropriate vegetation.



1. In residential areas, a minimum 5 ft landscape strip is required between the public sidewalk and the back of curb.
2. In residential areas, a 5 ft sidewalk is required to be placed to the public side of the right of way.
3. In non-residential areas, a minimum 5 ft landscape strip or brick/stone paver area is required between the public sidewalk and the back of curb.
4. In non-residential areas, a minimum 8 ft sidewalk is required to be placed the public side of the right of way.
5. Street trees are required at a minimum of 30 ft on-center within the landscape strip adjacent to public and private streets (excluding alleys).
6. One shade tree per 10 parking spaces is required for parking areas and shall be placed within the parking area.
7. The minimum caliper for street trees is 3".
8. In residential areas, where utilities are not to be buried and are directly overhead, the use of under-story shade trees are permitted.
9. Existing and proposed alley corridors are encouraged for the routing of utility lines.



*Encourage Transit Shelters at Mixed-Use Nodes*



*Encourage Pedestrian-Friendly Corridor Streetscapes*



*Encourage Public Gathering Spaces*



*Encourage Monuments at Gateway Intersections*



*Encourage Pedestrian-Friendly Residential Streetscapes*



*Discourage Non-Pedestrian-Friendly Streetscapes*

10. Designated bus shelters are to be included within the three major mixed-use development nodes (Gervais St and Millwood Rd, Taylor St and Two Notch Rd, and Chestnut St and Two Notch Rd).
11. All bus stops shall be encouraged to include a pedestrian bench and designated loading zone with brick/ stone pavers or concrete.
12. The designated "gateway" intersection of Taylor St / Two Notch Rd and Gervais St / Millwood Rd shall be distinguished through the use of additional landscape or architectural features including monuments, paving patterns, and/or public gathering spaces.



LAND USE PLAN - CLUSTER ONE

LEGEND

	DETACHED SINGLE FAMILY RESIDENTIAL (LOW DENSITY)		COMMERCIAL
	ATTACHED SINGLE FAMILY RESIDENTIAL (MEDIUM DENSITY)		OFFICE
	MULTI-FAMILY RESIDENTIAL		INSTITUTIONAL
	MIXED USE DEVELOPMENT		OPEN SPACE

ACTIVITY NODES

Single-family residential is the predominate land use in Cluster One along with some supporting commercial and institutional uses. Proposed land uses for Cluster One include low density single-family residential within the “cores” of the neighborhoods, medium to high density residential along the traditional commercial corridors, a well defined growth area for the expansion of Allen University and the designation of mixed-use/commercial nodes at major intersections.

The existing single-family residential “cores” of the cluster have been well kept and the continued rehabilitation of existing homes should be encouraged. New homes that are constructed on in-fill lots should be respectful of the existing single-family fabric and incorporate design elements similar to that of the surrounding neighborhood. For example, large front porches, side or rear access drives and building setbacks consistent with adjacent properties should be provided.

The existing parcels along the major streets, which surround the neighborhood cores, have been zoned for commercial uses. This is very common in most cities but actually can be quite destructive to the community. This results in far more commercial area than can be effectively utilized, with land prices and building rents that promote the lowest common denomination of commercial development. The streetscape that results is one of vacant buildings, parking lots and other spaces devoid of pedestrian interaction. Instead of having commercial front the entire length of these corridors, true commercial elements should be centered at the two major intersections of Millwood Ave & Taylor St and Millwood Ave & Gervais St. Both intersections provide high volume of traffic during rush hours, good road visibility and are centrally located within the three neighborhood groups that make up Cluster One. These commercial uses should be oriented towards the needs of the neighborhood, such as bookstores, newsstands, dry cleaners and small grocery stores.

**The street corridor of Millwood Ave, south from Taylor St to Tree St, should transition from commercial to medium density residential. New higher density residential developments will serve three basic needs: 1) provide diverse housing options; 2) provide more residents that could help support local retail uses; 3) provide a strong visual buffer between the existing single-family “cores” and the heavy traffic corridors of Millwood Ave and Gervais St. The higher density homes orientation would be toward Gervais St and Millwood Ave helping to “frame” the street corridor as well as creating a presence along these corridors to help define the neighborhood.**

Gervais St, west of the Millwood Ave intersection ,should be redeveloped as a mixed-use district. The mixed-use designation allows for retail, office and residential uses within the same structure and/or development. The high traffic volumes on Gervais St in this area would support the retail uses and attract

Cluster One
Lower Waverly Neighborhood Association
Lyon Street Neighborhood Association
Waverly Neighborhood Association
Allen University



*Mixed-Use*



*Attached Single-Family Homes  
Columbia, South Carolina*

homebuyers for the new higher density residential homes along Gervais St and Millwood Ave. **This intersection could be a strong gateway to downtown Columbia. The redevelopment of this intersection into a mixed-use district will help define the intersection as a gateway.**

The Gervais St corridor, west of the Millwood Ave intersection, could provide some retail services and/or office at street level, while providing multi-family on the second and/or third floor. It is important to allow multi-family development along this corridor to provide diversity in the housing types for the residents. This corridor will shape the gateway to Downtown Columbia.

The street corridor of Taylor St, east of Millwood Ave, should transition from its existing commercial uses to institutional uses as enrollment at Allen University continues to increase. The development of the campus along this corridor will create a strong visual presence for the school along Taylor St and the expanded campus will provide a buffer between the existing historical neighborhood of Waverly and the traffic associated with Taylor St. Allen University can provide a more stable environment to the community than the current commercial uses.

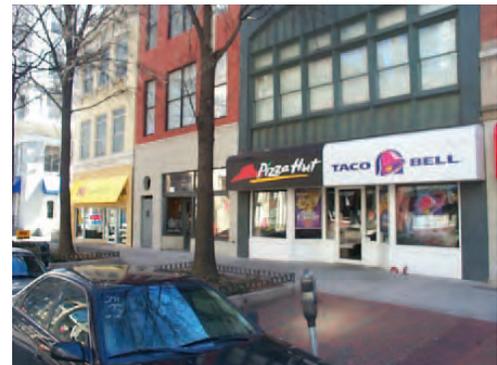
The Taylor St corridor east of Millwood Ave is dominated by the presence of Gonzales Gardens. Built in 1950's, Gonzales Gardens has 280 units located in thirty brick buildings. As identified in the community workshops and both the market and site analysis, Gonzales Gardens is having a negative impact on the surrounding Lyons St neighborhood. The redevelopment of Gonzales Gardens and the adjacent properties to the east and west along Taylor St into a mixed-use would enhance the existing residential areas and project a more positive image along Taylor St. The new mixed-use district could provide residential, retail and medical related uses. With its proximity to Providence Hospital and Benedict College, the residential component of the mixed-use development could be appeal to a rage of income and age brackets. In addition to the residential element, a medical office component would be attractive to doctors & auxiliary services working in conjunction with Providence Hospital. A joint venture between CHA and Providence Hospital would enhance the redevelopment efforts.

The expansion of St Anna's park, within the Lyon St neighborhood, would provide additional open space within the "core" single-family residential. The expanded park will become an important gathering place for the neighborhood.



Single-Family Homes  
Columbia, South Carolina

*"Instead of having commercial front the entire length of these corridors, true commercial elements should be centered at the two major intersections of Millwood Rd & Taylor St and Millwood Rd & Gervais St."*



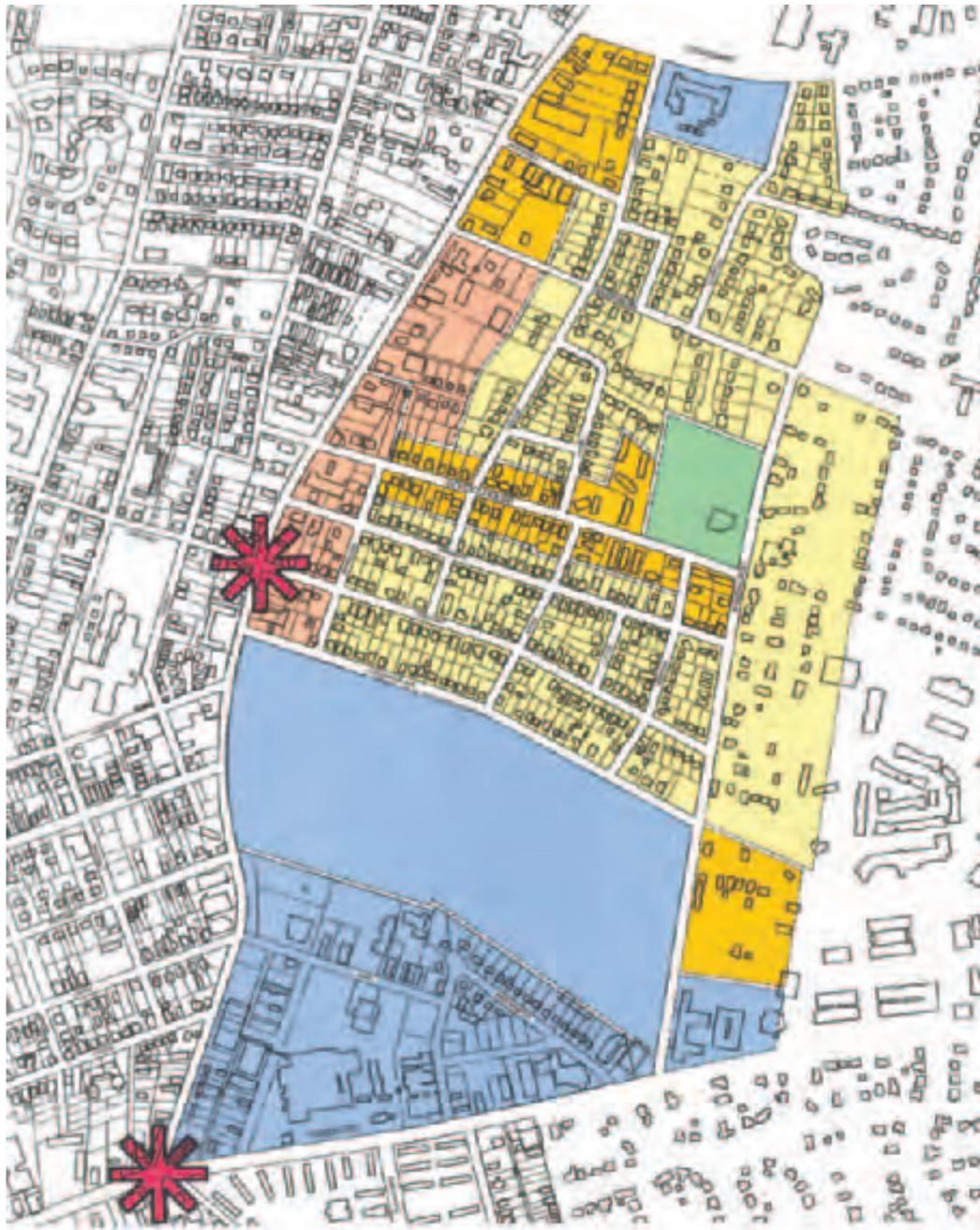
Mixed-Use - Atlanta, Georgia

## **Recommendations:**

- ◆ Existing residential “cores” to remain single-family
- ◆ Encourage rehabilitation and redevelopment of single-family homes within these core areas
- ◆ Redefine the existing commercial traffic corridors/intersections as medium to high density residential areas and/or mixed-use
- ◆ Encourage Allen University's growth along the Taylor St Corridor
- ◆ Redevelop Gonzales Gardens into a mixed-use development with residential, retail and medical related uses
- ◆ Street enhancements of Gervais St and Millwood Ave into a gateway for Downtown Columbia



*Institutional - Allen University*



LAND USE PLAN - CLUSTER TWO

LEGEND

	DETACHED SINGLE FAMILY RESIDENTIAL (LOW DENSITY)		COMMERCIAL
	ATTACHED SINGLE FAMILY RESIDENTIAL (MEDIUM DENSITY)		OFFICE
	MULTIFAMILY RESIDENTIAL		INSTITUTIONAL
	MIXED USE DEVELOPMENT		OPEN SPACE
	ACTIVITY NODES		

The predominate proposed land use for the Cluster Two is single-family residential. The existing neighborhoods of Pinehurst and Midlands have a strong residential fabric, many residents have maintained or improved their homes. The strong single-family “cores” encourage the rehabilitation of existing homes. New homes on infill lots should be respectful of the existing single-family fabric of Pinehurst and Midlands incorporating design elements found within these neighborhoods.

Cluster Two is also home to institutional land uses, highlighted by the new Benedict College athletic and mixed-use complex and Providence Hospital. The area in and around Providence Hospital, along the Taylor St corridor to the south, Two Notch Rd to the west and Pinehurst Rd to the east is best suited for future hospital growth. Currently this area, including Laurel St and Westminster St, is a mixture of commercial uses, doctor’s offices, residents and surface parking lots. With the development of the Benedict complex, the area has been physically separated from the Pinehurst community. A master plan should be created by Providence Hospital. The main goal of the plan would be to identify future land use needs and recognize growth opportunities within the existing neighborhood framework. A strong pedestrian connection linking the hospital campus, the athletic complex and the Pinehurst community would help to strengthen the identity of the community.

While the majority of the core of Cluster Two will remain single-family residential, with an emphasis on continuing the rehabilitation of exiting structures, the Schoolhouse Rd corridor is predominately multi-family homes and concrete duplexes. This area would be best served by eliminating the majority of rental property. The area should be redeveloped with low to medium density owner occupied homes. The close proximity to Pinehurst Park would work with these new higher density homes in order to create a strong neighborhood identity on Schoolhouse Rd.

The Two Notch Rd corridor should be redeveloped from a commercial strip corridor into a mixed-use and high-density residential corridor. The current condition of Two Notch Rd indicates a surplus of commercial properties leading to high vacancy rates and marginal businesses. The mixed-use elements would create destination nodes along the corridor, which could include office or retail uses. With the intersection of Schoolhouse Rd and Two Notch Rd being a central location for three clusters of the East Central City, an institutional use, such as library or community center, could further enhance the destination point. The higher density residential uses would compliment the mixed-use retail elements by providing additional pedestrian traffic. The presence of a multi-family land use along Two Notch Rd will also insulate the core single-family area from the affects of traffic and create an urban streetscape appropriate for a main city street.

Cluster Two
Midland Terrace Neighborhood Association
Pinehurst Community Council
Providence Hospital



*Single-Family Homes - Atlanta, Georgia*



*Mixed-Use*

## **Recommendations:**

- ◆ Existing residential “cores” to remain predominately single-family
- ◆ Encourage rehabilitation and redevelopment of single-family homes within these core areas
- ◆ The redevelopment of the Laurel St and Westminster Rd corridors for Providence Hospital/medical-related uses
- ◆ Redevelopment of Schoolhouse Rd corridor from multi-family rental to medium density owner occupied single-family residential
- ◆ Reinventing the Two Notch Rd corridor from commercial strip into defined destination points
- ◆ Provide medium to high density housing along Two Notch Rd while buffering existing single-family residential “cores”



*Attached Single-Family Homes  
Decatur, Georgia*



LAND USE PLAN - CLUSTER THREE

LEGEND

	DETACHED SINGLE FAMILY RESIDENTIAL (LOW DENSITY)		COMMERCIAL
	ATTACHED SINGLE FAMILY RESIDENTIAL (MEDIUM DENSITY)		OFFICE
	MULTI-FAMILY RESIDENTIAL		INSTITUTIONAL
	MIXED USE DEVELOPMENT		OPEN SPACE

ACTIVITY NODES

The land-use plan focuses on maintaining the existing single-family “core” of the Barhamville Estates and Jones McDonald neighborhood. As indicated during the site analysis phase, these neighborhoods are in good condition. Rehabilitation of existing homes and the development of new homes would remain consistent with the architectural and site layout of the surrounding homes.

The areas of redevelopment or land use change within Cluster Three would focus on the commercial corridor of Two Notch Rd and the Belt Line Blvd/Farrow Rd corridor. The reinventing of the Two Notch Rd corridor from an underused commercial strip to a mixed-use /higher density residential node would provide new housing opportunities to the neighborhood as well as a destination point within the community. The new elementary school, the two new middle schools and the new preparatory school are strong attractions to the area but more residential housing options are necessary.

While multi-family housing would not be appropriate within the “core” of the cluster, higher density housing along Two Notch Rd would be appropriate and will also insulate or buffer the neighborhoods from the Two Notch Rd corridor. **The area between Two Notch Rd and Waites Rd should be redeveloped as a mixed-use and higher density residential corridor. With the proposed extension of Schoolhouse Rd, this intersection would become a destination point for several clusters.**

The land use plan proposes increased public open spaces and pedestrian connections between within the Cluster. The residents emphasized during the community workshops a strong desire for a defined pedestrian connection between the neighborhood schools and the Booker Washington neighborhood. The land-use plan creates a connection between these areas by redeveloping the current city owned drainage area behind Barhamville Estates into the centerpiece for a larger greenway system. This system would link the new TS Martin Development to the redevelopment of the Celia Saxon Homes in Cluster Four by creating identified pedestrian pathways through land acquisition and easements.

**The Booker Washington neighborhood is also committed to single-family residential homes as its “core” land use.** Within this core, existing residential homes should be encouraged to be renovated and new homes should be developed in keeping with the neighborhoods existing characteristics. The existing single-family parcels fronting Belt Line Blvd would be redeveloped as higher density single-family homes while permitting some opportunities for mixed-use and/or office. The higher density single-family homes would create a physical boundary between the traffic corridor of Farrow Rd and Belt Line Blvd and the existing single-family neighborhood. EB Sessions Park, located along Douglas St between Beaumont St and Piedmont St, should be expanded to provide more open space for the community residents. Additional open space would be encouraged to the east of the Booker Washington Community Center.

Cluster Three
Barhamville Estates
Booker Washington Heights Neighborhood
Jones McDonald Community Club

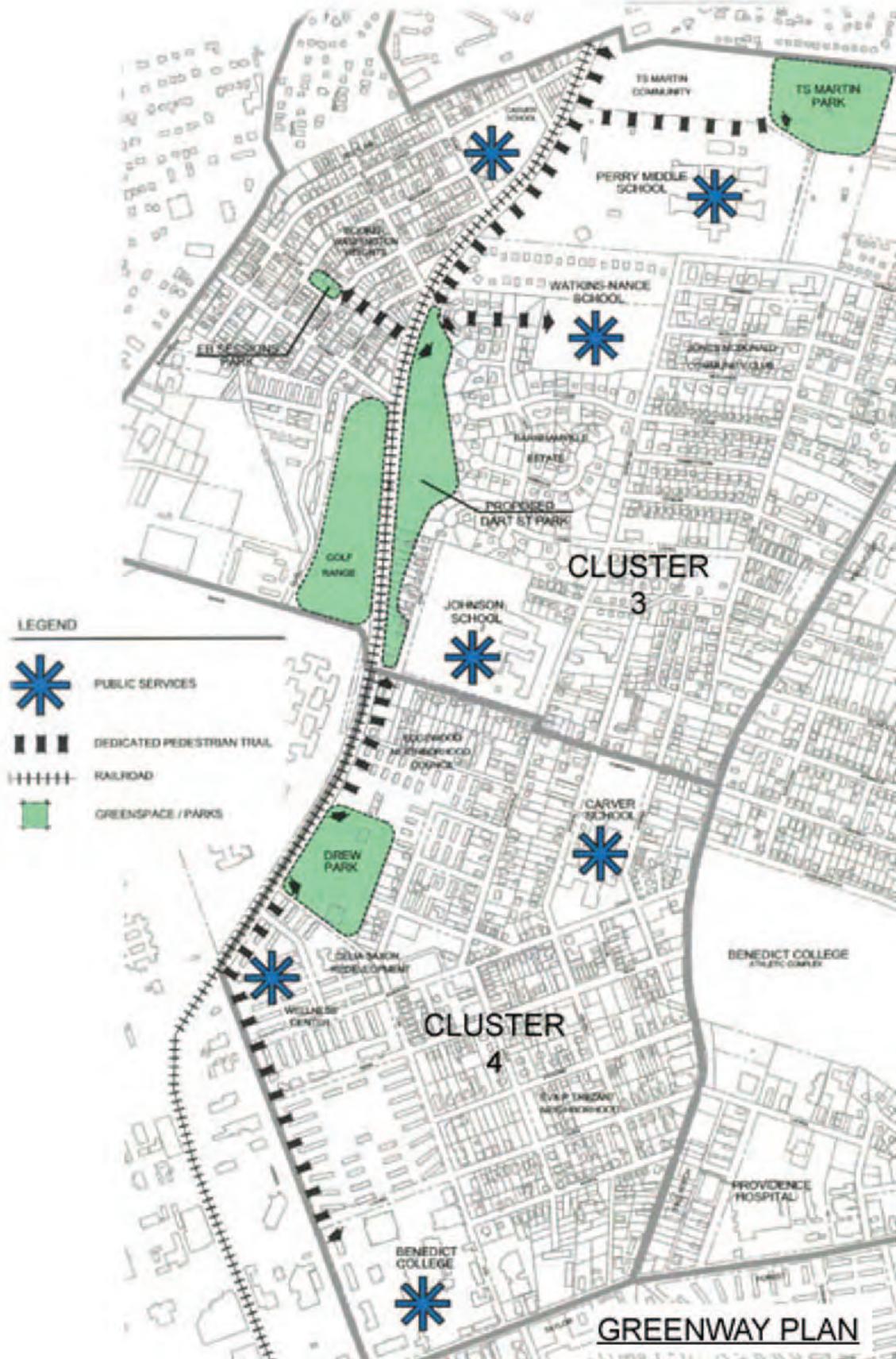


Mixed-Use - Duluth, Georgia

*“The land use plan creates a connection between these areas by redeveloping the current city owned drainage area behind Barhamville Estates into the centerpiece for a larger greenway system.”*



Open Space - Atlanta, Georgia

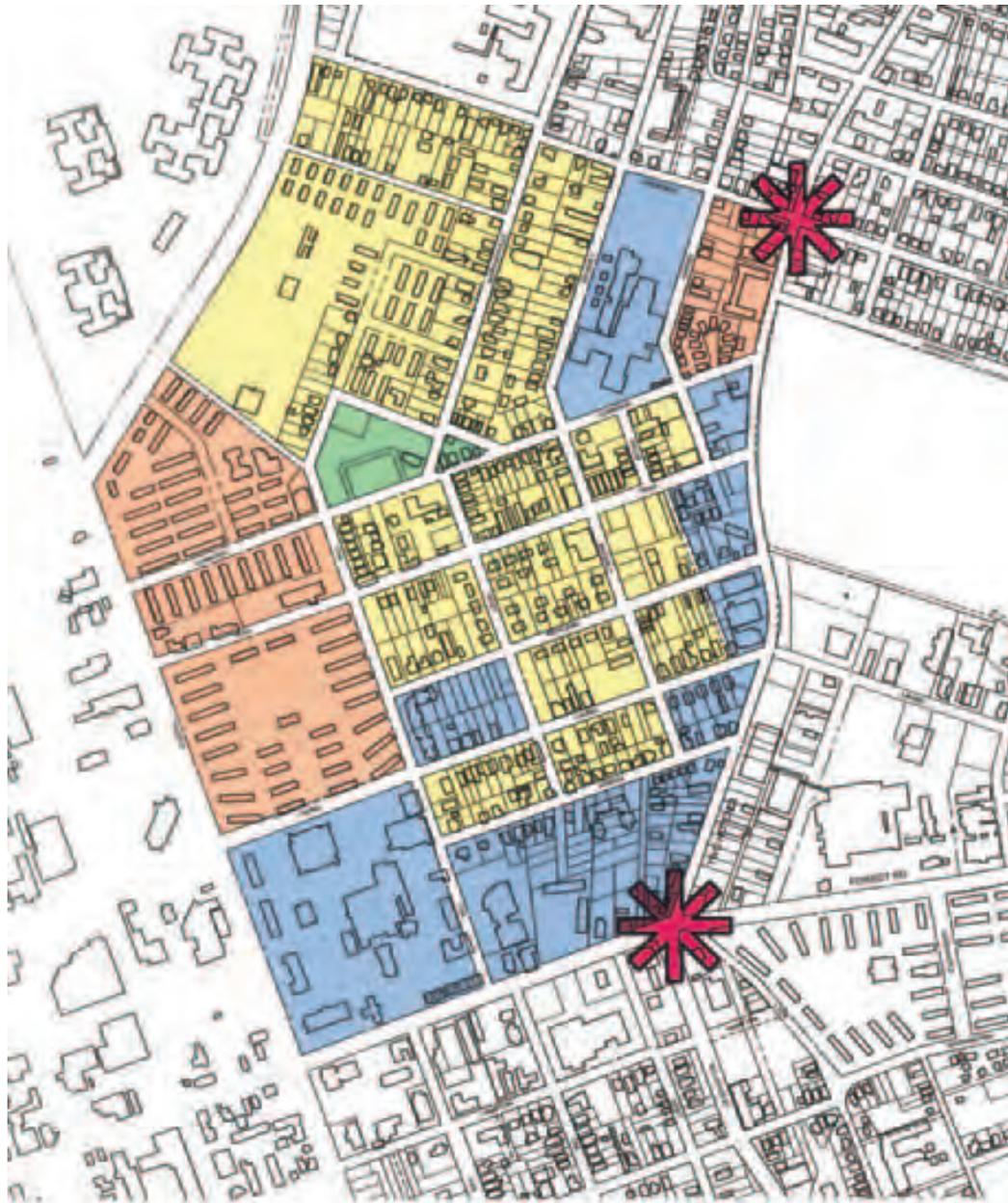


## Recommendations

- ◆ Existing residential “cores” to remain single-family
- ◆ Encourage rehabilitation and redevelopment of single-family homes within these cores
- ◆ Redevelopment of the Two Notch Rd corridor from commercial to as mixed-use destination nodes and high density residential
- ◆ Development of existing City owned drainage area into a greenway
- ◆ Pedestrian connections along the railroad between proposed greenway, neighborhood schools and the Booker Washington neighborhood
- ◆ Expansion and rehabilitation of EB Sessions Park



*Single-Family - Columbia, South Carolina*



**LAND USE PLAN - CLUSTER FOUR**

**LEGEND**

	DETACHED SINGLE FAMILY RESIDENTIAL (LOW DENSITY)		COMMERCIAL
	ATTACHED SINGLE FAMILY RESIDENTIAL (MEDIUM DENSITY)		OFFICE
	MULTI-FAMILY RESIDENTIAL		INSTITUTIONAL
	MIXED USE DEVELOPMENT		OPEN SPACE

 ACTIVITY NODES

The Eva P. Trezevant Neighborhood, Edgewood Neighborhood Council, the former Celia Saxon Homes and Benedict College comprise Cluster Four. The proposed comprehensive land use plan designates the “core” of the cluster to remain single-family homes. The new Celia Saxon homes, with emphasis on single-family, duplex and community services, will benefit the community.

The need for continued growth at Benedict College has put a strain on its relationship with the local neighborhood groups. During the community workshops, neighborhood groups stated their desire for Benedict College to remain a part of their community, but expressed concerns that the college will continue to expand within the existing single-family “core”. As part of its on-going development plan, the school has begun to develop the new East Campus. The East Campus, located in Cluster Two, will provide the school with athletic fields as well as future dormitories and a mixed-use element. The proposed land-use plan promotes Benedict’s growth along Taylor St east to Two Notch Rd, and along Two Notch Rd to Chestnut St. This growth corridor is well defined. It allows the expansion of Benedict College to grow as its enrollment grows, while protecting the single-family “feel” of the Eva P Trezevant community. This growth corridor will also provide a strong, safe, well-defined pedestrian corridor from the Main Campus to the new East Campus. In addition, this growth will further enhance the reinvention of the Two Notch Rd corridor from commercial strip to a series of destination nodes.

Two areas of Cluster Four have been identified as future mixed-use opportunities. The proposed mixed-use along Harden St, where the Benedict-Allen Court housing project stands, would be redeveloped as a mix of housing and small retail/offices. The housing could be mixed income units that would appeal to both students and young professionals associated with Benedict College as well as provide housing for former residents of Benedict-Allen Court. These new residents would benefit from the proposed retail element of the new Celia Saxon homes.

The other area designated as mixed use within Cluster Four is located at the intersection of Chestnut St and Two Notch Rd on existing commercial and duplex homes. This proposed mixed use would compliment the new Benedict Business Development Center as well as the new Benedict College’s East Campus. The office component could be attractive to medical professionals associated with Providence Hospital.

### Recommendations

- ◆ Encourage the expansion of Benedict College along Taylor St to the east and Two Notch Rd to the north
- ◆ Redevelopment of the Benedict-Allen housing project into a mixed use, mixed income development
- ◆ The creation of a central park for the neighborhoods at the intersection of Elmwood Rd and Barhamville Rd

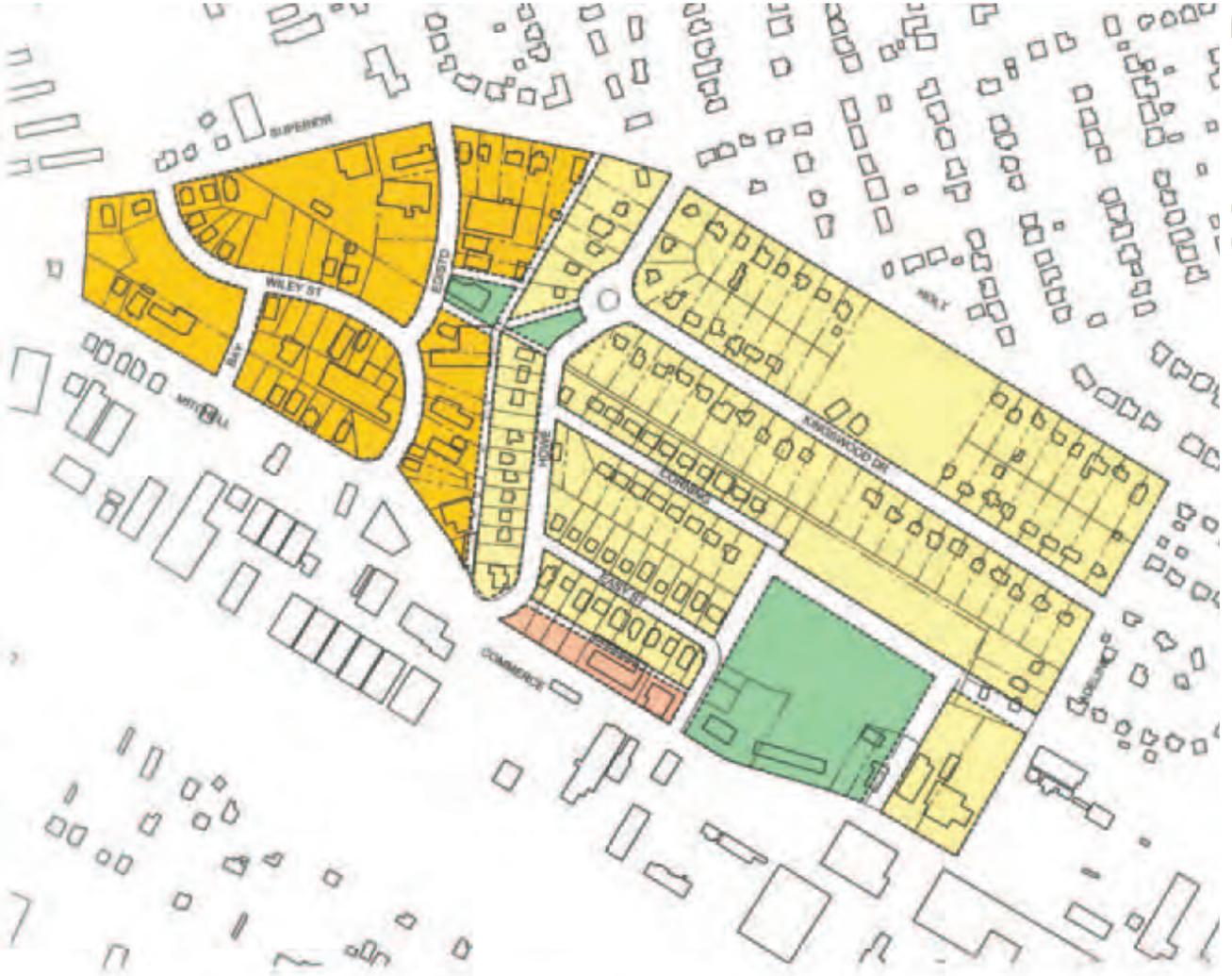
Cluster Four
Edgewood Neighborhood Council
Eva P. Trezevant Neighborhood
Benedict College
Columbia Housing Authority



*Single-Family Home  
Columbia, South Carolina*



*Mixed-Use - Atlanta, Georgia*



LAND USE PLAN - CLUSTER FIVE

LEGEND

	DETACHED SINGLE FAMILY RESIDENTIAL (LOW DENSITY)		COMMERCIAL
	ATTACHED SINGLE FAMILY RESIDENTIAL (MEDIUM DENSITY)		OFFICE
	MULTI-FAMILY RESIDENTIAL		INSTITUTIONAL
	MIXED USE DEVELOPMENT		OPEN SPACE

ACTIVITY NODES

The neighborhood of South Edisto Court has been divided between an active industrial/commercial zone to the west and a quiet tree lined residential district to the east. With the redevelopment of Hendley homes into a low-density single-family community, the existing industrial land uses have become incompatible with the surrounding area. Residential and industrial uses cannot co-exist in the same area without sufficient buffers and separate traffic corridors. The uses associated with the industrial groups are detrimental to the quality of life for a residential area. The existing industrial land uses are proposed to be redeveloped as a mix between low and medium density residential. This land use is more compatible with the surrounding neighborhood. The medium density residential will provide additional housing options for perspective homeowners.

The existing asphalt parking lot located north of Commerce Dr and at the terminus of Easy St and Coming Rd in the eastern portion of Cluster Five, has been designated as public open space. This open space would include a civic-use benefiting the community (library or boys/girls club). With the close proximity of Rosewood Park, which includes a baseball field and skate park, the proposed park would offer more passive recreation uses such as walking trails and gathering spaces.

In addition to the proposed park, the expansion of Isaac-McClinton Park to make a connection between Edisto Ave and Howe St will help make the linkage between the existing single-family homes of South Edisto Court and the proposed new homes associated on the west side of the neighborhood.

### Recommendations

- ◆ Redevelopment of existing industrial uses into low to medium density homes
- ◆ New homes to be consistent with the characteristics of the new Hendley Homes
- ◆ Redevelopment of existing industrial parking lot into a public park

**Cluster Five**  
South Edisto Court Community



*Attached Single-Family Homes  
Columbia, South Carolina*

*Residential and industrial uses cannot co-exist in the same area without sufficient buffers and separate traffic corridors.*



*Open Space - Atlanta, Georgia*



*Single-Family - Columbia, South Carolina*



# Streetscape

There are varying types of streets located within the East Central City Consortium. These streets vary in scale, design, function, and accompanying land uses. Using the street hierarchy formula created for the City Center Development Guidelines for the City of Columbia in 1998, the development team has classified the roadways within the consortium into five categories.

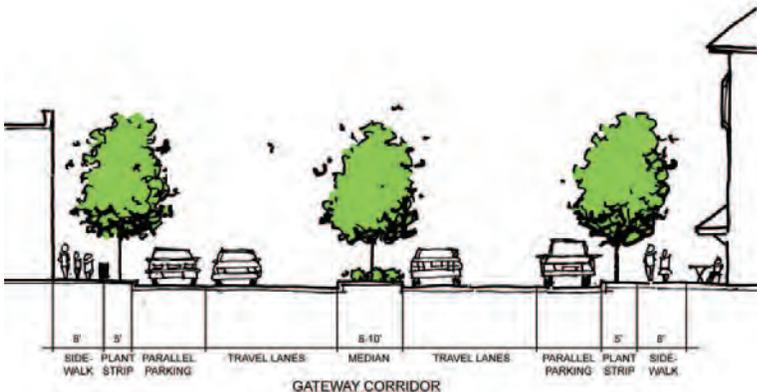
Category	Street Type
<b>Gateway Corridor</b>	Taylor St
	Forest Dr
	Gervais St
	Milwood Ave (South of Gervais St)
<b>Urban Boulevard</b>	Harden St (North of Elmwood St)
<b>Image Streets</b>	Two Notch Rd
	Harden St (South of Elmwood St)
	Beltline Blvd
	Millwood Ave (North of Gervais St)
<b>Residential Corridors</b>	Pinehurst Rd
	Chestnut St
	Slighs Rd
	Laurel St
	Santee St
	Reed St
	Barhamville St
	Elmwood Ave
	Harrison St
<b>Residential Streets</b>	Remaining streets



Norcross, Georgia

## Gateway Corridors

“Gateway corridors are those streets that carry the largest volume of traffic and set an image” for downtown Columbia and the East Central City for vehicular traffic. “These streets are the city’s front door” and will define the image associated for downtown Columbia as well as East Central City. The development of Gervias St within the Vista of downtown Columbia is a Gateway Corridor. It will be important to create a pedestrian friendly environment. Buildings should be placed along the road corridor with visible entry points. Parking should be placed to the rear, with access points, from secondary streets, to minimize curb cuts and increase pedestrian and vehicular safety.

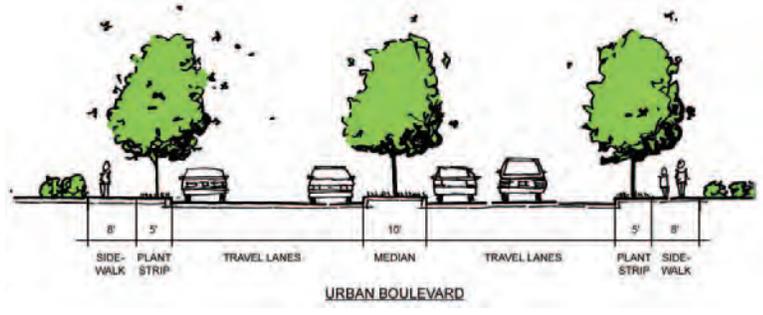


Gervais Street - Columbia, South Carolina

# Streetscape

## Urban Boulevards

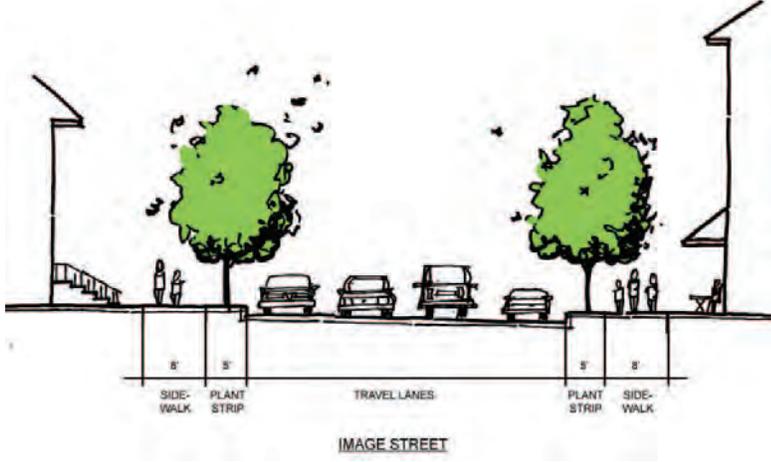
“The primary function of the Urban Boulevard is to effectively move traffic through urban environments. These streets function as traffic arterials and often have only minor pedestrian traffic associated with them.” As streets have been developed for vehicular traffic, the surrounding land uses have had or needed little interaction with pedestrian traffic. At a minimum these streets should be given pedestrian elements including street trees, adequate lighting, gracious sidewalks and designated crosswalk zones.



Columbia, South Carolina

## Image Streets

“Image streets include those streets that have an important transportation function and also have high visibility based on their location and adjacent fronting uses.” Two Notch Rd is an example of an Image Street within East Central City. Although the roadway is a state route, the road is the central corridor within the area. This street should be developed with various land-uses with an emphasis on moving traffic and creating a quality pedestrian experience. Construction has begun on the Two Notch Rd streetscape.



Gainesville, Georgia

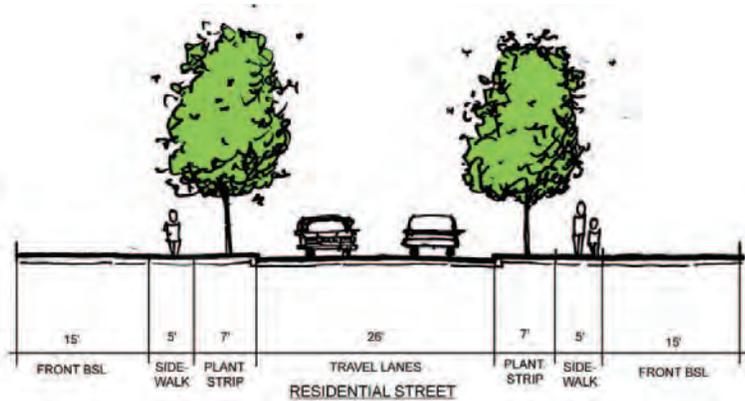
# Streetscape

## Residential Corridors

The Residential Corridor was not a street category developed during the City Center Design/Development Guidelines. Residential corridor streets are traditional single-family neighborhoods streets where “cut-through” traffic occurs between major streets. Elements would include those found within a typical residential street as well as additional traffic calming devices. Traffic calming elements include, pedestrian crossings with pavement stripping, four way stops at all intersections, adding curb bulb-outs and extensions to narrow lanes at intersections, paving patterns and/or speed tables.

## Residential Streets

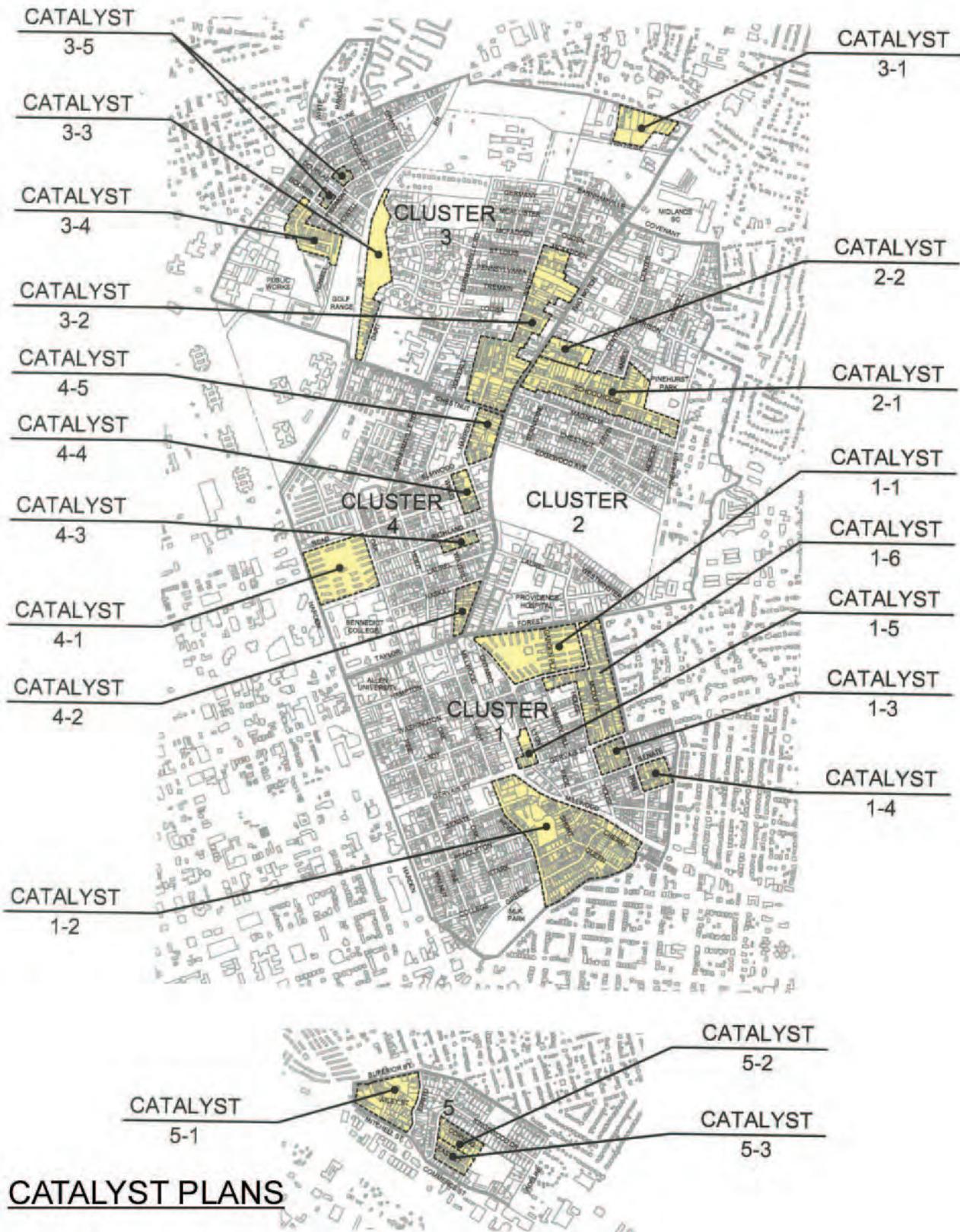
These streets are within a traditional single-family neighborhood. They maintain a minimal right of way, pavement width, exhibit minimal traffic volumes, and low-density residential land uses. A consistent residential streetscape should be created in East Central City for use within these neighborhoods. Elements would include a five-foot sidewalk on both sides of the street, landscape strips, street lighting and universal road name signs.



*Residential Street*

# Catalysts

Catalysts



## CATALYST PLANS

# Catalysts

## What is a catalyst?

As defined by Webster's dictionary, a catalyst is "an agent that provokes or speeds significant change or action". When used as a planning term, **a catalyst can mean a "revitalization or development generator."** It is chosen on the basis of its ability to firmly anchor a part of the redevelopment area and provide a stimulus to further development." The scale, scope and degree of effectiveness can vary from catalyst to catalyst. It can be the size of a large park, such as Finlay Park in Columbia, or a new tourist attraction in a former industrial area, such as the aquarium in downtown Chattanooga. A catalyst can also be a small change within a community. A new grocery store in a previously poverty stricken area of town, such as the Publix in Atlanta's historic West End community or new neighborhood park, such as the new Benedict College Community Park in the Eva P. Trezevant Neighborhood, are examples of small projects that can have a positive impact within an area.

## The Process

Twenty-one catalyst projects have been identified for the East Central City. These catalysts were identified through a three-step process. A real estate/market study inventoried and analyzed each parcel within the study area. The market study identified both the positive and negative influences affecting each cluster. During this inventory and analysis, twenty projects were identified as potential catalysts.

The market study proceeded to rank these catalysts based on five elements:

- ◆ Primary and secondary access routes
- ◆ Compatibility with surrounding developments
- ◆ Impact on existing developments
- ◆ Potential for successful redevelopment
- ◆ Long term impact to neighborhood

During the real estate/market study, the development team also performed a visual site inventory and analysis of the clusters. This analysis was based on physical and social conditions within the clusters and it allowed the development team to identify potential redevelopment areas and catalyst sites.

With the impact of the real estate and development team analysis completed, the most important element of the catalyst assessment was input from neighborhood residents during the public workshops. Residents identified many of the catalysts identified by the market study and site analysis during the workshop. By comparing the neighborhood input to the original twenty identified catalysts the list was narrowed to twelve catalysts. The development team then began the concept planning process for each.



*Finlay Park - Columbia, South Carolina*



*Columbia, South Carolina*

# Catalysts

# Catalysts

The twelve concept plans were presented to the East Central City Consortium Board for review and comments. On November 22, 2003; the revised concepts, along with the proposed Land-Use Plan, were presented to the community. Residents were asked to review and provide comments back to the development team. The information gathered at the community workshop was then used to further refine the proposed catalysts.

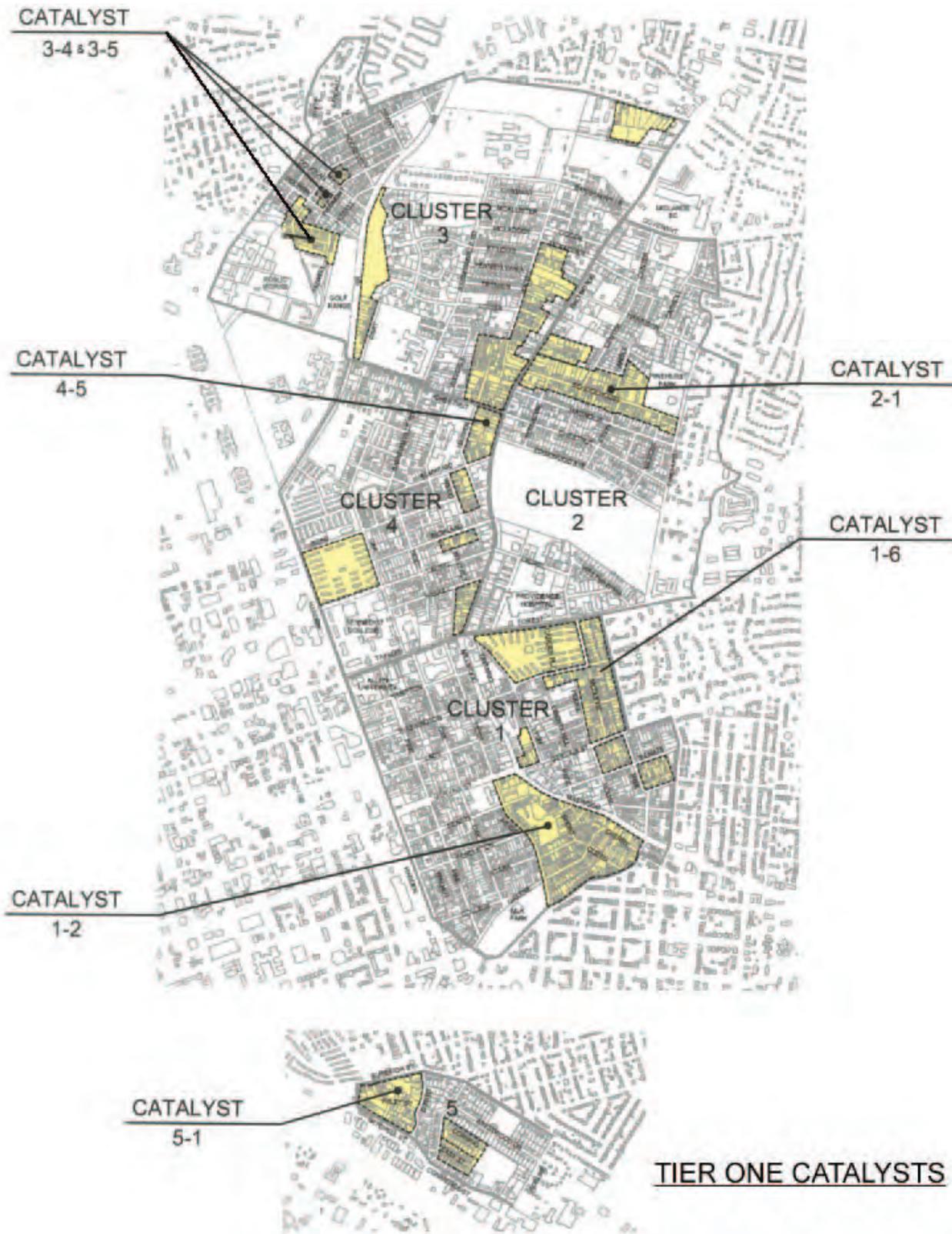
Following the November 22nd Community Workshop, the development team reviewed and incorporated the feedback from residents and public officials who attended the workshop regarding the twelve catalyst concepts. The catalysts were then analyzed and ranked by the development team into three development tiers. The catalyst rankings were based on many elements including the site's physical and social attributes, the market analysis' recommendations, potential land parcel acquisition, potential development partners and comments provided from residents and City officials during the workshops.



*ECCC Board Workshop*



*Neighborhood Workshop*



## Catalyst 1-2 (Heidt Street Corridor)

### Existing Conditions

The Heidt St corridor catalyst is +/- 19 acres in the Lower Waverly Neighborhood of Cluster One. The site is bordered by Heidt St to the west, Millwood Ave to the east, Gervais St to the north and Greene St to the south. **This area is predominately vacant property or single-family residential homes in blighted condition (zoned R-1) with some commercially zoned land and operating businesses (zoned C-3) fronting Millwood Ave.** The site slopes downward from Gervais St south along Heidt St towards Martin Luther King Park. The catalyst site is dominated by two large parcels of vacant land, which combined, account for +/- 7.5 acres of the catalyst area. The neighborhood has stated, and police reports indicate, that this vacant area is known to be a high crime zone.



## The Plan

The Heidt St catalyst is a unique opportunity to make a great impact for the Lower Waverly neighborhood and to create a significant gateway entering downtown Columbia. The Millwood Ave/Gervais St commuter traffic route brings +/- 27,000 cars a day to and from downtown Columbia.

The proposed uses for this catalyst include a mixed-use element at the intersection of Gervais St and Millwood Ave, medium density housing fronting Millwood Ave and the redevelopment of single-family homes along Heidt St and the crossing streets of Pendleton, Stark, and Greene. The mixed-use element of the catalyst would cater to small office or retail opportunities on the ground floor with a separate building dedicated for a restaurant. The second and third floors would contain residential apartments, which would provide a different housing option for the neighborhood. These apartments would contain a percentage of subsidized units (20% maximum) while the majority would be provided at market rate. The mixed-use could also incorporate a senior living element.

Medium density homes would be located along Millwood Ave and face the street. These homes will serve three vital roles in the development of the catalyst. First, by placing the front doors fronting Millwood Ave and providing rear access garages, the street corridor of Millwood Ave that was formerly unused commercial or vacant lots, will have a presence and create "eyes on the street." Second, these homes will help redefine the street corridor, while producing a physical edge or boundary to the Lower Waverly neighborhood, buffering the single-family homes from the traffic corridor. Third, this edge will give the Lower Waverly neighborhood an identity from Millwood Rd. In addition the density created by these homes will benefit the retail elements of the mixed-use project.

The proposed single-family homes are consistent with the existing single-family fabric that is already in place within the neighborhood. These new homes will provide a buffer between the existing community and the new higher density products along Millwood Rd and Gervais St, as well as provide additional residents needed to support the mixed-use development. Within this detached single-family area, duplexes would be placed on various corner lots to further offer various housing options.



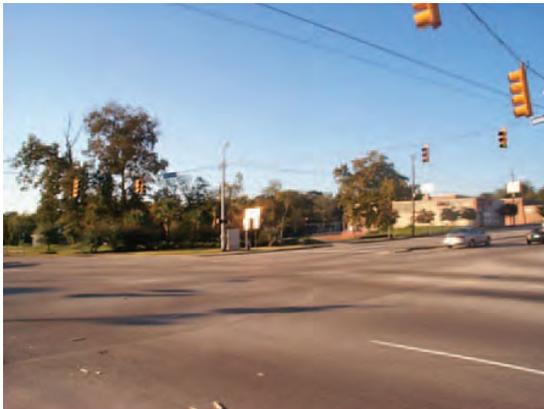
## Design Elements

The Lower Waverly neighborhood has been designated a Level 3 Historic Preservation district by the City of Columbia. **All new site plans, architectural materials and designs should respect the existing fabric and style of the neighborhood.** By incorporating the Lower Waverly “style” into new construction, a stronger visual connection can be made between existing structures and the redeveloped areas.

The mixed-use portion of the catalyst would emphasize pedestrian elements to re-energize and redefine the street corridor. Front entrances and windows should face the intersection of Gervais St and Millwood Ave to create a street presence and visual interest in the project. This intersection is the best location for a neighborhood monument and/or gateway feature to define the community. The monument should be visually significant to express the character of the Lower Waverly neighborhood and the location’s significance as a gateway to downtown Columbia.

The medium density homes along Millwood Ave would be developed with rear-access garages with a common, secured access point. Eliminating curb cuts along Millwood Ave will enhance traffic safety within the corridor and create a stronger visual element for the new homes. The proposed lower density single-family homes will have architectural styles and lot placement consistent with the existing homes within the Lower Waverly community.

An important element in the Heidt St corridor catalyst is redefining the Gervais St/Millwood Ave traffic experience. Both Millwood Ave and Gervais St offer on-street parking, which are underutilized due to traffic speeds and volumes creating a situation that is unsafe. By eliminating some of these spaces near the intersection of Gervais St and Millwood Ave and introducing a strong streetscape corridor, including a planted center lane similar to that of Gervais St in the Vista, it will help redefine the Gervais St and Millwood Ave intersection as a gateway to the downtown Columbia. In addition, these new streetscape elements, such as wide sidewalks, street trees and street furniture, will help visually separate the traffic of Millwood Ave from the proposed medium density homes.



Existing



Proposed

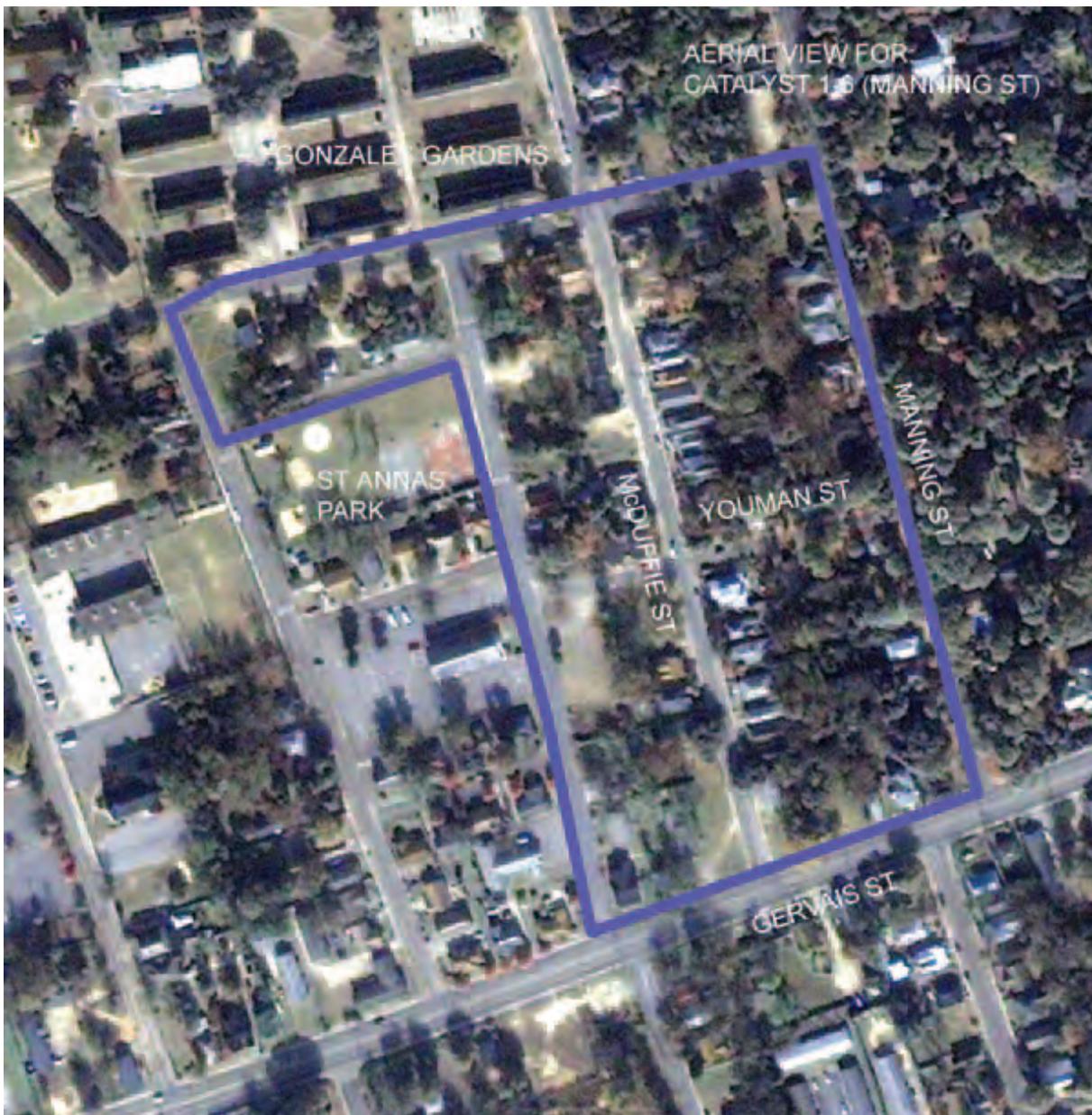
Catalyst 1-2 (Heidt St Corridor)	
Item	Cost
Land Acquisition	\$ 3,995,500
Street Improvement (Demolition, Infrastructure, Hardscape, Landscape)	\$ 2,696,700
Site Development (Demolition, Infrastructure, Hardscape, Landscape)	\$ 2,304,600
Building Construction	\$ 24,600,000
Architectural Fees	\$ 1,212,000
Engineering Fees (10%)	\$ 500,130
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 750,195
Contingency (20%)	\$ 5,920,260
<b>Catalyst Total</b>	<b>\$ 41,979,385</b>

These estimates of quantities, design fees and probable construction costs are for planning purposes only. FAJ/JJG does not guarantee that proposals, bids or construction costs will not vary from our cost estimates

## Catalyst 1-6 (Manning St)

### Existing Conditions

The Manning St catalyst was not recognized as one of the original twenty catalysts. The site was originally part of the Gonzales Gardens catalyst (Catalyst 1-1) but transformed into a Tier-One catalyst during the conceptual phase of the catalyst program. Gonzales Gardens was removed at the request of the ECCC Board. The catalyst is located within the Lyon St Neighborhood and consists of various vacant lots and poor-conditioned homes within a five-city block area. The site is bordered by Gervais St to the north, Washington St to the south, Manning St to the east and House St to the west. The lots are currently zoned residential (RS-3) with some lots fronting Gervais St zoned commercial (C-1). These city blocks are adjacent to the Gonzales Gardens housing project built in the 1950's and managed by the Columbia Housing Authority. With the impact of the housing project, many homes within the area are vacant or sub-standard. St Anna's Park is an underutilized park and is poorly maintained.



## The Plan

The Manning St catalyst looks to capitalize upon the existing single-family fabric of the neighborhood and the centrally-located park.. Within the single-family “core” of the community, detached-single family homes are proposed on vacant lots along Manning, McDuffie and House St. Three duplexes are proposed at various intersections within the catalyst to further provide housing options. Attached single-family patiohomes are proposed fronting Gervais St. These homes will provide further housing options while buffering the single-family “core” from the Gervais St traffic corridor. St Anna’s Park should be expanded north to Washington St. This expansion will allow the park to be visible from three streets and will provide a larger community gathering space within the neighborhood.



### Design Elements

Proposed house types and styles should be consistent with the community. Homes should engage the street by providing large front porches and direct pedestrian links to the public sidewalks. Driveways should be placed to the side of the lot. No front yard parking pads should be permitted and rear-alley garage access shall not be encouraged. **Security is an issue and will remain one until the redevelopment of Gonzales Gardens has begun.** Street lighting and park lighting will be essential in increasing the safety within the community. The attached single-family patiohomes fronting Gervais St should be accessed from House St through a secured access drive. This common access drive will reduce the curb cuts along Gervais St, which will enhance vehicular safety along this corridor. Street lighting and park lighting will be essential in increasing the safety within the community.



Existing



Proposed

Catalyst 1-6 (Manning St Corridor)	
Item	Cost
Land Acquisition	\$ 712,500
Street Improvement (Demolition, Infrastructure, Hardscape, Landscape)	\$ 1,880,640
Site Development (Demolition, Infrastructure, Hardscape, Landscape)	\$ 790,946
Building Construction	\$ 6,150,000
Architectural Fees	\$ 147,000
Engineering Fees (10%)	\$ 267,159
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 400,738
Contingency (20%)	\$ 1,764,317
<b>Catalyst Total</b>	<b>\$ 12,113,300</b>

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## Catalyst 2-1 (Schoolhouse Rd)

### Existing Conditions

The Schoolhouse Rd corridor is primarily rental home area. The site is +/- 12 acres bordered by Two Notch Rd to the west, Pinehurst Rd to the east, and is one parcel deep on the north and south sides of the right of way. The majority of buildings on this street are concrete block duplexes or multi-family homes built in the late 1950's and early 1960's. Many of these structures are in poor condition. A church is located on the northeast corner of the intersection of Ervin St and Schoolhouse Rd with a convenience store located directly across the street. Schoolhouse Rd is anchored by Pinehurst Park at the east end of the road. The park offers outdoor recreation with a baseball field and playground equipment as well as a wooded area for picnicking and walking. The existing multi-family homes and especially the package store are not consistent with the existing single-family fabric of the Pinehurst community.

In many parts of Schoolhouse Rd, the street is wider than the minimum standards required for residential streets. The majority of the road is relatively flat with good existing tree cover. There is a slight downward slope on Schoolhouse Rd from Two Notch Rd towards the park.



## The Plan

Schoolhouse Rd needs to be redeveloped with uses that are consistent with the surrounding neighborhood while still providing diversity in housing types. An emphasis of owner occupied homes and the removal of the convenience store will provide a more stable residential atmosphere than the existing rental community. The eastern-most area adjacent to the park and the western area closest to Two Notch Rd would be redeveloped as attached single-family homes. Attached single-family homes will provide diversity in housing options while still addressing the neighborhood's desires for more owner occupied homes. In addition, these homes will have a reduction in density to that of the existing single multi-family development. These attached homes, which require smaller yards, would benefit from the close proximity to the park. The proposed attached single-family homes located at the western end of Schoolhouse Rd, nearest to Two Notch Rd would benefit from their close proximity to the existing commercial corridor of Two Notch Rd. At the intersection of Ervin and Schoolhouse, the midpoint of the Schoolhouse Rd corridor, single-family detached homes are proposed.



## The Design Elements

Building placement and architectural style will be important in setting the tone for the redevelopment of Schoolhouse Rd. With the minimum traffic volume and little elevation changes associated with Schoolhouse Rd, a strong pedestrian corridor connecting Two Notch Rd with Pinehurst Park should be developed. The preservation of the existing street tree cover, minimal curb cuts, and front door/porch placement within fifteen feet of the sidewalk will create a friendly pedestrian environment. The attached single-family homes would be accessed by a common drive from a secondary street. The access point would include a secured access gate with adequate lighting and proper landscaping.

The detached single-family homes should be developed with either rear or side driveway access. The use of rear or alley access would minimize the need for additional curb cuts and further enhance the pedestrian environment. The use of front yard parking pads shall be prohibited. New street lighting and designated on-street parallel parking spaces, in sections where the road exceeds the minimum width standard, will further enhance the pedestrian experience.

At the intersection of Ervin St and Schoolhouse Rd, an opportunity is available to create a “pocket” park by realigning the intersection. This park could serve as the emotional center for the community. A monument to the Pinehurst neighborhood should be located here with a small sitting area.



Existing



Proposed

Catalyst 2-1 (Schoolhouse Rd)	
Item	Cost
Land Acquisition	\$ 2,629,600
Street Improvement (Demolition, Infrastructure, Hardscape, Landscape)	\$ 1,294,560
Site Development (Demolition, Infrastructure, Hardscape, Landscape)	\$ 1,374,590
Building Cost	\$ 10,050,000
Architectural Fees	\$ 201,000
Engineering Fees (10%)	\$ 266,915
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 400,373
Contingency (20%)	\$ 2,543,830
<b>Catalyst Total</b>	<b>\$ 18,760,868</b>

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## Catalyst 3-4 & 3-5 (Booker Washington Heights)

### Existing Conditions

The Booker Washington Heights Neighborhood is a mixture of single-family homes and multi-family concrete block units. The single-family homes are concentrated on Beaumont Street between Booker St and Douglas Street. There are numerous vacant lots and homes that are in need of demolition or extensive renovation. At the intersection of Beaumont St and Douglas St, an existing neighborhood park, EB Sessions, sits on .5 acres. At this intersection, Douglas Street splits into two one-way streets on the north and south sides of the park, framing the park as a square with homes fronting it on four sides. However, the park only occupies the northwest corner of this block. An existing home was recently demolished on the adjacent parcel. It is understood that this vacant parcel will be incorporated into the existing park.

Multi-family homes are located along Beaumont St as it intersects Howell St. While these units have been adequately maintained, the use and building style are not in keeping with that of the neighborhood. The existing curb and gutter throughout the catalyst site are insufficient and are often damaged or missing. There are no sidewalks within much of the catalyst area. There are some good existing tree canopies.



## The Plan

The catalyst for the Booker Washington Heights Neighborhood focuses on the redevelopment of the single-family homes surrounding the park and the redevelopment of the existing multi-family buildings on Beaumont into single-family attached and detached homes that are more in character with the existing single-family fabric of the neighborhood. The single-family homes would fill existing vacant lots and remove homes designated for demolition, creating a more stable residential environment around the park. This stable fabric will encourage future homeowners to invest within the area and existing residents to renovate their homes. Expanding EB Sessions Park will provide a centerpiece for community gatherings and interaction.



## Design Elements

The single-family homes would be developed to promote pedestrian interaction with the street. Driveways would be placed to the side of the homes and a direct pedestrian link would be provided between the home and the public sidewalk. The street enhancement of Douglas St as it runs parallel to EB Sessions Park currently appears to be private driveways and not public streets. Street enhancements should include pedestrian lighting, sidewalks, retaining walls and new curb and gutter, which will improve the park's accessibility as well as its visual perception. Increased vehicular traffic adjacent to the park will contribute to the park's safety.

To take advantage of the existing topography, the proposed single-family attached patiohomes along Beaumont St shall have rear entry drives and garages. A common, secured access point shall serve these drives. Designated parallel parking areas shall be encouraged in front of these units.



Existing



Proposed

Catalyst 3-4 & 3-5 (Booker Washington Heights)	
Item	Cost
Land Acquisition	\$ 1,200,000
Street Improvement (Demolition, Infrastructure, Hardscape, Landscape)	\$ 1,690,440
Site Development (Demolition, Infrastructure, Hardscape, Landscape)	\$ 1,111,710
Building Construction	\$ 9,150,000
Architectural Fees - Residential	\$ 219,000
Engineering Fees (10%)	\$ 280,215
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 420,323
Contingency (20%)	\$ 2,390,430
<b>Catalyst Total</b>	<b>\$ 16,462,118</b>

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## Catalyst 4-5 (Two Notch Rd at Chestnut St)

### Existing Conditions

Catalyst 4-5 is located at the northeast corner of Cluster Four. Chestnut St borders the site to the north, Elmwood Rd to the south, Harper St to the west and Two Notch Rd to the east. Two Notch Rd is predominately a commercial and commuter traffic corridor and has been designated a collector road by the South Carolina Department of Transportation (SCDOT). The site currently consists of duplex rental housing, a weekly rental motel, abandoned tire store and a small retail store at Elmwood Ave and Two Notch Rd. The site area is +/-5 acres. The site offers great road visibility from Two Notch Rd (+/-550 linear feet of road frontage). The SCDOT has acquired property from current landowners for the widening of Two Notch Rd.

The site is adjacent to Carver Elementary School to the west, the Benedict College Business Development Center to the south and the proposed athletic and mixed-use facilities of Benedict College's new campus to the east.

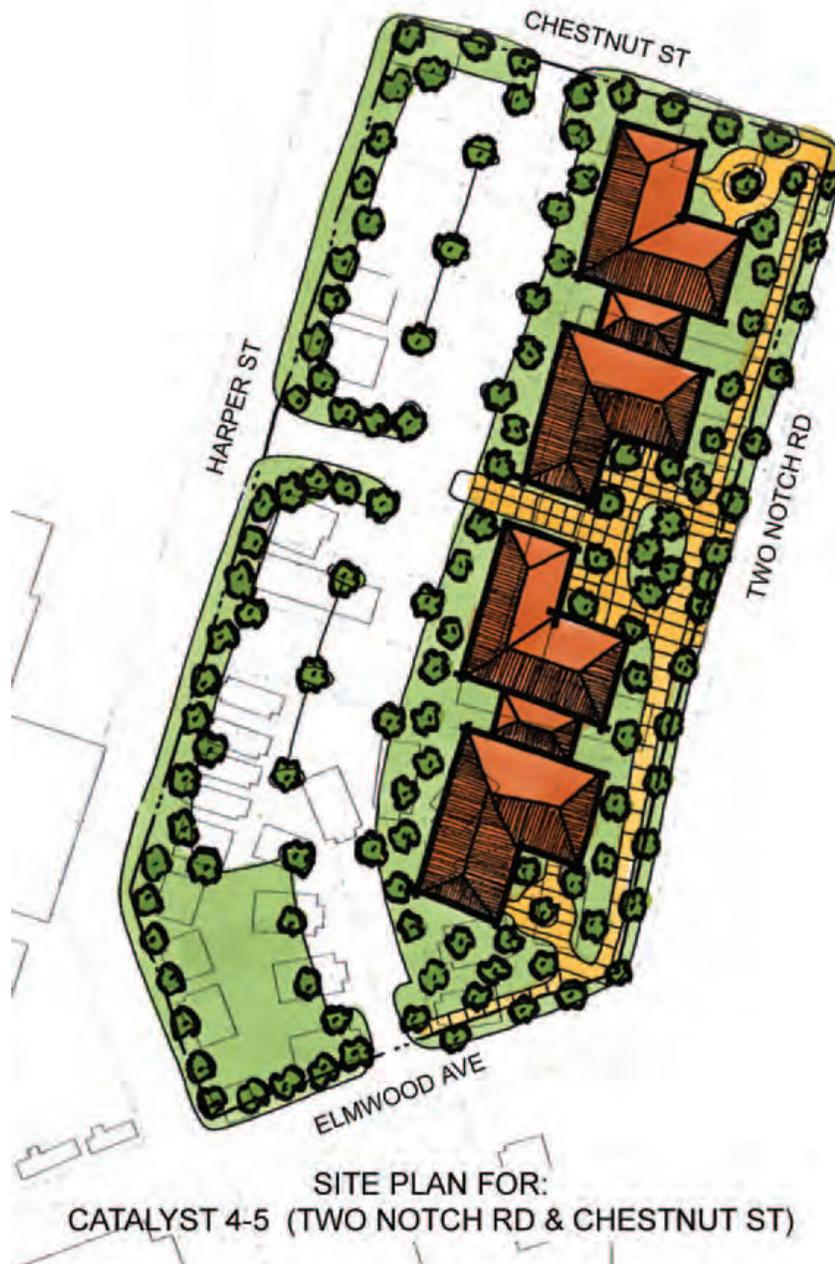


AERIAL VIEW FOR:  
CATALYST 4-5 (TWO NOTCH RD  
AT CHESTNUT ST)

## The Plan

With the close proximity of the Benedict College's Business Development Center to the south, the proposed Benedict College's mixed-use to the east and proposed multi-family to the north (Catalyst 3-2), the site is ideal for a mixed-use development consisting of ground floor office/retail and second floor office or residential. In addition to the catalysts' surrounding land uses, the Two Notch Rd corridor provides excellent site visibility.

The office component can appeal to potential business entrepreneurs who utilize the development center as well as medical services offices servicing Providence Hospital, located less than ½ mile to the south. With the redevelopment of Waverly St (Catalyst 4-2) and the expansion of Benedict College, the Two Notch Rd corridor could become a friendlier walking environment. The proposed multi-family to the north and mixed-use to the east will increase pedestrian traffic along the corridor. Along with the Schoolhouse Rd catalysts to the north (Catalyst 2-2 & 3-2), Catalyst 4-5 helps define this mixed-use node as a destination point.



## Design Elements

This mixed-use development should be limited to two stories with parking located to the rear of the site. With the adjacent college and multi-family, the site will help encourage pedestrian movement between its surrounding uses through generous sidewalk widths, street furnishings, tree plantings and pedestrian lighting. Parking access shall be from the secondary streets of Chestnut St and Harper St. The elimination of exiting curb cuts and the current streetscaping project along Two Notch Rd shall enhance the pedestrian separation from vehicular traffic. The buildings should front the street to help create an enhanced pedestrian atmosphere and an interior courtyard is proposed for an on-site gathering area.



Existing



Proposed

Catalyst 4-5 (Two Notch Rd at Chestnut St)	
Item	Cost
Land Acquisition	\$ 1,185,000
Street Improvement (Demolition, Infrastructure, Hardscape, Landscape)	\$ 177,120
Site Development (Demolition, Infrastructure, Hardscape, Landscape)	\$ 680,360
Building Construction	\$ 5,400,000
Architectural Fees	\$ 540,000
Engineering Fees (10%)	\$ 85,748
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 128,622
Contingency (20%)	\$ 1,251,496
<b>Catalyst Total</b>	<b>\$ 9,448,346</b>

These estimates of quantities, design fees and probable construction costs are for planning purposes only. FAJ/JJG does not guarantee that proposals, bids or construction costs will not vary from our cost estimates

## Catalyst 5-1 (Wiley St Corridor)

### Existing Conditions

The Wiley St catalyst site is located on +/-14 acres bounded by Superior St to the north, Mitchell St to the south and Edisto Ave to the east. The majority of the site is industrial/commercial properties. Included in this site is the Unitech Services Group, Inc. This laundry facility once provided the services for the Savannah Nuclear Facility. The proper clean-up and environmental remediation is crucial to redeveloping this site as well as to improve public perception of the area.

The site also contains some single-family and duplex housing as well as many vacant lots. The homes in this area are in poor condition and will need extensive renovation or demolition. The existing streets do not have curb and gutter or sidewalks. There is a large amount of truck traffic cutting through the neighborhood associated with the local commercial/industrial uses. Located adjacent just north of the catalyst site is the former Hendley Homes. Currently the Columbia Housing Authority has received Hope VI funding for the redevelopment of that site into a mixed-use development, which proposes single-family and duplex housing with a mixed-use building fronting Rosewood Dr. The implementation of the redevelopment of the Henley Homes site is crucial for the redevelopment of Catalyst 5-1.



## The Plan

The Wiley St catalyst looks to capitalize upon the strong existing single-family fabric of the South Edisto Court Community while integrating with the redevelopment of Hendley Homes. The proposed attached and detached single-family homes will provide diversity in housing choices for future residents. This will also symbolize the end to the area as an industrial activity node. In addition, some duplexes will be provided on corner lots to further expand the housing options within the community. Along Edisto Ave, a community building is proposed within a renovated commercial building at the terminus of Wiley St. The expansion of People's Park from Holt St to Edisto Ave adjacent to the proposed community building will physically link the two halves of Cluster Five.

A major concern is the routing of existing truck traffic from the remaining industrial uses south of Commerce Dr and the airport through the catalyst to Rosemont Dr. Truck traffic should be directed to the southern border of the redevelopment along Mitchell St/Commerce Dr and away from the residential element.



## Design Elements

Two keys to a successful redevelopment of the Wiley Street catalyst will be the integration of the new Hendley Homes and the routing of truck traffic to the perimeter of the neighborhood. Proposed house types and styles should compliment the new Hendley Homes reinforcing the concept of one community and not separate redevelopments. Homes should engage the street with direct pedestrian connections from the sidewalk to the homes' front door. Driveways should be placed to the side of the home or where common parking areas are used they should be placed to the rear of the building. Parking pads in the front yard shall not be permitted. The inclusion of curb and gutter and adequate street lighting is essential for changing the perception of the area within the community.

The truck traffic route should be diverted along the southern boundary of the community. This route should provide a heavy vegetative buffer between the new residential component and the existing industrial uses. In addition to the truck route, "No Truck Traffic" signs will need to be posted at the residential gateways and tighter turn radius at each residential intersection should help reinforce the elimination of truck traffic through the residential core of the community.



Existing



Proposed

Catalyst 5-1 (Wiley St Corridor)	
Item	Cost
Land Acquisition	\$ 1,045,500
Street Improvement	\$ 1,475,760
Site Development	\$ 1,029,875
Building Construction	\$ 9,000,000
Architectural Fees - Residential	\$ 189,000
Engineering Fees (10%)	\$ 250,564
Consultant Fees-Surveying, Environmental, Development (15%)	\$ 375,845
Contingency (20%)	\$ 2,301,127
<b>Catalyst Total</b>	<b>\$ 15,667,671</b>

These estimates of quantities, design fees and probable construction costs are for planning purposes only. FAJ/JJG does not guarantee that proposals, bids or construction costs will not vary from our cost estimates



## Catalyst 1-1 (Gonzales Gardens)

### Existing Conditions

**Gonzales Gardens was overwhelmingly identified as a potential catalyst by the neighborhood, the market study, and the development team.** The project is located on +/- 15.5 acres of land just south of Providence Hospital along Forest Dr making it the northern boundary of the Lyons St Neighborhood. The property is currently zoned RG-2. For many years the residents of the Lyons St Neighborhood have identified this site as a major contributor to the deterioration of their community. The concentration of low-income residents in a high-density complex is not compatible with the lower density single-family homes of the neighborhood. The building's orientation has little interaction with the street as the majority of the windows and doors are focused internally instead of engaging its neighbors.

### The Plan

The potential use identified for this site is mixed-use. The mixed-use would focus on providing medically-related space for the adjacent Providence Hospital as well as a mixture of residential and/or assisted living apartment units. Providence Hospital would benefit from the redevelopment of Gonzales Gardens into doctors offices and medical-related services. In addition, CHA could partner with the Hospital to share the costs and rewards involved in redeveloping the site. The housing element would be based on the Hope VI mixed income model where CHA would be able to provide housing for some of the former residents of Gonzales Gardens while offering new market rate housing for the community. The new housing would appeal to both young professionals involved with Providence Hospital and potentially students of Benedict College or Allen University. Assisted living housing would benefit from its close proximity to Providence Hospital. A small retail element would be included within the redevelopment of Gonzales Gardens, which would cater to both the medical community as well as the surrounding Lyon St neighborhood.



## *Design Elements*

The proposed Gonzales Gardens mixed-use development will encourage pedestrian mobility within the development and create visual and pedestrian connections to the hospital and the surrounding Lyons Street neighborhood. The buildings will relate to the street and be designed with no more than three stories fronting Forest Dr to create a pedestrian scale. Windows and doors should face the street and be combined with generous sidewalks, furnishings, plantings and lighting to promote a friendly walking environment. This definition of the edge will not only define the development, but also provide an opportunity for “eyes on the street”, and rejuvenate the image of Forest Dr. The heights of the buildings should be reduced along Washington St to a maximum of two stories. This will give the development a smaller scale, more in character with the surrounding neighborhood.

While some parallel on street parking should be encouraged throughout the project, the majority of the surface parking should be internal to the development. Placing the parking internally screens it from public view and promotes a stronger pedestrian connection with the surrounding community.

## Catalyst 1-3 (House St)

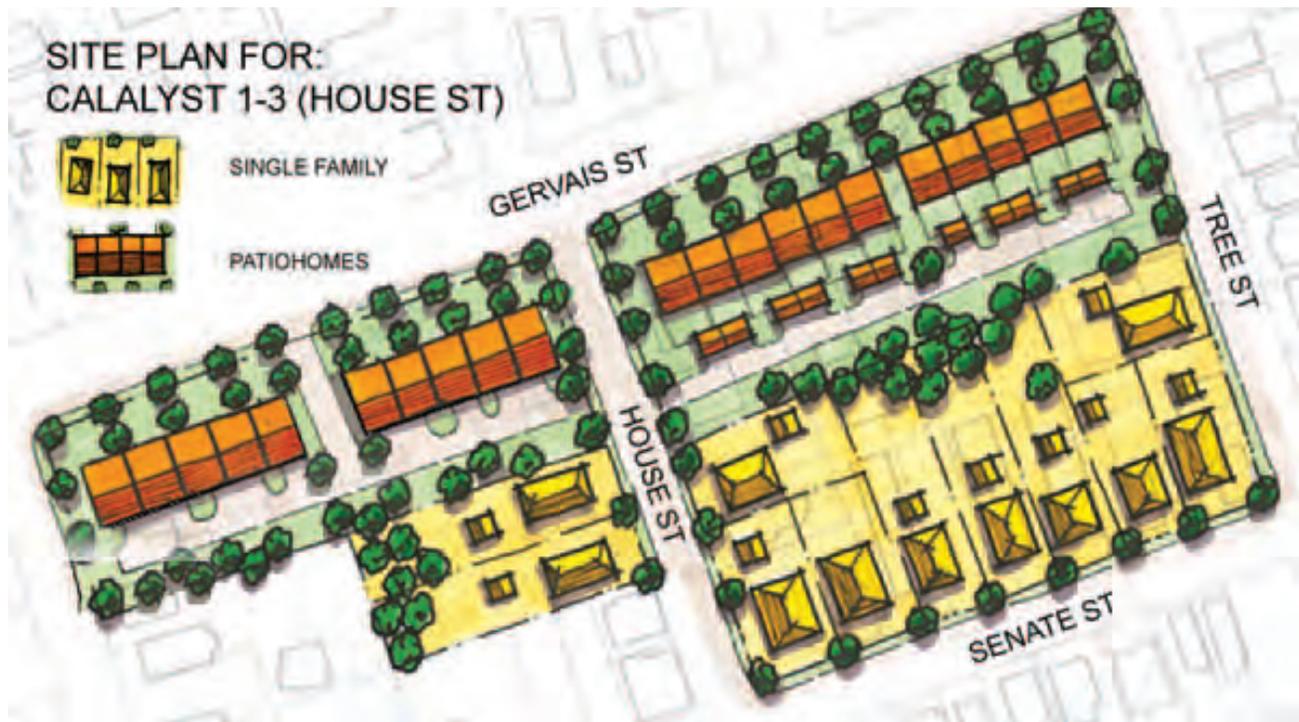
### Existing Conditions

Catalyst 1-3 is also located in the Lyon St Neighborhood of Cluster One. This catalyst is +/- 5 acres, bordered by Gervais St to the north, Senate St to the south, Tree St to the east and Page St to the west. The site is bisected north and south by House St. The site is currently a mix of vacant lots and single-family homes. Half of the lots front on Gervais St and are currently zoned commercial. Along Senate St the uses are either single-family homes or multi-family homes and are zoned RG-2. Many existing homes in the catalyst site are in poor condition and in need of demolition and/or extensive rehabilitation. The existing multi-family buildings are out of place within the single-family fabric of Senate St.

The site has a significant slope from Gervais St south to Senate St and is well vegetated except for the southwest corner of Gervais St and House St. This area is currently used as a gravel/sand parking lot commercial uses.

### The Plan

The market and site analysis recommends new single-family homes for this site. The plan proposes medium density attached homes fronting Gervais St. The existing multi-family and single-family homes along Senate St will be redeveloped as single-family homes, which is more characteristic of the surrounding community. The attached homes will help redefine the traffic corridor along Gervais St with limited curb cut access, providing a variety of housing options for perspective homebuyers, as well as creating a physical buffer between Gervais St and the single-family residential "core" of the community.



## *Design Elements*

Although this portion of Gervais St does not have the same traffic volume as other east-west commuter corridors, it is important to provide a physical separation between the road and the front door of the attached single-family homes. These homes will need to provide a visual buffer from the road. Rear access drives for the garages would be from House St, combining all driveways for the homes with one access point, will eliminate curb cuts along Gervais St creating a stronger visual appearance for the development as well as increase vehicular safety and traffic flow. Security for this entry point will be a concern for this development therefore lighting, proper landscaping and a controlled access point will be crucial in providing a safe and secure development.

Due to the steep topography of the site, the single-family homes on Senate St would have side yard driveways and garage access. Parking pads and front-loading garages are not permitted and would not be in character with surrounding homes. Single-family homes would address the streets with large front porches that promote interaction with pedestrians and walkways with direct connections between the porch and sidewalks.

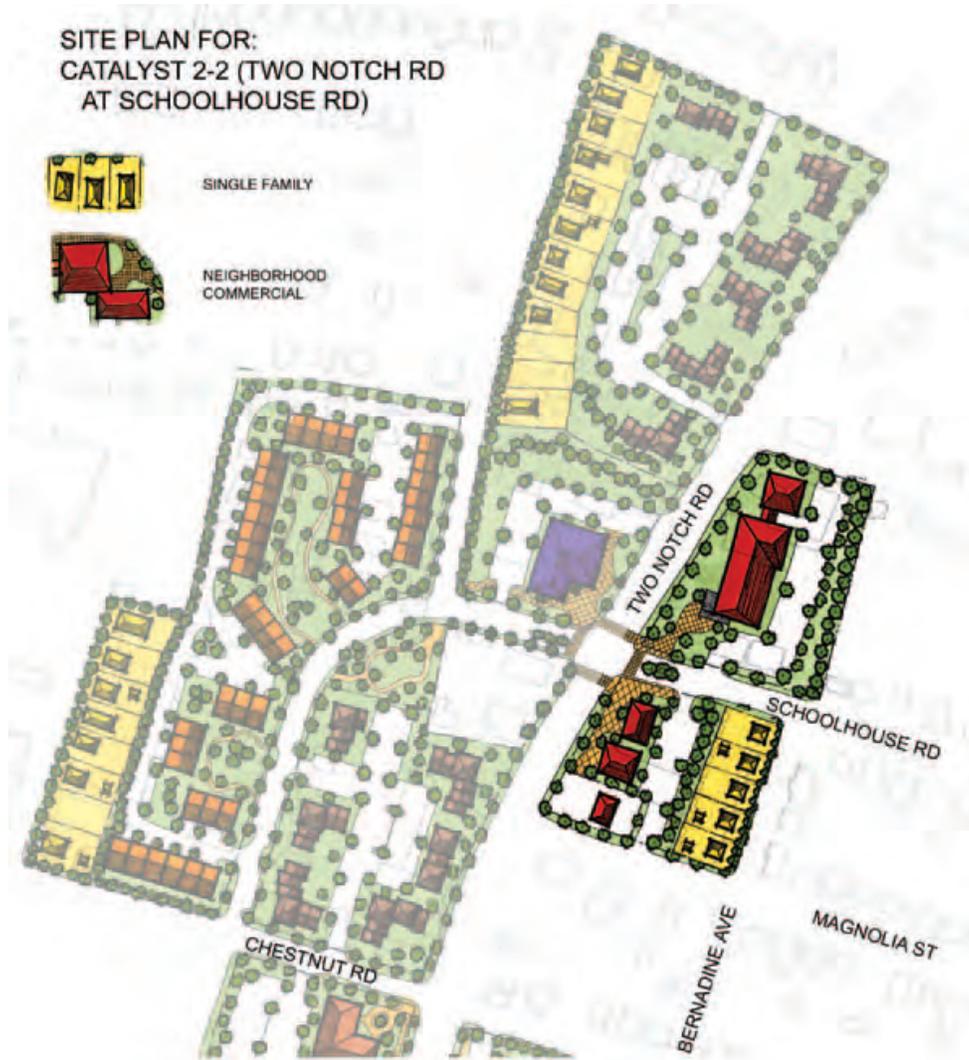
**Catalyst 2-2 (Two Notch Rd at Schoolhouse Rd)**

**Existing Conditions**

Catalyst 2-2 is the existing commercial intersection of Schoolhouse Rd and Two Notch Rd. The site is composed of vacant lots, buildings in need of demolition or significant restoration and/or underutilized commercial parcels. The total area of the site is +/- 4 acres, is zoned C-3 and includes +/- 250 linear feet of commercial road frontage. There is a gradual elevation change from the road frontage on Two Notch Rd to the rear (eastern edge) of the property.

**The Plan**

In order for the redevelopment of the Schoolhouse Rd corridor (Catalyst 2-1) to be successful, the gateway from Two Notch Rd must be redefined. Catalyst 2-2 can become that gateway. The site has a large existing population within walking distance, and high traffic volumes along Two Notch Rd. The site is also centrally located among the potential catalyst programs for Clusters Three and Four. The proposed land use for this intersection is mixed-use with an emphasis on neighborhood commercial. The parcel located along the northern right of way of Schoolhouse Rd would be ideal for a small-scale grocer or retail service. Across the street, at the southeast corner of the intersection, additional retail and/or office space is proposed. Due to the shallower depth of the parcels, a small retail or office user would be best for this location.



## *Design Elements*

For a new commercial element to be successful within an existing under-utilized commercial corridor, the pedestrian experience must be redefined. The proposed commercial node would be designed at a pedestrian or neighborhood scale with buildings moved forward to enhance the street presence. Parking for the buildings should be placed to the rear or sides of the buildings and screened from public view. These two design elements will place a priority on the pedestrian movement and help redefine the commercial strip as a destination point.

A planting strip along Two Notch Rd will help separate the pedestrian zone and the vehicular traffic corridor to create a more positive pedestrian experience. Strong streetscaping elements including lighting, sidewalks, benches and street trees are necessary to define the commercial elements as neighborhood in scale and design. The creation of a vegetated center median with neighborhood ornamentation on Schoolhouse Rd at the intersection will re-emphasize this node as being a destination point.

## Catalyst 3-2 (Two Notch Rd at Waites Rd)

### *Existing conditions*

Catalyst 3-2 is located along the eastern boundary line of Cluster Three. Waites Rd borders the site to the east, Two Notch Rd to the west, Chestnut St to the south and Tremain St to the north. The catalyst also includes the area west of Waites Rd bordering Harper St. The total site area is +/- 21 acres with two primary land uses. Commercial property borders Two Notch Rd while existing residential uses border Waites Rd. The commercial consists of functioning commercial properties, vacant buildings and vacant lots. The Manigault-Hurley Funeral Home at the intersection of Schoolhouse Rd and Two Notch Rd provides a great identity to the community.

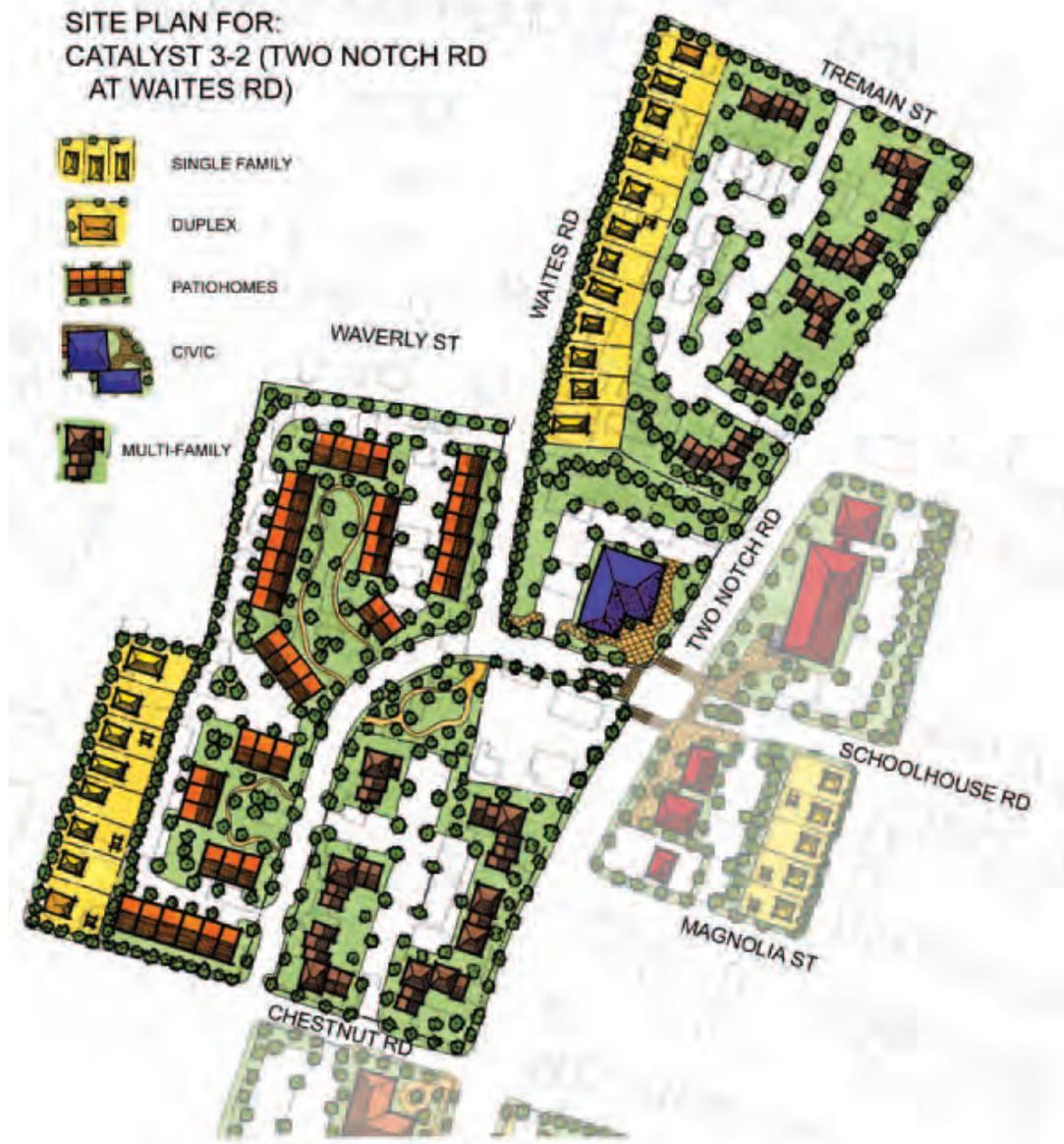
The Waites Rd corridor is predominately concrete block multi-family apartments and wood frame duplex homes. The existing condition of these homes is very poor with many of the structures are vacant or boarded up. There are also various empty lots. The existing street infrastructure is in poor condition with few sidewalks or curb and gutter.

There is a significant elevation change from Waites Rd to Two Notch Rd. The area north of Schoolhouse Rd has little significant tree cover, while the area south of Schoolhouse Rd has some significant trees.

### *The Plan*

The catalyst will provide a high-density use along the traffic corridor of Two Notch Rd while allowing uses that are compatible to the existing single-family housing found within the Jones-McDonald Community. In conjunction with the redevelopment of Schoolhouse Rd in Catalyst 2-2, Catalyst 3-2 would be redeveloped incorporating civic and residential elements. The civic use is ideal for this intersection, as it will provide a central destination point for three different clusters (Clusters Two, Three and Four). In addition, this civic use will further reinforce the Schoolhouse Rd intersection as a destination node. To the north and south of this node, the introduction of higher density multi-family homes will further assist in redefining Two Notch Rd from commercial strip to a more urban character with residential uses fronting the street, while complimenting the retail nodes. Locating the higher density residential homes within walking distance of retail and civic use, additional vehicle traffic along Two Notch Rd will be reduced. The higher density residential element also provides more potential users needed for the retail elements of Catalyst 2-2.

To buffer the existing single-family neighborhood from the proposed higher density multi-family, attached single-family homes would be relocated in what was once the Kenny St area. The attached homes offer a lower density than the multi-family, while still providing different housing options. The extension of the Schoolhouse Rd through this area to make a direct connection to Chestnut St providing better vehicular and pedestrian circulation while creating a more compact redevelopment parcel. Along the Waites Rd corridor north of the Schoolhouse Rd extension, a row of new single-family homes will also help buffer the existing neighborhood from the Two Notch Rd corridor.



**Design Elements**

In order to redefine the Two Notch Rd/Schoolhouse Rd intersection from commercial strip to destination point, the inclusion of pedestrian elements will be crucial. The retail and civic building will need to interact with the street. Wide pedestrian sidewalks with a sufficient landscape strip between the road and the building will help achieve a pedestrian friendly environment. Parking shall be located to the side or rear of the buildings. The multifamily developments will also need to address the street. Porches and building doors shall face the street with parking internal to the development. Access for this development will be from secondary streets with secured access points. The reduction of existing curb cuts along the Two Notch Rd corridor will enhance traffic flow, increase traffic safety, and provide a safer pedestrian separation from the street. To lower the parking requirements for the destination node as well as to provide additional guest parking for the multi-family and attached single-family homes, designated on-street parking is proposed for the Schoolhouse Rd extension.

The attached single-family home area will also need to address the street. Parking for these units will be located internally to the project with controlled access points. The development will also provide open courtyards within the site. Although parking will be secured from the street, these courtyards are to remain open for public access.

## Catalyst 3-3 (Dart St Park)

### *Existing Conditions*

The Dart St Park catalyst is located along the eastern right of way of the existing CSX Railroad line. The site currently consists of single-family homes, vacant lots and a large drainage area currently owned by the City of Columbia. The existing structures along Dart St and Chestnut St are small single-family homes facing the athletic fields of Johnson Preparatory School. Many of these homes are in need of significant restoration or demolition.

Dart St currently dead-ends at its northern end at the edge of Barhamville Estates. Due to an existing house location in the neighboring Barhamville Estates, no future road or pedestrian connection is feasible. Dart St's pavement width is larger than the standard 26 ft, so the street is sufficient to support on-street parking on both sides. Chestnut St is a strong east-west residential connector road between the Two Notch Rd commercial corridor and Harden St/Farrow Rd collector roads. The average traffic count is three times that of other residential roads within the project boundaries. Neither street has sufficient streetscaping elements, including sidewalks, lighting or street trees.

The drainage area that occupies 7.5 acres of the site is located just west of the Barhamville Estates. City access into the area is located at the terminus of Lang Ct as well as the intersection of Louisa St and Lang Ct. The area includes a large detention pond and offers extensive vegetative cover. Many of the lots in Barhamville Estates that back up onto this area have not been built on. An existing sanitary sewer line runs parallel to the railroad within this drainage area. The railroad is at a raised elevation behind Barhamville Estates and reaches road grade at the Slighs Ave/ Chestnut St crossing. As indicated by the community, many children use this drainage area as a pedestrian short cut from the Booker Washington Heights neighborhood and the local schools just east and north of Barhamville Estates.

### *The Plan*

The redevelopment of the Dart St site will consist of new single-family homes fronting Dart St and Chestnut St and the development of a new passive park abutting the railroad behind Barhamville Estates. The proposed single-family homes will replace existing homes, duplexes and vacant lots. These new homes will benefit from the close proximity of the new schools and the redevelopment of the former Celia Saxon homes.

The goal of the new park is to provide a pedestrian link between Booker Washington Heights and the new Celia Saxon Development within Cluster Four. The new park will also provide additional greenspace within the neighborhood, safe-walking opportunities for older residents and most importantly a defined walking corridor for students currently walking to and from school.

### *Design Elements*

The existing lots that front Dart St currently extends to the west (rear of the property) to the railroad right of way. The proposed single-family's lot depths will be reduced to allow sufficient space for creating a pedestrian linkage between the drainage area behind Barhamville Estates and the proposed park gateway at the intersection of Dart St and Chestnut St. The gateway would include a small parking facility, park signage/trailhead information and restroom facilities. It will also include a neighborhood monument for vehicular traffic arriving from Slighs Rd. The park would then continue south along the railroad right of way to the new Celia Saxon homes redevelopment. The use of clearly defined pathways, maintenance and adequate lighting will be needed to provide a pedestrian friendly environment. Multiple controlled vehicular access points along Dart St and within Barhamville Estates with regular police and parks department patrols will be crucial in creating a sense of security. The formation of a neighborhood group responsible for assisting with the park maintenance and security will be necessary.

The single-family home's doorways should be visible from the street. Side entry driveways should be developed along Dart St, while the homes on Chestnut St could be accessed from the side yard, or rear drives could be accessed from the parking lot of the new Celia Saxon Homes.

In addition, an at-grade pedestrian crossing of the railroad at the terminus of Douglas Street will provide a connection to the Dart St greenway and “bridge” the separation of the Booker Washington Heights neighborhood from the rest of the community.

Street trees will need to be provided not only on the redeveloped western side of Dart St but also on the Johnson School side of the street. These trees will create a visual buffer between the school and the residents and redefine the wide street as a residential street and not a school parking lot. Chestnut St is the northern most east-west connection road through the neighborhood. The street enhancement of this corridor, including the realignment of Slighs Rd at the railroad crossing, will improve the streets traffic flow while reinforcing the residential character of the neighborhood.



## Catalyst 4-2 (Waverly St)

### Existing Conditions

The Waverly St site is +/- 3 acres bordered by Taylor St to the south, Haskell to the north, Waverly St to the west and Two Notch Rd to the east. The site offers +/- 800 linear feet of road frontage along the high volume traffic corridors of Two Notch Rd and Taylor St. Benedict College is located to the west of Waverly St along with some traditional commercial out parcels while Providence Hospital's parking areas are located across Two Notch Rd.

The site is predominately commercial. The current users include a re-opened convenience store. Many of the vacant buildings have recently been removed by Benedict College. Small single-family homes front on Haskell Street to the north end of the area within the Eva P Treszant Neighborhood.

There is some existing vegetation on the northern end of the site. While Taylor St and Two Notch Rd are primary roadways, Waverly St is an undersized residential road with poor intersection visibility at its terminus with Taylor St.

### The Plan

The Benedict College master plan calls for an eastern expansion of the campus along Taylor St towards the Two Notch Rd corridor. This intersection would provide a unique opportunity for future classrooms and a viable mixed-use retail element. The site has great site visibility from two major road corridors, a large pedestrian oriented student population associated with Benedict College and Allen University as well as the large employee base of Providence Hospital. The site also provides the first step in encouraging the college's growth along the Two Notch Rd corridor towards the new East Campus located in Cluster Two.

Future retail businesses could cater towards not only the student population but also the professionals associated with the hospital.



## *Design Elements*

The intersection of Taylor St and Two Notch Rd creates a great opportunity for a gateway for Benedict College. It enables the college to “throw out the welcome mat” to the community. The new mixed-use elements would engage with the street. This will help to redefine the existing character of the intersection from commercial strip to destination node and make the mixed-use more inviting to pedestrian traffic. The building should be two stories in height with varying façade depths and be designed in a pedestrian friendly fabric while clearly delineating between the pedestrian space and the traffic of Taylor St and Two Notch Rd. Outdoor seating and gathering places should be encouraged. With campus security being a significant issue for the college, designated pedestrian gateways between the mixed use and the campus is vital for both campus security and mixed-use vitality. Parking for the mixed use retail uses should be located behind the buildings and screened from public view.

## Catalyst 5-2 (Commerce Dr Park)

### Existing Conditions

The Commerce Dr park catalyst is located within the southeast corner of Cluster Five. Corning Rd borders the site to the north, Commerce Dr to the south, Adeline Dr to the west and Howe St to the west. The site is composed of +/-13.5 acres. The residential streets of Easy St and Corning Rd are composed of small single-family homes and duplexes. These tree-lined streets do not have curb & gutter or sidewalks. The area has had drainage issues.

While the site is predominately single-family or duplex housing, the largest parcel of the project contains an industrial use. A large asphalt lot, which is utilized by an asphalt company for parking, occupies +/- 5.8 acres of the site. This large parcel has no trees or vegetation and is out of character with the surrounding land uses. Corning Rd dead-ends into this parcel at its eastern terminus, while Easy St takes a sharp right hand turn to make the connection with Commerce Dr.

Located underneath the large parking lot, the City has installed an underground detention structure. This structure was created to collect the run-off associated with the Hendley Homes site.

### The Plan

In order for the redevelopment of catalyst 5-2 to be successful, the existing asphalt parking lot will be redeveloped as a public park with a small civic use (library or community center). The park will provide the neighborhood with additional open space for gatherings and physical activities while eliminating the major inhibitor of redevelopment along Easy St and Corning Rd. New and renovated single-family homes and duplexes are proposed for Easy St and Corning Rd.



## *Design Elements*

With the close proximity of Rosemount Park and its active recreation facilities, the proposed Commerce Dr Park should promote a passive atmosphere with a large grassy gathering area within the park. Sidewalks should connect the park to the neighborhood at each intersection as well as creating an interior walking trail. Since the existing use is an asphalt parking lot, the extensive use of hardwood trees and landscape materials will be vital in creating the park atmosphere. Lighting within the parking lot and along the walking trail is vital in order to create a safe and secure park.

The addition of the Commerce Dr Park allows for new homes on the Corning Rd extension and for a new street along the eastern edge of the proposed park to front the park. In fronting the park, the new homes will provide “eyes on the street” increasing safety while further enhancing the pedestrian experience. New homes shall have parking to the side of the home. Rear access or alley access is not common within this section of the South Edisto Court Community. Front-loading drives or parking pads will not be permitted. The inclusion of curb & gutter, where possible, should be included along Corning Rd and Easy St to provide better storm water drainage. Easy St and Corning Rd have good existing street tree canopies. Extra care should be taken during the redevelopment phase in preserving these trees during the placement of sidewalks and street lighting.



## Catalyst 1-4 (Tree St and Herbert St)

The Tree St & Herbert St catalyst is located within the Lyon St neighborhood of Cluster One. The site is bordered by Senate St to the north, Pendleton St to the south, Tree St to the east and Zeigler St to the west. The site is currently zoned for residential. The site should be developed as low-density detached single-family residential

## Catalyst 1-5 (Gervais St & Millwood Rd)

The Gervais St & Millwood Rd catalyst is also located within the Lyon St neighborhood and is located at the major intersection/downtown gateway of Gervais St and Millwood Rd. The site is currently being used by a church for patron parking with a vacant commercial structure fronting Gervais St. The site should be developed as either a mixed-use development or institutional use.

## Catalyst 3-1 (Carnegie St)

The Carnegie St catalyst is located along the boundary of Cluster Three. The site is bordered by Carnegie St to the north and Van Heise St to the south. The site has a close proximity to the Two Notch Rd commercial corridor to the east and TS Martin Park the west. The site should be developed as single-family attached or detached residential homes.

## Catalyst 4-1 (Allen–Benedict Court)

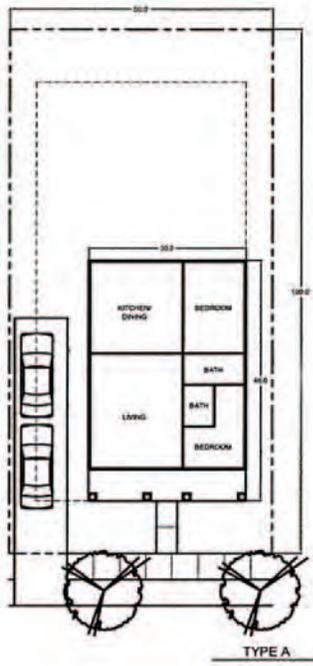
The Allen-Benedict Court catalyst is bordered by Harden St to the east, Oak St to the west, Read St to the north and Laurel St to the south. The Columbia Housing Authority operates this multi-family development. The catalyst is bordered by Benedict College to the south and the new Celia Saxon community to the north. The site should be developed as mixed-use development with residential and office elements as well as a small neighborhood retail component.

## Catalyst 4-3 (Richland St)

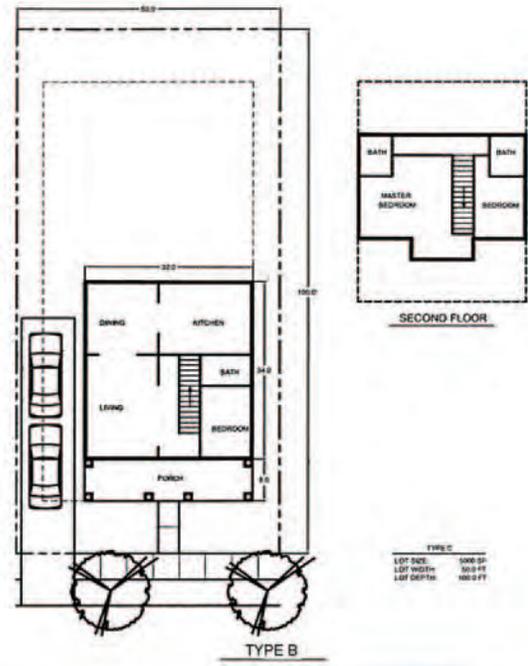
The Richland St catalyst includes eight parcels at the intersection of Richland and Waverly St with the Eva P. Trezevant Neighborhood. The site has many vacant parcels and some substandard housing. The site should be developed with single-family detached housing.

## Catalyst 4-4 (Elmwood St & Harper St)

The Elmwood & Harper St catalyst is also located within the Eva P. Trezevant Neighborhood. The site is bordered by Elmwood Ave to the north, Read St to the south, Harper St to the east, Willis St to the west and includes the parcels fronting Harper Ct to the south. The site is adjacent to the new Benedict-Allen Business Development Center. The site should be developed as single-family detached residential housing.

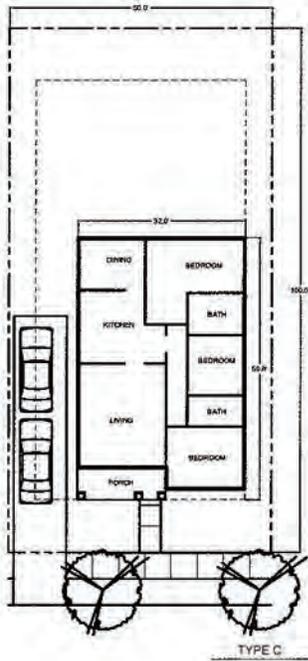


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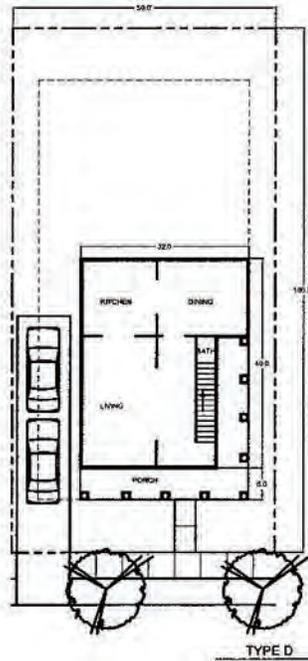


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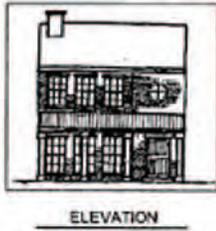
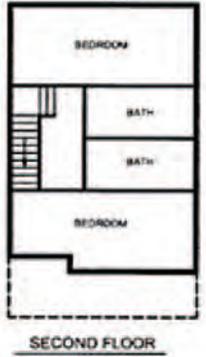
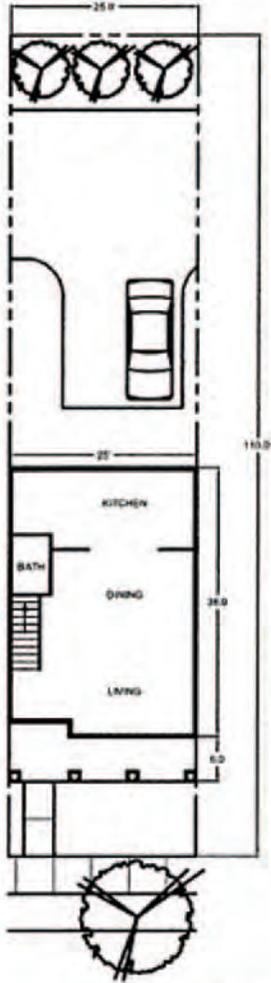


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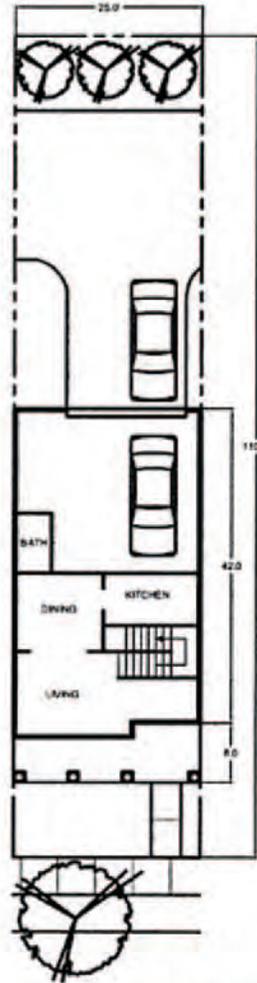
TYPE D  
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LOT WIDTH: 50.0 FT  
LOT DEPTH: 100.0 FT





PATIOHOME A  
 LOT SIZE: 2750 SF  
 LOT WIDTH: 25.0 FT  
 LOT DEPTH: 110.0 FT

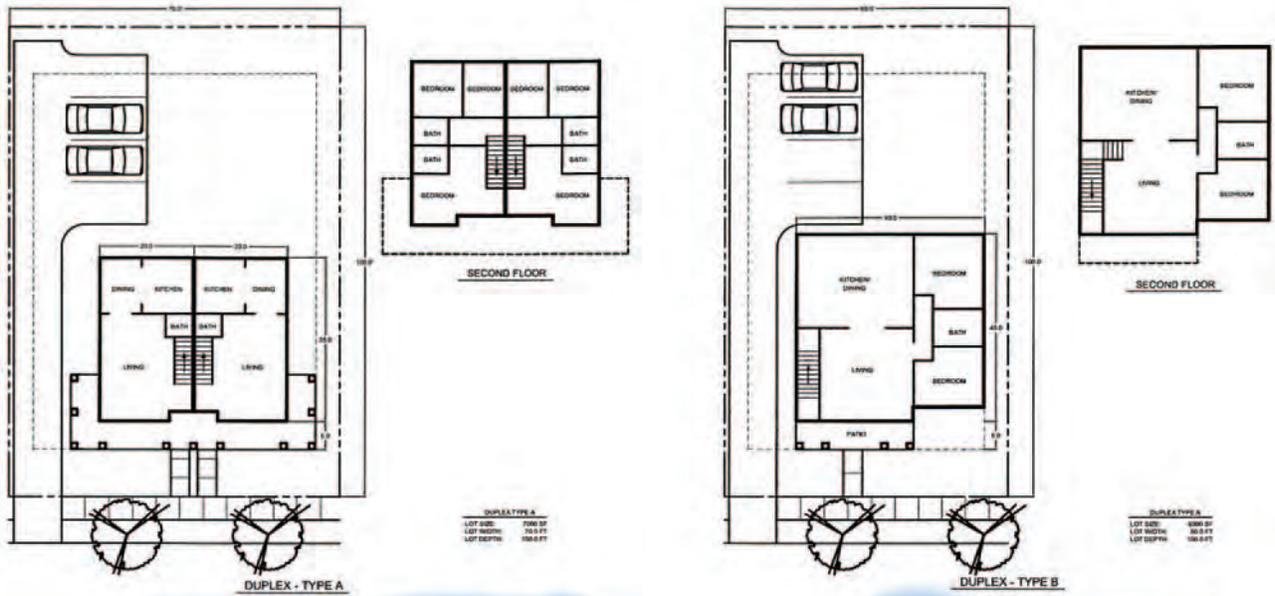
PATIOHOME - TYPE A



PATIOHOME A  
 LOT SIZE: 2750 SF  
 LOT WIDTH: 25.0 FT  
 LOT DEPTH: 110.0 FT

PATIOHOME - TYPE B





## Recommendations for Implementation

As a practical matter, the primary purpose of the Redevelopment Plan is to provide a unifying methodology of addressing the blighting conditions present in the East Central project area.

Throughout the process of creating the East Central Redevelopment Plan, it has been expressed that the various supporters, partners, and neighborhood leaders of the East Central Project Area did not want to develop a plan that would simply **sit on a shelf**. The plan must be pragmatic, practical, and implementable. To that end, specific recommendations have been prepared as a baseline for implementing the plan. The specific recommendations for the implementation of the East Central City Consortium Redevelopment Plan have been organized and presented into five (5) groupings. The recommendations are as follows:

### 1) Master Land Use Plan Recommendations

- ◆ **Adoption of this Redevelopment Plan:** The East Central City Consortium Board of Directors has adopted the Plan. The Columbia City Council should adopt the redevelopment plan, specifically the Master Land Use Plan and the Master Implementation Plan. This plan has been prepared in accordance with the requirements of S.C. Code 1976 § 31-10-10 et. seq. Once Columbia City Council has adopted this Redevelopment Plan, it is recommended that the City pass a series of ordinances to implement this Redevelopment Plan.
- ◆ **An ordinance should be passed by Columbia City Council creating the new classification of “Neighborhood Conservation District” as an Overlay District and Implementing the herein Design Guidelines:** The Master Land Use Plan, herein, contains design guidelines creating an overlay-zoning district. These guidelines shall operate in conjunction with any underlying zoning district in the project area. The regulations of the underlying zoning district, and all other applicable regulations, remain in effect. If the provisions of the East Central Design guidelines conflict with the underlying zoning, The East Central Design guidelines shall prevail. The boundaries of the Neighborhood Conservation District provided for in the ordinance should mirror the boundaries of the East Central Project area as described herein.
- ◆ **The Ordinance passed by Columbia City Council should provide for Land Uses allowed out right and by special exception based upon the Land Uses created during the East Central Planning process.**
- ◆ **Columbia City Council Declaration of A Redevelopment Area:** As set forth herein and further detailed in the Real Estate Market Analysis, the conditions under which State Redevelopment Law will allow an area to be deemed “**blighted**”, and therefore eligible for designation as a Redevelopment Area, are present within the East Central project area. A confluence of economic and political events and trends has resulted in a consensus among varied interest groups that it is the right time and momentum to form a redevelopment area.
- ◆ **Establish/Re-Establish A Redevelopment Commission Pursuant to S.C. Code 1976 § 31-10-10 et. seq.:** As a part of the Master Implementation Plan, certain sites called “catalyst sites” have been designated for specific use, principally affordable housing, market rate housing, or mixed-use space. The East Central Development Team due to blighting influences has identified twenty-one (21) sites. In order to assure continuity and accountability over the redevelopment area, a Redevelopment Commission should be utilized as the mechanism to implement the plan. The City of Columbia has formed the Columbia Neighborhood Redevelopment Commission as the agency with the powers set forth in the redevelopment law. **It is recommended that the Columbia Neighborhood Redevelopment Commission be charged with oversight and accountability for the redevelopment area.** As provided in the statute, the Commission should be governed by the members of the governing body of its parent municipality (i.e. by Columbia City Council)

## 2) Master Implementation (Catalyst Site) Plan Recommendations

- ◆ Preserve the traditional single-family “core” neighborhoods
- ◆ Create centralized neighborhood activity nodes
- ◆ Redefine the traditional commercial corridors within the community
- ◆ Preserve, enhance and create public open space
- ◆ Encourage home ownership and rehabilitation
- ◆ Create a pedestrian oriented environment
- ◆ Create gateways to downtown Columbia and to each neighborhood
- ◆ Enhance community identification
- ◆ Encourage continued community involvement
- ◆ **Predevelopment Program:** Implement a Year Two Predevelopment Program to develop a **detailed financing package including Sources and Uses statement and a preliminary engineering report for the catalyst Tier One catalyst projects.**
- ◆ **Apply For Designation as a Community Housing Development Organization (“CHDO”):** The East Central City Consortium, Inc. should apply to the State Housing and Finance Authority for recognition as a CHDO. This designation would avail the organization to any State of south Carolina matching HOME resources for any HOME Dollars allocated by the City of Columbia, as well as, administrative financial resources.
- ◆ **Capital Improvement Program (“CIP”): Evaluate the future years** allocation of CIP resources for the neighborhoods impacted by the East Central Redevelopment Plan. **The alignment and expenditure of CIP Water and Sewer Fund, as well as, the Storm Water Utility Fund should be consistent with the prioritized catalyst project recommendations.**
- ◆ **Land Assembly:** The City can also facilitate infill development through *land assembly* - by assembling small, individual parcels into large blocks under common ownership. The jurisdiction then undertakes property improvements and packages the properties for resale. For example, the City of Columbia could operate a successful land assembly program and land bank, whereby the City receives delinquent properties and transfers most of the developable parcels to the Columbia Housing Development Corporation, TN Development, Benedict - Allen CDC, or another agency or non-profit affordable housing developer.
- ◆ **Cluster One Recommendations (Lyons St, Waverly, and Lower Waverly Neighborhoods)**
  - Existing residential “cores” to remain single-family
  - Encourage rehabilitation and redevelopment of single-family homes within these core areas
  - Redefine the existing commercial traffic corridors/intersections as medium to high density residential areas and/or mixed-use
  - Encourage Allen University’s growth along the Taylor St Corridor
  - Redevelop Gonzales Gardens into a mixed-use development with residential, retail and medical related uses
  - Street enhancements of Gervais St and Millwood Rd into **a gateway for Downtown Columbia**
  - Historic Protection Area designation for the Waverly Neighborhood
  - **Build on Existing Assets:** Currently the Columbia Housing Development Corporation (“CHDC”) has assembled parcels in the Manning/ Corridor. CHDC has acquired eight (8) parcels for single-family development in this catalyst project area. The CHDC has lines of credit with the City of Columbia of approximately \$350,000 in Community Development Block Grant Funds for additional land acquisition in the Cluster One Catalyst 1-6 boundary. These resources should be targeted for acquisition of properties identified in this catalyst site.
  - Leverage City of Columbia HOME Dollars by applying for matching State Housing HOME by requesting approximately \$4,000 per unit for Cluster One Catalyst 1-6 project.

- Request the maximum (\$100,000) in Trust Fund Dollars to assist in assembling the Cluster One Catalyst 1-6 project.
- Identify future year CIP Dollars, which may be re-prioritized based upon Catalyst Site implementation. The City of Columbia has requested \$435,000 for storm drainage improvements for fiscal year 2007-2008 within Cluster One.
- ◆ **Cluster Two Recommendations** (Midlands Terrace and Pinehurst Neighborhoods)
  - Existing residential “cores” to remain predominately single-family
  - Encourage rehabilitation and redevelopment of single-family homes within these core areas
  - The redevelopment of the Laurel St and Westminster Rd corridors for Providence Hospital/Medical related uses
  - Redevelopment of Schoolhouse Rd corridor from multi-family rental to medium density owner occupied single-family residential
  - Reinventing the Two Notch Rd corridor from commercial strip into defined destination points
  - Provide medium to high density housing along Two Notch Rd while buffering existing single-family residential “cores”
- ◆ **Cluster Three Recommendations** (Barhamville Estates, Booker Washington Heights, and Jones McDonald Neighborhoods)
  - Existing residential “cores” to remain single-family
  - Encourage rehabilitation and redevelopment of single-family homes within these cores
  - Redevelopment of the Two Notch Rd corridor from commercial to a mixed-use destination nodes and high density residential
  - Development of existing City owned drainage area into a greenway
  - Pedestrian connections along the railroad between proposed greenway, neighborhood schools and the Booker Washington neighborhood
  - Expansion and rehabilitation of EB Sessions Park
  - **Build on Existing Assets:** Currently the Columbia Housing Authority (“CHA”) is attempting to assembled parcels in the Corridor. CHA is utilizing HOPE VI Dollars for this acquisition program. As a partner approximately \$300,000 in HOPE VI resources should be requested from the CHA to assist in the acquisition of Cluster 3 Catalyst Sites 3-4 and 3-5. These resources should be targeted for acquisition of properties identified in this catalyst site.
  - Leverage State Housing HOME and Trust Fund Dollars to assemble the Cluster Three Catalyst Sites 3-4 and 3-5 projects.
  - Identify future year CIP Dollars, which may be re-prioritized based upon Catalyst Site implementation. The City of Columbia has requested \$178,000 in Water Improvements and \$70,000 in storm drainage improvements for fiscal year 2004-2005 within the Cluster Three.
- ◆ **Cluster Four Recommendations** (Edgewood and Eva P. Trezevant Neighborhoods)
  - Encourage the expansion of Benedict College along Taylor St to the east and Two Notch Rd to the north
  - Redevelopment of the Benedict-Allen housing project into a mixed use, mixed income development
  - The creation of a central park for the neighborhoods at the intersection of Elmwood Rd and Barhamville Rd

- ◆ **Cluster Five Recommendations** (South Edisto Court Community)
  - Redevelopment of existing industrial uses into low to medium density homes
  - New homes to be consistent with the characteristics of the new Hendley Homes
  - Redevelopment of existing industrial parking lot into a public park
  - Identify future year CIP Dollars, which may be re-prioritized based upon Catalyst Site implementation. The City of Columbia has requested \$3,600,000 in water improvements and \$2,420,000 in storm sewer improvements for fiscal year 2004 – 2005 within or adjacent to Cluster Five.

### 3) Programmatic Recommendations

- ◆ **Code Enforcement Educational Outreach Campaign:** In terms of public perception, a targeted code enforcement educational campaign is one of the most important steps the City of Columbia can take in affecting the public's perception of its service delivery. A common theme found during all of the public workshops was a perception that the City is not adequately pursuing code enforcement activity. City staff must devise and implement an educational outreach methodology to inform the citizens of the process, the department's efforts, and its willingness to work with the neighborhoods. This can be accomplished through presentations to the East Central City Consortium Board of Directors, The Columbia Council of Neighborhoods, and individual neighborhood meetings.
- ◆ **Code Enforcement "Sweep" Activities:** The Code Enforcement staff has worked with the East Central Technical Team during the design process to review some of the representative blighting influences in the neighborhood. The Complete Land/Parcel Inventory should be provided to staff to review the structures identified as substandard or targeted for demolition. The Catalyst sites ranked in Tier One and Tier Two should be targeted for a comprehensive code enforcement "sweep" with periodic follow-up activities.

### 4) Infrastructure-Related Recommendations

- ◆ **Upgrading Infrastructure And Amenities.** A key strategy for encouraging infill development, particularly housing, is a focused public investment strategy to improve antiquated infrastructure and add public amenities such as parks, libraries and streetscapes. These upgrades can make a target area more attractive. Such infrastructure upgrades are generally implemented by the jurisdiction's public works or parks department in response to priorities set by the City Council or redevelopment agency. When infrastructure improvements are utilized as the incentives, improvements to water systems, sewers, sidewalks, parks, and roads are generally financed directly from a jurisdiction's capital budget. Such up-front investment is anticipated to pay for itself in the form of increased tax revenues from the redeveloped properties.
- ◆ **Lowering of Impact Fees.** Jurisdictions charge impact fees to offset the costs of public facilities and services necessary to serve the new development. Most localities charge a uniform fee that may not account for the higher costs to serve more distant suburban locations. Offering lower impact fees for infill projects can more accurately reflect the true costs for providing services through existing infrastructure. This more calibrated approach makes infill parcels more attractive, and builds greater equity into metropolitan growth patterns. The City can also waive infrastructure hookup fees for infill projects to lower costs to developers. Impact fees are included in the jurisdiction's development regulations; the lowering or waiving of such fees is implemented by the planning and building department in response to priorities enacted by the city council or redevelopment agency.

## 5) Recommendations Related To The Zoning And Development Process

- ◆ **Fast Track and Streamlined Permitting.** Fast track permitting, applied within targeted infill development areas, allows developers of infill parcels to get their application processed ahead of non-infill applications. Some localities consolidate or streamline permit processing to allow concurrent review and processing of related development permits. Since developers face holding costs during the development review process, long delays jeopardize the financial viability of a project. Affordable housing projects with slim profit margins can benefit substantially from speedy development review and approval. Related strategies include “one stop” centers for processing applications, and assignment of one city staff as point person to help navigate a project through the various departments and processes that constitute the development review process.
- ◆ **Reduce lot sizes, setbacks, and parking requirements.** Many localities are updating their zoning code to address the challenges of developing smaller parcels. Key incentives modify regulations to allow for reduced residential lot sizes, reduced setback requirements, and reduced street and parking standards. Older standards often make development of infill parcels impractical because they tie up a large percentage of a site’s total land area. Some requirements, in particular for on-site parking, may be inappropriate or unnecessary for infill areas where transit service and other alternatives to auto use exist.
- ◆ **Zone for mixed-use development.** Traditional zoning has emphasized the separation of land uses. Smart growth principles emphasize the creation of integrated, multi-use districts that blend housing, services, recreation and jobs. City government may put in place a residential/mixed-use zoning designation to specifically encourage infill practices such as allowing housing development above stores. This enables residents to be closer to the services they use on a daily basis. To ensure availability of affordable housing, the jurisdiction can amend the zoning regulations to establish an overlay zone for the residential/mixed-use district that permits the development of affordable housing “by right” on the areas covered in the overlay. A “by right” zoning designation makes affordable housing development easier by eliminating the need to obtain a special use permit or undergo a zoning change approval process.
- ◆ **Increase density allowances.** Increasing the maximum allowed density for infill areas in the city’s zoning regulations is an important incentive. Higher densities permit more intensive development of a parcel and allow the developer the opportunity to spread development costs over more units. City government can also provide “density bonuses” to developers of infill sites that designate a certain percentage of housing units as affordable. In this way, localities can both encourage efficient use of the land and promote the inclusion of affordable housing units within a project.

## Incentives For Redevelopment

In deciding how to implement redevelopment in the East Central City Consortium Project Area, The City of Columbia must seriously consider the substantial opportunities that a Redevelopment Area provides. These broad municipal powers include the ability to: acquire private property through eminent domain and convey it to a redeveloper; convey publicly owned land to a designated redevelopment authority; compel the relocation of utilities; and participate in the financing of redevelopment projects. Successful redevelopment efforts require a significant amount of time and municipal resources. Thus, it may be prudent to explore additional options to supplement the designation and/or creation of a Redevelopment Area and **the creation of Neighborhood Conservation Districts**. The narrative, which follows, provides a more descriptive look at the recommendations and incentives for redevelopment.

- ◆ **Enhanced Zoning Controls.** Administrative or regulatory obstacles may be preventing the private real estate market from investing in the East Central project area. For example, existing zoning may be incompatible with land uses in the area, requiring applicants to go through the time and expense of acquiring use variances to undertake property improvements or expansion. Changing the permitted uses in an area or establishing conditional use requirements may solve the problem. If the problem is haphazard development with less than desirable buildings and improvements, the solution may be to adopt more stringent zoning controls or design standards to produce more aesthetically pleasing projects. The recommended Design Guidelines and proposed Land Use Maps are designed to address the need for comprehensive enhancement of zoning controls.
- ◆ **Design Guideline Standards.** Since some portions of the project area may have a poor visual appearance or aesthetic image, the City should consider the use of the recommended new design standards for development projects that require site plan or subdivision approval. The City also may offer incentives to those developers who incorporate higher quality aesthetic improvements in their projects or property owners who upgrade and improve the appearance of their properties.
- ◆ **Overlay Districts.** Overlay zoning may be used in concert with redevelopment efforts. An overlay zone or ordinance does not change the underlying zoning for a property. The overlay option can be designed to provide density bonuses or other incentives to the developer in exchange for meeting performance standards, such as infrastructure improvements, the incorporation of specific design features into the development, or the provision of affordable housing. If the Neighborhood Conservation District is not approved as an overlay district, there will be no guarantee that the project area will be developed in accordance with the provisions of the redevelopment plan.

## Overlay Districts

### What is an “overlay district”?

An “overlay district” is a special zone that is drawn on a map outlining a significant resource or area of emphasis. The area of emphasis or particular resource could be a natural resource such as a hillside development or additional design review for a central business district or highway corridors. An example of this might be the Two Notch Rd or Gervais St corridor. An overlay district could also include a social element focusing on affordable housing or preservation of a historic area, such as the Lower Waverly Neighborhood of East Central City. This district is “overlaid” on the existing land use regulations such as subdivision requirements, site plan review or zoning districts of the City. The overlay district then supplements these existing regulations. This approach allows the City to maintain or update current codes while addressing the special needs of particularly sensitive areas.

A good example of overlay districts is floodplains, where any housing or construction must meet certain extra standards in order to be approved. This is done to protect lives and property and ensure the natural functioning of the floodplain.

Overlay districts are currently used in many localities across the country for a variety of purposes, including protecting agricultural resources, historic properties, aquifers, road corridors and gateways, and scenic views.

Other common examples of overlay districts include:

- Historic or Architectural Review Districts for special neighborhoods or downtown
- Road Corridor Standards along major gateway routes.
- Agricultural protection and Right to Farm standards in prime farmland areas.
- Watershed Protection around reservoirs, aquifers, and shorelines.
- Scenic Views to and from ridgelines, shorelines, and special features.

### Advantages of Overlay Districts in the East Central City Consortium Project Area

There are many advantages to utilizing an overlay district. For example an overlay district:

- can be written and mapped to incorporate whatever features are most important to the City. Neighborhood boundaries can be easily defined using tax lot lines, roads, and existing slope or soils maps.
- can address all of the City’s concerns regarding any proposed land use change inside the district. Anything that might impact the quality of the proposed mapped feature can be addressed, including road requirements, frontage, lot size, lot coverage, setbacks, tree cutting, vegetation buffers, siting of houses, lighting and open-space natural areas.
- can easily be implemented by passing a City law appending it to the existing land use regulations. Substantial rewriting of underlying zoning, site plan review or subdivision regulations is not required.
- can be modified in the future should the City discover it wished to add or modify items. Using an overlay district, the City continues to protect its own resources without the imposition of authority from outside agencies. The decision-making process, therefore, is kept at the local level where stewardship can remain a point of community pride. Officials and involved citizens retain the opportunity to exercise self-determination and self-responsibility for their City’s future.

**Adoption of the Neighborhood Conservation Overlay District** by adjoining neighborhoods can also permit more consistent Citywide planning for redevelopment, rather than a piecemeal approach.

## Benefits

The real power and effectiveness of overlay districts lies in the fact that all the parties involved in the land development review process can benefit. This includes the City, the property owner or developer and the community. While the standards and requirements to the developer are different than they are in other, non-overlaid zoning districts, the public hearing procedure to obtain approvals is the same.

Since the guidelines and expectations for the overlay district are clearly defined in advance, battles over issues at public review meetings among the City, a developer and the community may also be minimized or eliminated.

When building in an overlay district, a developer will have a clear understanding of the City's expectations and realistic development possibilities at the beginning of the approval process, before major commitments or expenditures are made. Since measures to protect the environment are built into the overlay district site plan from the beginning, the environmental review process can be effectively focused. This can lead to quicker, less costly approval process.

## The Neighborhood Conservation District

**The recommended overlay district for the East Central City Consortium project area is the Neighborhood Conservation District. It should be created to better protect areas. However, instead of being utilized in areas and neighborhoods deemed to have historical value, it will be utilized in blighted areas and those in need of rehabilitation.**

### What is the Intent and Purpose of a Neighborhood Conservation District?

The intent and purpose of the Neighborhood Conservation District designation is to stimulate the restoration and rehabilitation of structures, and all other elements contributing to the character and fabric of established residential neighborhoods and commercial or industrial areas. New construction will be invited and encouraged and further provide for the design of such new space as will enhance and contribute to the aesthetic character and function of the property and the surrounding neighborhood or area. Contemporary design will be encouraged, provided it is in keeping with the above-stated criteria, as an acknowledged fact of the continuing developmental pattern of a dynamic, changing community. The neighboring community shall be provided notice and opportunity to comment upon the proposed property improvements and further, aggrieved persons shall have the right to appeal any design review decision made.

The Neighborhood Conservation District defines and sets forth standards (i.e. the Design Guidelines), which will apply in the district. All new construction, alterations to existing structures, movement of structures into or out of the Neighborhood Conservation Overlay District, hereinafter referred to as conservation district, or demolition of structures by any means or process will be subject to design review. The recommendations of the Design Development Review Commission ("DDRC") be given careful consideration in the final approvals issued for development within the conservation district boundaries.

## Goals and Objectives

In general, the goals and objectives in establishing a Neighborhood Conservation District is to protect and enhance neighborhoods for the educational, cultural, economic benefit or enjoyment of The City's citizens. In short, the goals and objectives of the recommendations regarding the establishment of a Neighborhood Conservation District are to:

- ◆ Protect, preserve, enhance, regulate structures, and areas that are reminders of past eras, events or persons important in local, state or national history; or marks in history of land planning and architecture; or which are unique or irreplaceable assets to the city and its neighborhoods;
- ◆ Enhance property values through the stabilization of neighborhoods and areas of the city, increase economic and financial benefits to the city and its inhabitants;

# Implementation

- ◆ Develop and maintain the appropriate environment for buildings, structures, sites, and areas, that reflect varied planning and architectural styles and distinguished phases of The City's history;
- ◆ Seek to maintain and enhance the many private and public elements that are unique to the fabric, theme and character of each neighborhood and area, including but not limited to: lighting, pathways, street trees, natural areas and other features that may, from time to time, be identified by the citizens and property owners of neighborhoods, areas, and subsections, thereof; and
- ◆ Provide the neighboring community with notice and opportunity to comment upon the proposed property improvements and to further provide aggrieved persons with the right to appeal review decisions made.

## Design Development Review Commission Powers and Duties Within The Neighborhood Conservation District

It is intended that the Design Development Review Commission ("DDRC") will review development within Neighborhood Conservation Districts in order to maintain the desirable characteristics of structures and areas, within such districts, while recognizing the need for innovation and individual expression in the development of these districts. In carrying out this mission, the DDRC shall have the following powers and duties within Neighborhood Conservation Districts.

- ◆ After adoption by the City Council, apply specific design guidelines, related to such concerns as architectural appearance, landscape design and signage for the alteration of structures, sites or areas.
- ◆ Review applicable development proposals, applications for zoning amendments, applications for moving, demolition or any other kind of permit that may affect properties within conservation districts.
- ◆ Call upon city staff or persons having technical expertise for advice.

A certificate of appropriateness received from either the planning director or the City Council after recommendation by the DDRC, shall be required before any and all alteration(s) other than repair as defined herein, are undertaken upon any structure in the conservation district. For alterations not requiring City Council approval, compliance with the DDRC's decisions will be mandatory subject to appeal to the City Council.

## Design Guideline Standards to be Applied

The Master Land Use Plan provides recommended Design Guidelines to be used in the Neighborhood Conservation District. In drafting the final ordinance for City Council approval, staff should focus upon the following:

- ◆ Height
- ◆ Proportions of doors and windows
- ◆ Relationship of building masses and spaces
- ◆ Roof shape
- ◆ Scale
- ◆ Directional expression, with regard to the dominant horizontal or vertical expression of surrounding structures
- ◆ Architectural details
- ◆ Concealment of non-period appurtenances, such as mechanical equipment
- ◆ Materials and color schemes (any requirements or conditions, imposed regarding color schemes shall be limited to the prevention of nuisances upon abutting properties and prevention of degradation of features on the property in question. Color schemes may be considered as primary design elements if a deviation from the underlying zoning is requested).

# Implementation

Contemporary, non-period and innovative design of new structures and additions to existing structures shall be encouraged when such new construction or additions do not destroy significant historical, cultural or architectural structures or their components and when such design is compatible with the foregoing elements of the structure and surrounding structures.

Specific design guidelines are presented based upon the type of use for a particular property. The Master Land Use Plan contains Design Guidelines for single-family residential, multi-family residential, as well as for streetscape and miscellaneous uses presented in the discussion of Neighborhood Conservation Overlay Districts.

## Demolition of Structures within the Neighborhood Conservation District

The demolition of any structure or site within the conservation district shall be subject to the provisions of Neighborhood Conservation District and consequently the DDRC. The review procedures and criteria for the demolition or movement of any structure of site within the conservation district will be set forth in the ordinance.

# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04 (Revised)

Catalyst Name: Heidt St

Catalyst Number: 1-2

Appendix

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	5300	\$ 20	\$ 106,000
		<b>Subtotal</b>	<b>\$ 106,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
8" DIP (LF)	4700	\$ 35	\$ 164,500
Manholes	21	\$ 1,500	\$ 31,500
		<b>Subtotal</b>	<b>\$ 196,000</b>
<b>Water</b>			
T-Connections	20	\$ 500	\$ 10,000
Fire Hydrants	14	\$ 1,000	\$ 14,000
8" DIP Service Line	6200	\$ 50	\$ 310,000
		<b>Subtotal</b>	<b>\$ 334,000</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	3050	\$ 55	\$ 167,750
Storm Structures (MH and Cover)	33	\$ 1,500	\$ 49,500
Headwall	3	\$ 500	\$ 1,500
		<b>Subtotal</b>	<b>\$ 218,750</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	11000	\$ 12	\$ 132,000
Asphalt (SY)	143000	\$ 3	\$ 429,000
5' Sidewalks (SF)	62250	\$ 4	\$ 249,000
Street Lighting (1 per 100 lf)	125	\$ 3,000	\$ 375,000
Street Trees (1 per 30 lf)	415	\$ 500	\$ 207,500
		<b>Subtotal</b>	<b>\$ 1,392,500</b>
		<b>Street Subtotal</b>	<b>\$ 2,247,250</b>
Landscape Material	\$ 1,392,500	20%	\$ 449,450
		<b>Street Total</b>	<b>\$ 2,696,700</b>

### Site Demolition

Item	Quantity	Item Cost	Total Cost
Buildings	44	\$ 5,000	\$ 220,000
Acreage (Cleared & Grubbed)	25	\$ 6,000	\$ 150,000
		<b>Demolition Total</b>	<b>\$ 370,000</b>

### Pod: Mixed Use (70,000 SF & 14 Patiohomes)

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	500	\$ 20	\$ 10,000
6" PVC Laterals (LF)	720	\$ 15	\$ 10,800
Wyes	18	\$ 120	\$ 2,160
Manholes	4	\$ 1,500	\$ 6,000
		<b>Subtotal</b>	<b>\$ 28,960</b>

# Appendix

<b>Water</b>			
Taps	2	\$ 500	\$ 1,000
Water Meter (Commercial)	5	\$ 800	\$ 4,000
Water Meter (Residential)	14	\$ 500	\$ 7,000
8" DIP Service Line	1000	\$ 50	\$ 50,000
3/4" Service Line (Residential)	140	\$ 8	\$ 1,120
3" Service Line (LF) (Commercial)	100	\$ 12	\$ 1,200
		<b>Subtotal</b>	<b>\$ 63,200</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	820	\$ 55	\$ 45,100
Storm Structures (MH and Cover)	9	\$ 1,500	\$ 13,500
Detention Facility	1	\$ 40,000	\$ 40,000
		<b>Subtotal</b>	<b>\$ 98,600</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	2700	\$ 12	\$ 32,400
Driveways (SF)	22000	\$ 3	\$ 66,000
Sidewalks (SF) (Internal/to street)	8000	\$ 4	\$ 32,000
Street Lighting	5	\$ 3,000	\$ 15,000
Fencing (LF) - Ornamental	300	\$ 40	\$ 12,000
		<b>Subtotal</b>	<b>\$ 157,400</b>
		<b>Site Subtotal</b>	<b>\$ 348,160</b>
Landscape Material (Building SF)	125000	\$ 2	\$ 250,000
		<b>Site Total</b>	<b>\$ 598,160</b>
<b>Buildings</b>			
Mixed Use (SF)	70000	\$ 90	\$ 6,300,000
(Parking Under Building)	27000	\$ 70	\$ 1,890,000
Townhomes(SF)	28000	\$ 75	\$ 2,100,000
		<b>Subtotal</b>	<b>\$ 8,400,000</b>
		<b>Pod Total</b>	<b>\$ 8,998,160</b>

## Pod: Parks

Item	Quantity	Item Cost	Total Cost
Park Trees	20	\$ 500	\$ 10,000
Park Sidewalk(SF)	1200	\$ 5	\$ 5,400
		<b>Subtotal</b>	<b>\$ 15,400</b>
Landscape Material	\$ 15,400	50%	\$ 7,700
		<b>Pod Total</b>	<b>\$ 23,100</b>

## Pod:Single Family - 69 Units (65 Houses & 4 Duplex)

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
6" PVC Laterals	2760	\$ 15	\$ 41,400
Wyes (One Per Unit)	69	\$ 120	\$ 8,280
		<b>Subtotal</b>	<b>\$ 49,680</b>
<b>Water</b>			
Taps	69	\$ 500	\$ 34,500
Water Meter (Residential)	69	\$ 500	\$ 34,500
3/4" Service Line (Residential)	2760	\$ 8	\$ 22,080
		<b>Subtotal</b>	<b>\$ 91,080</b>

# Appendix

<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	750	\$ 55	\$ 41,250
Storm Structures (MH and Cover)	4	\$ 1,500	\$ 6,000
Detention Facility	1	\$ 20,000	\$ 20,000
		<b>Subtotal</b>	<b>\$ 67,250</b>
<b>Hardscape</b>			
Driveways (SF)	50000	\$ 3	\$ 150,000
4" Sidewalks (SF) (To street)	4200	\$ 4	\$ 16,800
Fencing (LF) - Perimeter	10000	\$ 8	\$ 80,000
Fencing (LF) - Ornamental	690	\$ 40	\$ 27,600
		<b>Subtotal</b>	<b>\$ 274,400</b>
		<b>Site Subtotal</b>	<b>\$ 482,410</b>
Landscape Material	69	\$ 3,000	\$ 207,000
		<b>Site Total</b>	<b>\$ 689,410</b>
<b>Buildings</b>			
Residential (SF)	120000	\$ 75	\$ 9,000,000
		<b>Subtotal</b>	<b>\$ 9,000,000</b>
		<b>Pod Total</b>	<b>\$ 9,689,410</b>

## Pod:Patihomes - 48 Units

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	920	\$ 25	\$ 23,000
6" PVC Laterals	1440	\$ 15	\$ 21,600
Wyes (One Per Unit)	48	\$ 120	\$ 5,760
Manholes	4	\$ 1,500	\$ 6,000
		<b>Subtotal</b>	<b>\$ 56,360</b>
<b>Water</b>			
Taps	2	\$ 500	\$ 1,000
Water Meter	48	\$ 500	\$ 24,000
8" DIP Service Line	460	\$ 52	\$ 23,920
3/4" Service Line	11000	\$ 8	\$ 88,000
		<b>Subtotal</b>	<b>\$ 136,920</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	910	\$ 55	\$ 50,050
Storm Structures (MH and Cover)	7	\$ 1,500	\$ 10,500
Detention Facility	2	\$ 30,000	\$ 60,000
		<b>Subtotal</b>	<b>\$ 120,550</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	1740	\$ 12	\$ 20,880
Driveways (SF)	36300	\$ 3	\$ 108,900
4' Sidewalks (SF) (To street)	2880	\$ 4	\$ 11,520
Street Lighting	6	\$ 3,000	\$ 18,000
Fencing (LF) - Perimeter		\$ 9	\$ -
Fencing (LF) - Ornamental	770	\$ 40	\$ 30,800
		<b>Subtotal</b>	<b>\$ 190,100</b>
		<b>Site Subtotal</b>	<b>\$ 503,930</b>
Landscape Material	48	\$ 2,500	\$ 120,000
		<b>Site Total</b>	<b>\$ 623,930</b>
<b>Buildings</b>			
Residential (SF)	96000	\$ 75	\$ 7,200,000
		<b>Subtotal</b>	<b>\$ 7,200,000</b>
		<b>Pod Total</b>	<b>\$ 7,823,930</b>

# Appendix

		<b>Catalyst SubTotal</b>	<b>\$ 29,601,300</b>
Architectural Fees - Mixed-Use (Cost)	\$ 8,190,000	10%	\$ 819,000
Architectural Fees - Residential (Units)	131	\$ 3,000	\$ 393,000
Engineering Fees	\$ 5,001,300	10%	\$ 500,130
Consultant Fees-Surveying, Environmental, Development	\$ 5,001,300	15%	\$ 750,195
<b>Contingency</b>	\$ 29,601,300	20%	\$ 5,920,260
		<b>Catalyst Total</b>	<b>\$ 37,983,885</b>

These estimates of quantities, design fees and probable construction costs are for planning purposes only.  
 FAJ/JJG does not guarantee that proposals, bids or construction costs will not vary from our cost estimates

Appendix

# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04 (Revised)

Catalyst Name: Manning Ave

Catalyst Number: 1-6

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	3600	\$ 20	\$ 72,000
		<b>Subtotal</b>	<b>\$ 72,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
8" DIP (LF)	4000	\$ 35	\$ 140,000
Manholes	15	\$ 1,500	\$ 22,500
		<b>Subtotal</b>	<b>\$ 162,500</b>
<b>Water</b>			
T-Connections	9	\$ 500	\$ 4,500
Fire Hydrants	10	\$ 1,000	\$ 10,000
8" DIP Service Line	3600	\$ 50	\$ 180,000
		<b>Subtotal</b>	<b>\$ 194,500</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	4200	\$ 55	\$ 231,000
Storm Structures (MH and Cover)	40	\$ 1,500	\$ 60,000
		<b>Subtotal</b>	<b>\$ 291,000</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	7600	\$ 12	\$ 91,200
Asphalt (SF)	94000	\$ 3	\$ 282,000
5' Sidewalks (SF)	36000	\$ 4	\$ 144,000
Street Lighting (1 per 100 lf)	70	\$ 3,000	\$ 210,000
Street Trees (1 per 30 lf)	240	\$ 500	\$ 120,000
		<b>Subtotal</b>	<b>\$ 847,200</b>
		<b>Street Subtotal</b>	<b>\$ 1,567,200</b>
Landscape Material	\$ 1,567,200	20%	\$ 313,440
		<b>Street Total</b>	<b>\$ 1,880,640</b>

### Site Demolition

Item	Quantity	Item Cost	Total Cost
Buildings	51	\$ 5,000	\$ 255,000
Acreage (Cleared & Grubbed)	8	\$ 6,000	\$ 48,000
		<b>Demo Total</b>	<b>\$ 303,000</b>

### Pod: Parks

Item	Quantity	Item Cost	Total Cost
Park Trees	20	\$ 500	\$ 10,000
Park Sidewalk(SF)	2400	\$ 5	\$ 10,800
		<b>Park Subtotal</b>	<b>\$ 20,800</b>
Landscape Material	\$ 20,800	50%	\$ 10,400
		<b>Park Total</b>	<b>\$ 31,200</b>

# Appendix

**Pod: Single Family 35 Units (32 Houses & 3 Duplexes)**

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			?
		<b>Subtotal</b>	?
<b>Sanitary Sewer</b>			
6" PVC Laterals	1400	\$ 15	\$ 21,000
Wyes (One Per Unit)	35	\$ 120	\$ 4,200
		<b>Subtotal</b>	<b>\$ 25,200</b>
<b>Water</b>			
Taps	35	\$ 500	\$ 17,500
Water Meter (Residential)	35	\$ 500	\$ 17,500
3/4" Service Line (Residential)	1400	\$ 8	\$ 11,200
		<b>Subtotal</b>	<b>\$ 46,200</b>
<b>Hardscape</b>			
Driveways (SF)	19000	\$ 3	\$ 57,000
4" Sidewalks (SF) (To street)	1500	\$ 4	\$ 6,000
Fencing (LF) - Perimeter	4000	\$ 8	\$ 32,000
Fencing (LF) - Ornamental	250	\$ 40	\$ 10,000
		<b>Subtotal</b>	<b>\$ 105,000</b>
		<b>Site Subtotal</b>	<b>\$ 176,400</b>
Landscape Material	35	\$ 3,000	\$ 105,000
		<b>Site Total</b>	<b>\$ 281,400</b>
<b>Buildings</b>			
Residential (SF)	54000	\$ 75	\$ 4,050,000
		<b>Subtotal</b>	<b>\$ 4,050,000</b>
		<b>Pod Total</b>	<b>\$ 4,331,400</b>

**Pod: Townhomes (14 Units)**

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			?
		<b>Subtotal</b>	?
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	100	\$ 25	\$ 2,500
6" PVC Laterals	500	\$ 15	\$ 7,500
Wyes (One Per Unit)	14	\$ 120	\$ 1,680
Manholes	4	\$ 1,500	\$ 6,000
		<b>Subtotal</b>	<b>\$ 17,680</b>
<b>Water</b>			
Taps	2	\$ 500	\$ 1,000
Water Meter	14	\$ 500	\$ 7,000
3/4" Service Line	400	\$ 8	\$ 3,200
		<b>Subtotal</b>	<b>\$ 11,200</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	50	\$ 55	\$ 2,750
Storm Structures (MH and Cover)	2	\$ 1,500	\$ 3,000
Detention Facility	1	\$ 30,000	\$ 30,000
		<b>Subtotal</b>	<b>\$ 35,750</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	800	\$ 12	\$ 9,600
Driveways (SF)	13500	\$ 3	\$ 40,500
4" Sidewalks (SF) (To street)	840	\$ 4	\$ 3,360
Street Lighting	3	\$ 3,000	\$ 9,000
Fencing (LF) - Perimeter	370	\$ 9	\$ 3,256
Fencing (LF) - Ornamental	250	\$ 40	\$ 10,000
		<b>Subtotal</b>	<b>\$ 75,716</b>

# Appendix

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		<b>Site SubTotal</b>	<b>\$ 140,346</b>
Landscape Material	14	\$ 2,500	\$ 35,000
		<b>Site Total</b>	<b>\$ 175,346</b>
<b>Buildings</b>			
Residential (SF)	28000	\$ 75	\$ 2,100,000
		<b>Subtotal</b>	<b>\$ 2,100,000</b>
		<b>Pod Total</b>	<b>\$ 2,275,346</b>

		<b>Catalyst Subtotal</b>	<b>\$ 8,821,586</b>
Architectural Fees - Residential	49	3,000	\$ 147,000
Engineering Fees	\$ 2,671,586	10%	\$ 267,159
Consultant Fees - Surveying, Enviromental, Development	\$ 2,671,586	15%	\$ 400,738
<b>Contingency - 20%</b>	\$ 8,821,586	20%	\$ 1,764,317
		<b>Catalyst Total</b>	<b>\$ 11,400,800</b>

These estimates of quantities, design fees and probable construction costs are for planning purposes only. FAJ/JJG does not guarantee that proposals, bids or construction costs will not vary from our cost estimates

# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04 (Revised)

Catalyst Name: Schoolhouse Rd

Catalyst Number: 2-1

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	3800	\$ 20	\$ 76,000
		<b>Subtotal</b>	<b>\$ 76,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
8" DIP Line (LF)	1400	\$ 35	\$ 49,000
Manholes	7	\$ 1,500	\$ 10,500
		<b>Subtotal</b>	<b>\$ 59,500</b>
<b>Water</b>			
T-Connections	7	\$ 500	\$ 3,500
Fire Hydrants	4	\$ 1,000	\$ 4,000
8" DIP Service Line	1760	\$ 50	\$ 88,000
Valves	16	\$ 300	\$ 4,800
		<b>Subtotal</b>	<b>\$ 100,300</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	2120	\$ 55	\$ 116,600
Storm Structures (MH and Cover)	18	\$ 1,500	\$ 27,000
Headwall	1	\$ 500	\$ 500
		<b>Subtotal</b>	<b>\$ 144,100</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	5890	\$ 12	\$ 70,680
Asphalt (SF)	84660	\$ 3	\$ 253,980
5' Sidewalks (SF)	23560	\$ 4	\$ 94,240
Street Lighting (1 per 100 lf)	60	\$ 3,000	\$ 180,000
Street Trees (1 per 30 lf)	200	\$ 500	\$ 100,000
		<b>Subtotal</b>	<b>\$ 698,900</b>
		<b>Street Subtotal</b>	<b>\$ 1,078,800</b>
Landscape Material	1078800	20%	\$ 215,760
		<b>Street Total</b>	<b>\$ 1,294,560</b>

### Site Demolition

Item	Quantity	Item Cost	Total Cost
Buildings	55	\$ 5,000	\$ 275,000
Acreage (Cleared & Grubbed)	23	\$ 6,000	\$ 138,000
		<b>Total</b>	<b>\$ 413,000</b>

### Pod: Park

Item	Quantity	Item Cost	Total Cost
Park Trees	10	\$ 500	\$ 5,000
Park Sidewalk(SF)	200	\$ 5	\$ 900
		<b>Park Subtotal</b>	<b>\$ 5,900</b>
Landscape Material	5900	50%	\$ 2,950
		<b>Park Total</b>	<b>\$ 8,850</b>

# Appendix

## Pod: Single Family - 17 Units (17 Homes)

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
6" PVC Laterals	680	\$ 20	\$ 13,600
Wyes (One Per Unit)	17	\$ 120	\$ 2,040
		<b>Subtotal</b>	<b>\$ 15,640</b>
<b>Water</b>			
Taps	17	\$ 500	\$ 8,500
Water Meter	17	\$ 500	\$ 8,500
3/4" Service Line	680	\$ 8	\$ 5,440
		<b>Subtotal</b>	<b>\$ 22,440</b>
<b>Hardscape</b>			
Driveways (SF)	10000	\$ 3	\$ 30,000
4" Sidewalks (SF) (To street)	1020	\$ 4	\$ 4,080
Fencing (LF) - Perimeter	3400	\$ 8	\$ 27,200
Fencing (LF) - Ornamental	170	\$ 20	\$ 3,400
		<b>Subtotal</b>	<b>\$ 64,680</b>
		<b>Site Subtotal</b>	<b>\$ 102,760</b>
Landscape Material	17	\$ 3,000	\$ 51,000
		<b>Site Total</b>	<b>\$ 153,760</b>
<b>Buildings</b>			
Residential (SF)	34000	\$ 75	\$ 2,550,000
		<b>Subtotal</b>	<b>\$ 2,550,000</b>
		<b>Pod Total</b>	<b>\$ 2,703,760</b>

## Pod: Townhomes - 50 Units

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	1590	\$ 25	\$ 39,750
6" PVC Laterals (LF)	1000	\$ 15	\$ 15,000
Wyes (One Per Unit)	50	\$ 120	\$ 6,000
Manholes	10	\$ 1,500	\$ 15,000
		<b>Subtotal</b>	<b>\$ 75,750</b>
<b>Water</b>			
Taps	5	\$ 500	\$ 2,500
Valve	5	\$ 300	
Water Meter	50	\$ 500	\$ 25,000
8" Service Line	1090	\$ 52	\$ 56,680
3/4" Service Line (Residential)	500	\$ 3	\$ 1,250
		<b>Subtotal</b>	<b>\$ 85,430</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	1100	\$ 55	\$ 60,500
Storm Structures (MH and Cover)	9	\$ 1,500	\$ 13,500
Detention Facility	4	\$ 30,000	\$ 120,000
		<b>Subtotal</b>	<b>\$ 194,000</b>

# Appendix

<b>Hardscape</b>			
Curb & Gutter (LF)	4400	\$ 12	\$ 52,800
Driveways (SF)	48000	\$ 3	\$ 144,000
4" Sidewalks (SF) (To street)	3000	\$ 4	\$ 12,000
Street Lighting	14	\$ 3,000	\$ 42,000
Fencing (LF) - Perimeter	2500	\$ 8	\$ 20,000
Fencing (LF) - Ornamental	1200	\$ 40	\$ 48,000
		<b>Subtotal</b>	<b>\$ 318,800</b>
		<b>Site Subtotal</b>	<b>\$ 673,980</b>
Landscape Material	50	\$ 2,500	\$ 125,000
		<b>Site Total</b>	<b>\$ 798,980</b>
<b>Buildings</b>			
Residential (SF)	100000	\$ 75	\$ 7,500,000
		<b>Subtotal</b>	<b>\$ 7,500,000</b>
		<b>Pod Total</b>	<b>\$ 8,298,980</b>

		<b>Catalyst Subtotal</b>	<b>\$ 12,719,150</b>
Architectural Fees - Residential	67	\$ 3,000	\$ 201,000
Engineering Fees	\$ 2,669,150	10%	\$ 266,915
Consultant Fees - Surveying, Enviromental, Development	\$ 2,669,150	15%	\$ 400,373
<b>Contingency</b>	\$ 12,719,150	20%	\$ 2,543,830
		<b>Catalyst Total</b>	<b>\$ 16,131,268</b>

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# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04 (Revised)

Catalyst Name: Booker Washington Heights

Catalyst Number: 3-4 & 3-5

Appendix

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	7200	\$ 20	\$ 144,000
		<b>Subtotal</b>	<b>\$ 144,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
8" DIP (LF)	3000	\$ 35	\$ 105,000
Manholes	15	\$ 1,500	\$ 22,500
		<b>Subtotal</b>	<b>\$ 127,500</b>
<b>Water</b>			
T-Connections	10	\$ 500	\$ 5,000
Fire Hydrants	6	\$ 800	\$ 4,800
8" DIP Service Line	3400	\$ 50	\$ 170,000
Valves	10	\$ 300	\$ 3,000
		<b>Subtotal</b>	<b>\$ 182,800</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	1800	\$ 55	\$ 99,000
Storm Structures (MH and Cover)	20	\$ 1,500	\$ 30,000
Headwall	2	\$ 500	\$ 1,000
		<b>Subtotal</b>	<b>\$ 130,000</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	7200	\$ 12	\$ 86,400
Asphalt (SF)	86000	\$ 3	\$ 258,000
5' Sidewalks (SF)	36000	\$ 4	\$ 144,000
Street Lighting (1 per 100 lf)	72	\$ 3,000	\$ 216,000
Street Trees (1 per 30 lf)	240	\$ 500	\$ 120,000
		<b>Subtotal</b>	<b>\$ 824,400</b>
		<b>Street Subtotal</b>	<b>\$ 1,408,700</b>
Landscape Material	\$ 1,408,700	20%	\$ 281,740
		<b>Street Total</b>	<b>\$ 1,690,440</b>

### Demolition

Item	Quantity	Item Cost	Total Cost
Buildings	36	\$ 5,000	\$ 180,000
Acreage (Cleared & Grubbed)	10	\$ 6,000	\$ 60,000
		<b>Total</b>	<b>\$ 240,000</b>

### Pod: Single Family- 53 Units (49 Houses & 4 Duplex)

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Suntotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
6" PVC Laterals (LF)	2100	\$ 15	\$ 31,500
Wyes (One Per Unit)	49	\$ 120	\$ 5,880
		<b>Subtotal</b>	<b>\$ 37,380</b>

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<b>Water</b>			
Taps	49	\$ 500	\$ 24,500
Water Meter	49	\$ 500	\$ 24,500
3/4" Service Line (Residential)	2100	\$ 8	\$ 16,800
		<b>Subtotal</b>	<b>\$ 65,800</b>
<b>Hardscape</b>			
Driveways (SF)	38000	\$ 2	\$ 85,500
4' Sidewalks (SF)	3200	\$ 4	\$ 12,800
Fencing (LF) - Perimeter	7500	\$ 9	\$ 67,500
Fencing (LF) - Ornamental	5300	\$ 30	\$ 159,000
		<b>Subtotal</b>	<b>\$ 324,800</b>
		<b>Site Subtotal</b>	<b>\$ 427,980</b>
Landscape Material	53	\$ 3,000	\$ 159,000
		<b>Site Total</b>	<b>\$ 586,980</b>
<b>Buildings</b>			
Residential (SF)	82000	\$ 75	\$ 6,150,000
		<b>Subtotal</b>	<b>\$ 6,150,000</b>
		<b>Pod Total</b>	<b>\$ 6,736,980</b>

## Pod: Townhomes - 20 Units

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	550	\$ 25	\$ 13,750
6" PVC Laterals (LF)	600	\$ 15	\$ 9,000
Wyes	20	\$ 120	\$ 2,400
Manholes	5	\$ 1,500	\$ 7,500
		<b>Subtotal</b>	<b>\$ 32,650</b>
<b>Water</b>			
Taps	3	\$ 500	\$ 1,500
Valve	3	\$ 300	\$ 900
Water Meter	20	\$ 500	\$ 10,000
8" DIP Service Line (LF)	600	\$ 50	\$ 30,000
3/4" Service Line (LF)	200	\$ 8	\$ 1,600
		<b>Subtotal</b>	<b>\$ 43,100</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	300	\$ 55	\$ 16,500
Storm Structures (MH and Cover)	4	\$ 1,500	\$ 6,000
Headwall	1	\$ 500	\$ 500
Detention	1	\$ 30,000	\$ 30,000
		<b>Subtotal</b>	<b>\$ 53,000</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	1130	\$ 12	\$ 13,560
Driveways (SF)	17000	\$ 3	\$ 51,000
4' Sidewalks (SF) (To street)	1200	\$ 4	\$ 4,800
Street Lighting	5	\$ 3,000	\$ 15,000
Fencing (LF) - Perimeter	1380	\$ 9	\$ 12,420
Fencing (LF) - Ornamental	230	\$ 40	\$ 9,200
		<b>Subtotal</b>	<b>\$ 105,980</b>
		<b>Site Subtotal</b>	<b>\$ 234,730</b>

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Landscape Material	20	\$ 2,500	\$ 50,000
		<b>Site Total</b>	<b>\$ 284,730</b>
<b>Buildings</b>			
Residential (SF)	40000	\$ 75	\$ 3,000,000
		<b>Subtotal</b>	<b>\$ 3,000,000</b>
		<b>Pod Subtotal</b>	<b>\$ 3,284,730</b>
		<b>Catalyst Subtotal</b>	<b>\$ 11,952,150</b>
Architectural Fees - Residential	73	\$ 3,000	\$ 219,000
Engineering Fees	\$ 2,802,150	10%	\$ 280,215
Consultant Fees - Surveying, Enviromental, Development	\$ 2,802,150	15%	\$ 420,323
<b>Contingency</b>	\$ 11,952,150	20%	\$ 2,390,430
		<b>Catalyst Total</b>	<b>\$ 15,262,118</b>

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# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04(Revised)

Catalyst Name: Chestnut St

Catalyst Number: 4-5

Appendix

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	1300	\$ 20	\$ 26,000
		<b>Subtotal</b>	<b>\$ 26,000</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	1300	\$ 12	\$ 15,600
5' Sidewalks (SF)	6500	\$ 4	\$ 26,000
Street Lighting (1 per 100 lf)	20	\$ 3,000	\$ 60,000
Street Trees (1 per 30 lf)	40	\$ 500	\$ 20,000
		<b>Subtotal</b>	<b>\$ 121,600</b>
		<b>Street Subtotal</b>	<b>\$ 147,600</b>
Landscape Material	\$ 147,600	20%	\$ 29,520
		<b>Street Total</b>	<b>\$ 177,120</b>

### Pod: Mixed Use (60,000 sf)

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Buildings	30	\$ 5,000	\$ 150,000
Acreage (Cleared & Grubbed)	4	\$ 6,000	\$ 24,000
		<b>Subtotal</b>	<b>\$ 174,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	<b>?</b>
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	460	\$ 20	\$ 9,200
6" PVC Laterals (LF)	260	\$ 15	\$ 3,900
Manholes	2	\$ 1,500	\$ 3,000
		<b>Subtotal</b>	<b>\$ 16,100</b>
<b>Water</b>			
Taps	1	\$ 500	\$ 500
Water Meter (Commercial)	4	\$ 800	\$ 3,200
8" DIP Service Line	400	\$ 50	\$ 20,000
3" Service Line (LF) (Commercial)	80	\$ 12	\$ 960
		<b>Subtotal</b>	<b>\$ 24,660</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	1100	\$ 55	\$ 60,500
Storm Structures (MH and Cover)	13	\$ 1,500	\$ 19,500
Detention Facility	1	\$ 20,000	\$ 20,000
		<b>Subtotal</b>	<b>\$ 100,000</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	1800	\$ 12	\$ 21,600
Asphalt (SF)	50000	\$ 3	\$ 150,000
Sidewalks (SF) (Internal)	11000	\$ 4	\$ 44,000
Street Lighting	10	\$ 3,000	\$ 30,000
		<b>Subtotal</b>	<b>\$ 245,600</b>
		<b>Site subtotal</b>	<b>\$ 560,360</b>
Landscape Material (Building SF)	60000	\$ 2	\$ 120,000
		<b>Site Total</b>	<b>\$ 680,360</b>

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<b>Buildings</b>			
Mixed Use (SF)	60000	\$ 90	\$ 5,400,000
		<b>Subtotal</b>	<b>\$ 5,400,000</b>
		<b>Pod Total</b>	<b>\$ 6,080,360</b>

		<b>Catalyst Subtotal</b>	<b>\$ 6,257,480</b>
Architectural Fees - Mixed -Use	\$ 5,400,000	10%	\$ 540,000
Engineering Fees	\$ 857,480	10%	\$ 85,748
Consultant Fees - Surveying, Enviromental, Development	\$ 857,480	15%	\$ 128,622
<b>Contingency</b>	\$ 6,257,480	20%	\$ 1,251,496
		<b>Catalyst Total</b>	<b>\$ 8,263,346</b>

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# Appendix

## East Central City Consortium - Preliminary Cost Estimates

Date: 04/21/04 (Revised)

Catalyst Name: Wiley St

Catalyst Number: 5-1

Appendix

### Street Rehab

Item	Quantity	Item Cost	Total Cost
<b>Demolition</b>			
Streets (LF)	3000	\$ 20	\$ 60,000
		<b>Subtotal</b>	<b>\$ 60,000</b>
<b>Earthwork</b>			
		<b>Subtotal</b>	
<b>Sanitary Sewer</b>			
8" DIP (LF)	2800	\$ 35	\$ 98,000
Manholes	18	\$ 1,500	\$ 27,000
		<b>Subtotal</b>	<b>\$ 125,000</b>
<b>Water</b>			
T-Connections	8	\$ 500	\$ 4,000
Fire Hydrants	7	\$ 1,000	\$ 7,000
8" DIP Service Line	3600	\$ 50	\$ 180,000
Valves	17	\$ 300	\$ 5,100
		<b>Subtotal</b>	<b>\$ 196,100</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	1500	\$ 55	\$ 82,500
Storm Structures (MH and Cover)	20	\$ 1,500	\$ 30,000
		<b>Subtotal</b>	<b>\$ 112,500</b>
<b>Hardscape</b>			
Curb & Gutter (LF)	5600	\$ 12	\$ 67,200
Asphalt (SF)	94000	\$ 3	\$ 282,000
5' Sidewalks (SF)	28000	\$ 4	\$ 112,000
Street Lighting (1 per 100 lf)	60	\$ 3,000	\$ 180,000
Street Trees (1 per 30 lf)	190	\$ 500	\$ 95,000
		<b>Subtotal</b>	<b>\$ 736,200</b>
		<b>Street Subtotal</b>	<b>\$ 1,229,800</b>
Landscape Material	\$ 1,229,800	20%	\$ 245,960
		<b>Street Total</b>	<b>\$ 1,475,760</b>

### Site Demolition

Item	Quantity	Item Cost	Total Cost
Buildings	45	\$ 5,000	\$ 225,000
Acreage (Cleared & Grubbed)	14	\$ 6,000	\$ 84,000
		<b>Total</b>	<b>\$ 309,000</b>

### Pod: Parks

Item	Quantity	Item Cost	Total Cost
Park Trees	20	\$ 500	\$ 10,000
Park Sidewalk(SF)	300	\$ 5	\$ 1,350
		<b>Park Subtotal</b>	<b>\$ 11,350</b>
Landscape Material	11350	50%	\$ 5,675
		<b>Park Total</b>	<b>\$ 17,025</b>

# Appendix

**Pod:Single Family - 27 Units (25 Homes & 2 Duplexes)**

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			?
		<b>Subtotal</b>	?
<b>Sanitary Sewer</b>			
6" PVC Laterals	1080	\$ 20	\$ 21,600
Wyes (One Per Unit)	27	\$ 120	\$ 3,240
		<b>Subtotal</b>	<b>\$ 24,840</b>
<b>Water</b>			
Taps	27	\$ 500	\$ 13,500
Water Meter	27	\$ 500	\$ 13,500
3/4" Service Line	1080	\$ 8	\$ 8,640
		<b>Subtotal</b>	<b>\$ 35,640</b>
<b>Hardscape</b>			
Driveways (SF)	20000	\$ 3	\$ 60,000
4" Sidewalks (SF) (To street)	1650	\$ 4	\$ 6,600
Fencing (LF) - Perimeter	4100	\$ 8	\$ 32,800
Fencing (LF) - Ornamental	270	\$ 20	\$ 5,400
		<b>Subtotal</b>	<b>\$ 104,800</b>
		<b>Site Subtotal</b>	<b>\$ 165,280</b>
Landscape Material	27	\$ 3,000	\$ 81,000
		<b>Site Total</b>	<b>\$ 246,280</b>
<b>Buildings</b>			
Residential (SF)	48000	\$ 75	\$ 3,600,000
		<b>Subtotal</b>	<b>\$ 3,600,000</b>
		<b>Pod Total</b>	<b>\$ 3,846,280</b>

**Pod:Patihomes (36 Units)**

Item	Quantity	Item Cost	Total Cost
<b>Earthwork</b>			?
		<b>Subtotal</b>	?
<b>Sanitary Sewer</b>			
8" PVC Line (LF)	900	\$ 25	\$ 22,500
6" PVC Laterals (LF)	900	\$ 15	\$ 13,500
Wyes (One Per Unit)	36	\$ 120	\$ 4,320
Manholes	6	\$ 1,500	\$ 9,000
		<b>Subtotal</b>	<b>\$ 49,320</b>
<b>Water</b>			
Taps	2	\$ 500	\$ 1,000
Valve	2	\$ 300	
Water Meter	36	\$ 500	\$ 18,000
8" Service Line	900	\$ 52	\$ 46,800
3/4" Service Line (Residential)	900	\$ 3	\$ 2,700
		<b>Subtotal</b>	<b>\$ 68,500</b>
<b>Storm Sewer</b>			
Storm Pipe (LF) (Avg 30")	650	\$ 55	\$ 35,750
Storm Structures (MH and Cover)	6	\$ 1,500	\$ 9,000
Detention Facility	1	\$ 20,000	\$ 20,000
		<b>Subtotal</b>	<b>\$ 64,750</b>

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<b>Hardscape</b>			
Curb & Gutter (LF)	1500	\$ 12	\$ 18,000
Driveways (SF)	35000	\$ 3	\$ 105,000
4" Sidewalks (SF) (To street)	2200	\$ 4	\$ 8,800
Street Lighting	10	\$ 3,000	\$ 30,000
Fencing (LF) - Perimeter	400	\$ 8	\$ 3,200
Fencing (LF) - Ornamental	500	\$ 40	\$ 20,000
		<b>Subtotal</b>	<b>\$ 185,000</b>
		<b>Site Subtotal</b>	<b>\$ 367,570</b>
Landscape Material	36	\$ 2,500	\$ 90,000
		<b>Site Total</b>	<b>\$ 457,570</b>
<b>Buildings</b>			
Residential (SF)	72000	\$ 75	\$ 5,400,000
		<b>Subtotal</b>	<b>\$ 5,400,000</b>
		<b>Pod Total</b>	<b>\$ 5,857,570</b>

		<b>Catalyst Subtotal</b>	<b>\$ 11,505,635</b>
Architectural Fees - Residential	63	\$ 3,000	\$ 189,000
Engineering Fees	\$ 2,505,635	10%	\$ 250,564
Consultant Fees - Surveying, Enviromental, Development	\$ 2,505,635	15%	\$ 375,845
<b>Contingency</b>	\$ 11,505,635	20%	\$ 2,301,127
		<b>Catalyst Total</b>	<b>\$ 14,622,171</b>

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