



PLANNING COMMISSION

May 3, 2021

Virtual Meeting Using Video Conferencing Technology, Columbia, SC

**SITE PLAN REVIEW CASE SUMMARY
2100 WAVERLY STREET, TMS#11505-08-01
CARVER LYON ELEMENTARY SCHOOL**

- Council District:** 2
- Proposal:** Request site plan approval for the construction of a 30,000 sq. ft. classrooms and associated offices addition.
- Applicant:** Raymond Perkins, Richland School District One
- Proposed Use:** Elementary School
- Staff Recommendation:** Approval with staff comments.

Detail: This project entails the construction of a ±30,000 sq. ft. addition to an existing elementary school that will be utilized for classrooms (18) and associated offices. The site contains 9.35 acres and the parking lot will be expanded to accommodate the addition. The addition is located on the north side of the existing building and the construction will match the existing building.

Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.

CITY REVIEWING AGENCY COMMENTS

Lucinda Statler, Planning	Recommend approval.
Rachel Bailey, Zoning Administrator	Recommend approval with condition: 1. Approved with condition that the Board of Zoning Appeals approve the Special Exception.
Johnathan Chambers, Land Development Administrator	Recommend approval.
Todd Beiers, Commercial Plans Examiner	Recommend approval with condition: 1. Compliance with all applicable building code requirements.
Scott Rogers, Utilities	Recommend approval with conditions: 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer and must meet the City’s minimum design standards. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4” or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and

	<p>written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly suggested.</p> <p>4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible.</p>
Andrew Ritter, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Caleb King, Forestry	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> 1. Any new landscaping or irrigation installed in the right of way must be approved by Forestry and Beautification for species and spacing and maintained by the adjacent property owner in a manner to not interfere with vehicular and pedestrian traffic. SCDOT must approve any new landscaping installed along SCDOT roadways.
Maranda Staples, Stormwater	Recommend approval.
Elle Matney, Parking	Recommend approval.
Robert Sweatt, Street Division	Recommend approval.
Samantha Yager, Solid Waste	Recommend approval.
Scott Holder, Landscaping	Recommend approval.

City of Columbia

Carver Lyon Elementary



Wednesday, April 7, 2021



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We Are Columbia

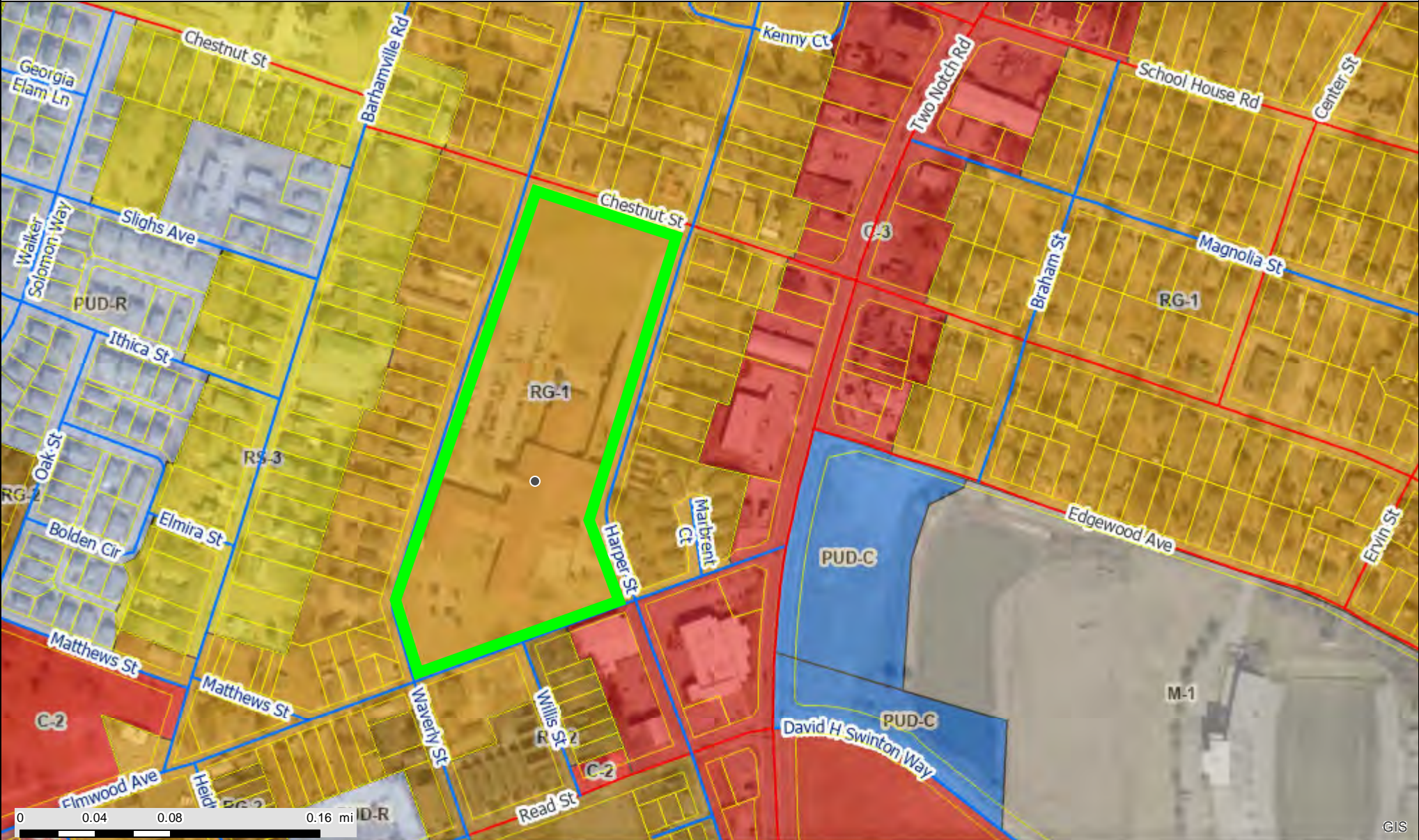


City of Columbia

Carver Lyon Elementary



Wednesday, April 7, 2021



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We Are Columbia





City of Columbia

APPLICATION for

SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Raymond Perkins	Company:	Richland School District One
Tel. #:	803.231.7057	Fax#:	
Mobile #:		E-mail:	raymond.perkins@richlandone.org

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency

2) THIS APPLICATION IS FOR (Check all that apply)

Group/Individual Commercial Development

Group Residential Development

Residential Subdivision

Planned Unit Development Site Review

Street Name(s)

3) PROPERTY

Address:	2100 Waverly St		
TMS#:	R11505-08-01	Total Acreage:	9.35 +/-
Current Use:	Elementary School	Proposed Use:	Elementary School
Current Zoning:	RG-2		
Number of Lots and/or Units:	1	Total Sq. Ft.	76,775 SF existing + 30,600 SF addition

4) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

Carver Lyon Elementary School does not have sufficient classroom space for current and projected student enrollment. The proposed project is a 30,000 SF addition, connected to the existing building, containing 18 classrooms and associated support spaces. The addition will be located at the north side of the existing school. Similar building materials including brick, split face block, and standing seam metal roofing will be used to blend the addition in with the existing campus.


5) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

6) PLAN SUBMITTAL

Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

7) SIGNATURE

Applicant Signature:	
Print Name:	Raymond Perkins
Date:	3/31/2021

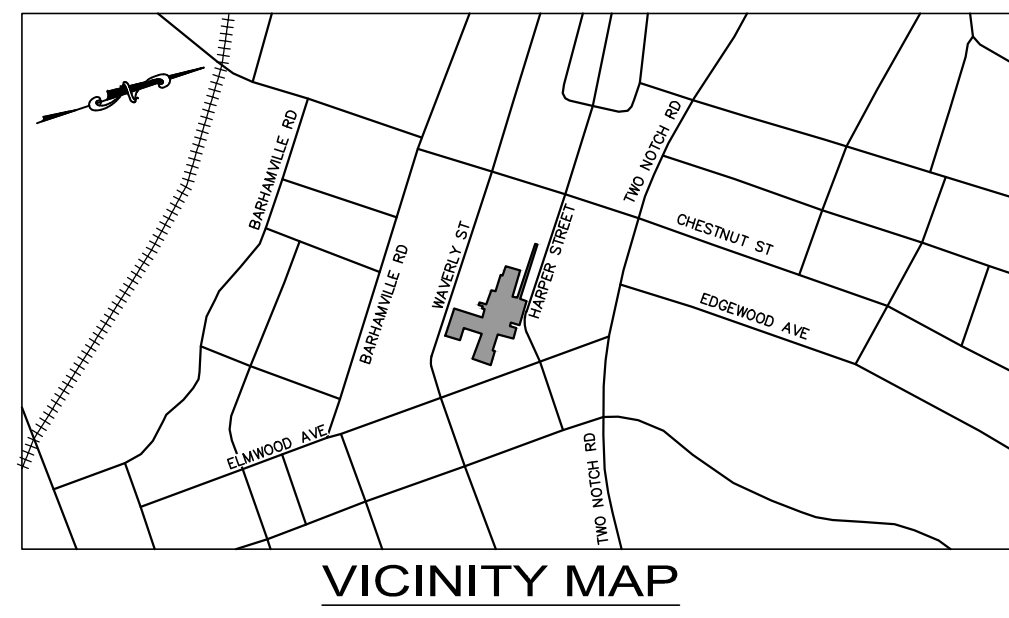
PC Date: _____

Action: _____

OWNER/ZONING/SITE INFORMATION	
ITEM	DESCRIPTION
TMS #	R11505-08-01
OWNER	RICHLAND SCHOOL DISTRICT ONE
OWNER ADDRESS	1616 RICHLAND ST
OWNER PHONE	803-231-7047
OWNER EMAIL	ANTHONY.COOPER@RICHLANDONE.ORG
ZONING	RC-2
SITE ADDRESS	2100 WAVERLY ST, COLUMBIA, SC 29201
TOTAL ACREAGE	9.35±
DISTURBED ACREAGE	0.25
SETBACKS	FRONT=10', SIDE=10', REAR=30'

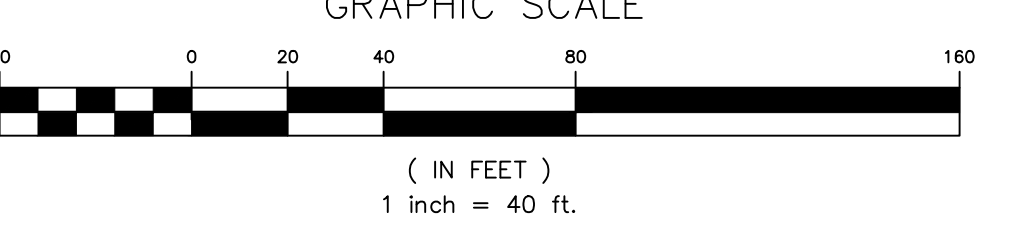
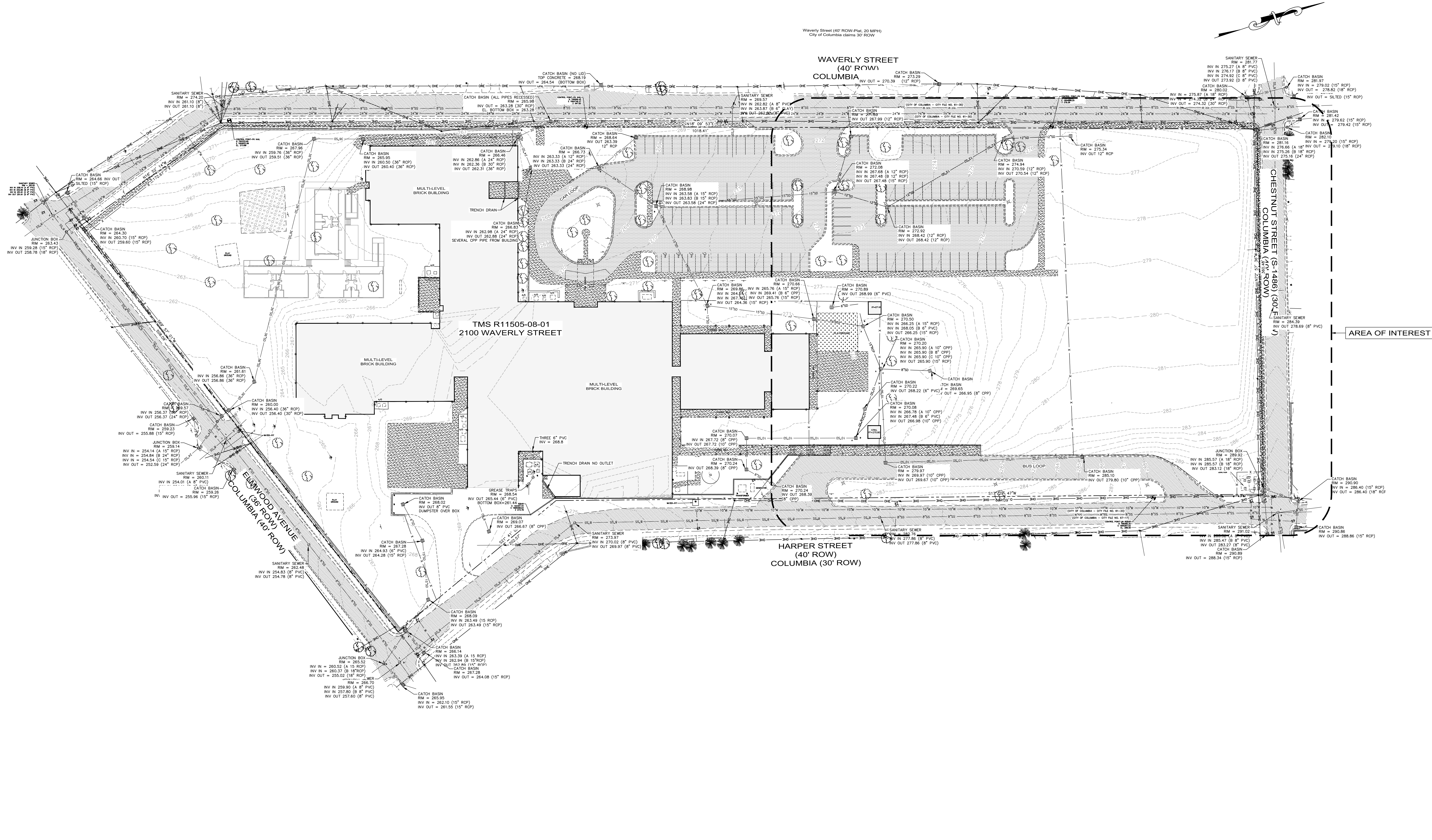
- GENERAL NOTES**
- TOPOGRAPHIC SURVEY WAS COMPLETED BY SURVEY ONE ON 03/13/20. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY ADC. ENGINEERING. THE SURVEY REFLECTED ON THIS AND SUBSEQUENT SHEETS HAS BEEN SUPPLEMENTED WITH INFORMATION FROM THE ORIGINAL DESIGN PLANS PREPARED BY STEVENS & WILKINSON DATED 3/27/98 TITLED "LYON ST./CARVER ELEMENTARY SCHOOL".
 - ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0244L, DATED 12/21/2017, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
 - THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
 - THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

LEGEND	
EXISTING	DESCRIPTION
	BENCHMARK/CONTROL POINT
	PROPERTY LINE
	BUILDING
	LIGHT POLE
	TREE
	BITUMINOUS SURFACE
	CONCRETE SURFACE
	GRAVEL SURFACE
	RUBBERIZED SURFACE
	CONTOUR
	SPOT ELEVATION
	CHAIN LINK FENCE
	WATER VALVE
	WATER METER
	UNDERGROUND ELECTRIC LINE w/LIGHT POLE
	SANITARY SEWER LINE w/MANHOLE
	SANITARY SEWER CLEANOUT
	STORM DRAIN LINE w/STRUCTURE
	KEY NOTE REFERENCE
	BUILDING SETBACK/BUFFER



7625 BROAD RIVER ROAD
SUITE 300
IRMO, SC 29063
803-332-7080
ADCENGINEERING.COM
ADC PROJECT # XXXX

ADC ENGINEERING



QUACKENBUSH ARCHITECTS + PLANNERS
1217 HAMPTON | COLUMBIA, SC | 803.771.2999 | quackenbusharchitects.com

PROJECT TITLE: **NEST FOR CONSTRUCTION**

PHASE: PRELIMINARY

ISSUE DATE: XXXX/2018
PROJECT NO.: 18618

REVISION: _____ DATE: _____

TITLE: **OVERALL EXISTING CONDITIONS PLAN**

SHEET NO: **C1.1**

S:\PROJECTS\19154_CARVER_ELEM_ELEMENTARY_SCHOOL_DRAWINGS\Civil\2100101\19154_CARVER_ELEM_75%_DD_PLANSET.DWG - 3/30/2021

GENERAL NOTES

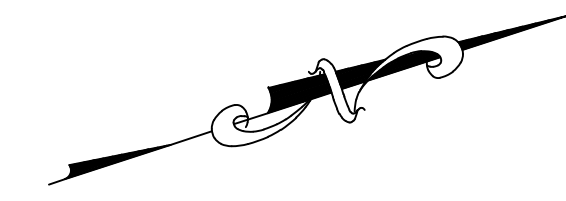
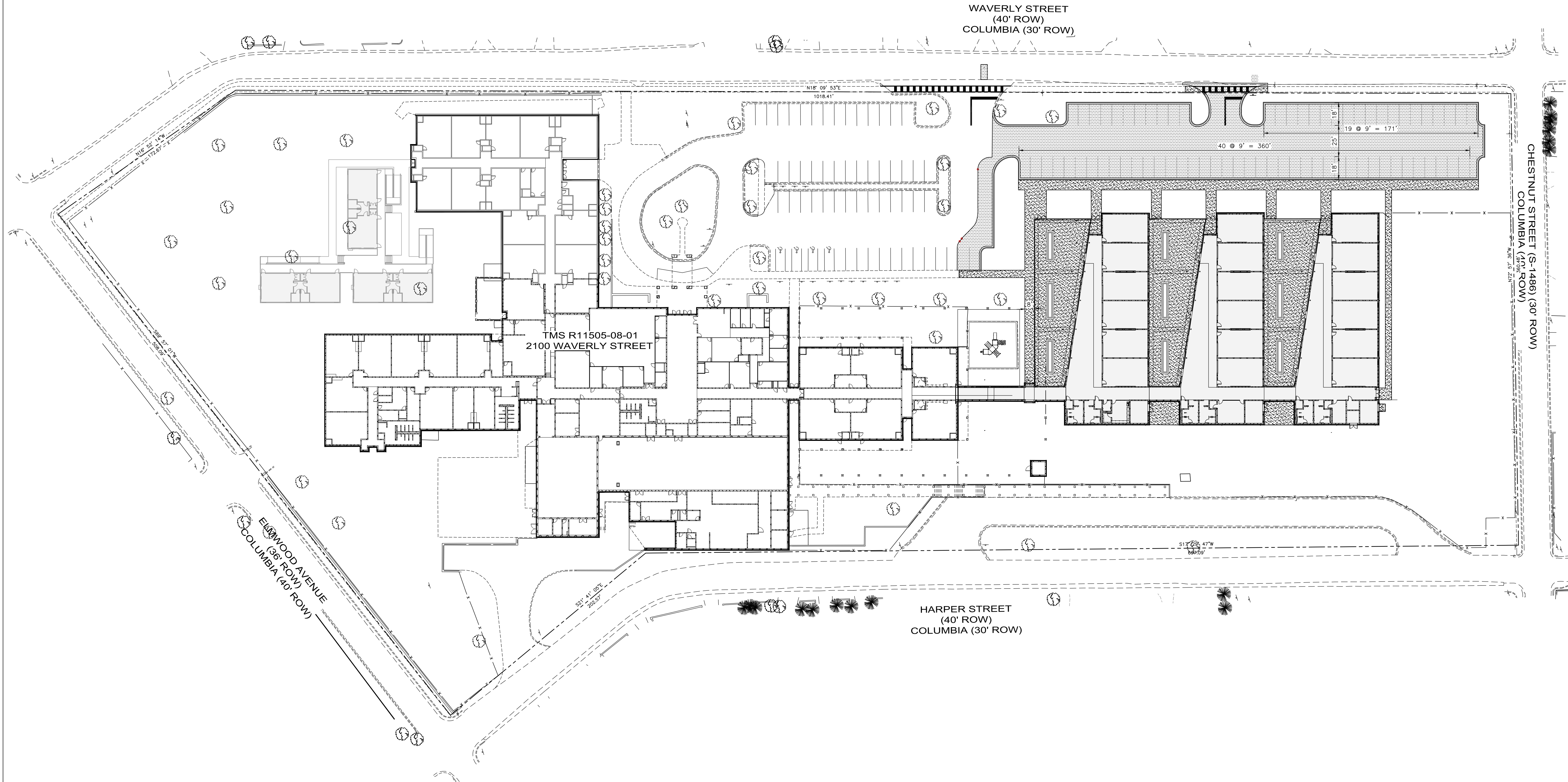
1. SEE SHEET C1.1 FOR ADDITIONAL GENERAL NOTES.

LEGEND

NEW	EXISTING	DESCRIPTION
N/A	⊕	BENCHMARK/CONTROL POINT
N/A	⌘	BUILDING
N/A	⌘	CURB AND GUTTER
▨	▨	LIGHT DUTY CONCRETE PAVEMENT
▨	▨	LIGHT DUTY ASPHALT PAVEMENT
⊙	N/A	KEY NOTE REFERENCE
○	N/A	CHAIN LINK FENCE
---	N/A	BUILDING SETBACK/BUFFER

7225 BROAD RIVER ROAD
SUITE 300
IRMO, SC 29063
803-732-7080
ADCENGINEERING.COM
ADC PROJECT # XXXX

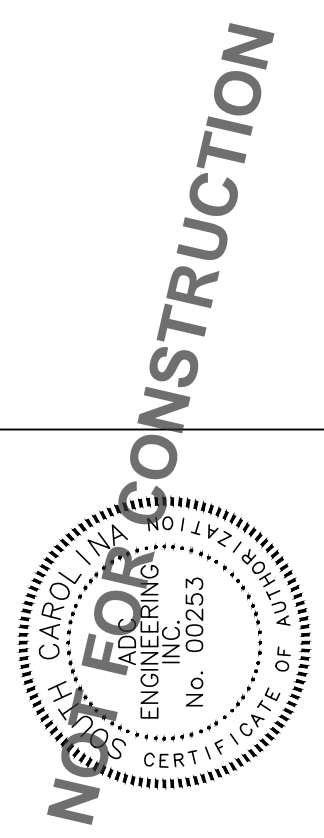
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ARE SEAL

CORPORATE SEAL

PROJECT TITLE



PHASE

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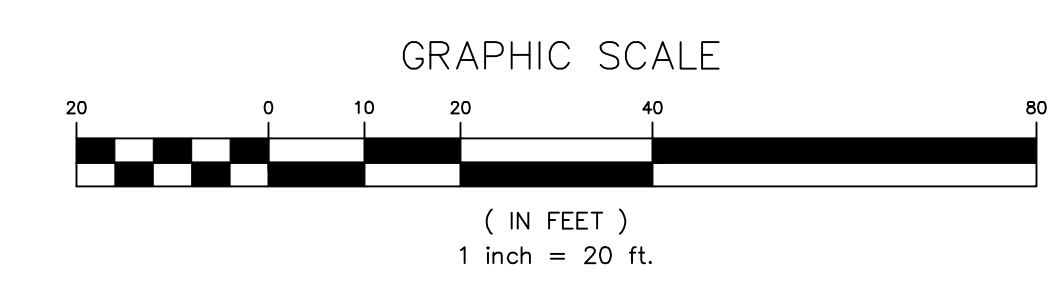
PRELIMINARY

ISSUE DATE: XXXX/2018
PROJECT NO.: 18818

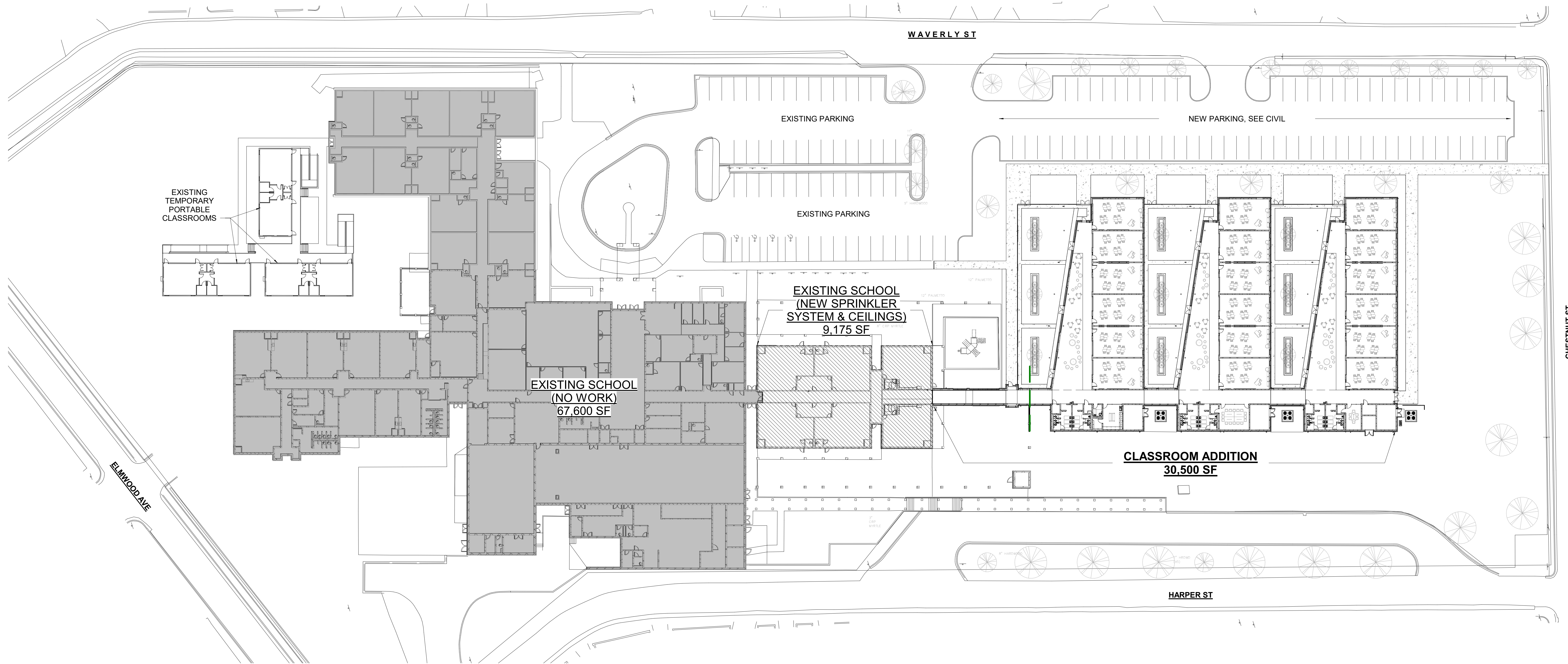
REVISION: DATE

TITLE
OVERALL STAKING PLAN

SHEET NO.
C2.1

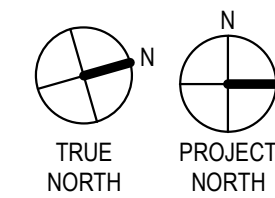


S:\PROJECTS\19154_CARER_LUMI_ELEMENTARY_SCHOOL_DRAWINGS\Civil\210320\19154_CARER_LUMI_75%_DD_PAVING.DWG - 3/31/2021



1
A-001 **OVERALL ARCHITECTURAL SITE PLAN**

SCALE: 1/32" = 1'-0"

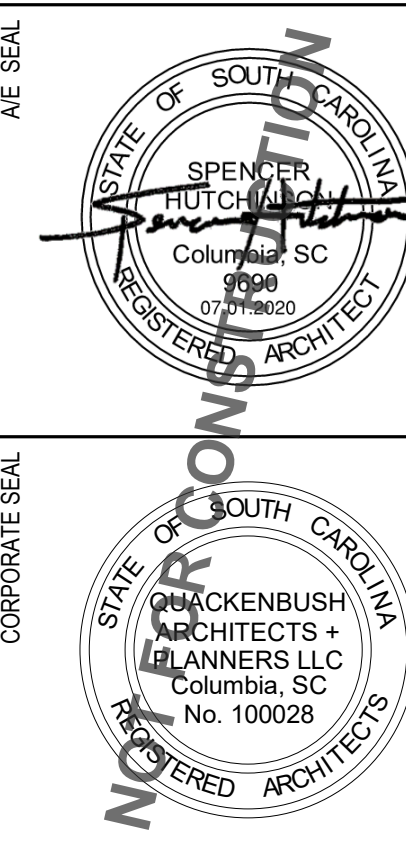


GENERAL SITE NOTES

- SEE CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL & CIVIL DIMENSIONS.
- SEE CIVIL DRAWINGS & SPECIFICATIONS FOR PAVEMENT JOINT LOCATIONS, UNLESS DIMENSIONS NOTED OTHERWISE IN ARCHITECTURAL OR LANDSCAPE DRAWINGS. IN GENERAL, JOINTS SHALL ALIGN WITH BUILDING CORNERS, COLUMN CENTER LINES, OR CENTERED ON OPENINGS.
- ALL CONCRETE SIDEWALKS TO BE BROOM FINISHED UNLESS NOTED OTHERWISE.
- SEE LANDSCAPING DRAWINGS AND SPECIFICATIONS FOR TREES, PLANTING, GROUND COVER AND IRRIGATION. TREES SHOWN DIAGRAMMATICALLY ONLY.
- PROTECT ALL EXISTING TREES AND LANDSCAPING TO REMAIN. DO NOT STORE ANY MATERIAL, VEHICLES, OR EQUIPMENT UNDER TREE CANOPIES. NOTIFY ARCHITECT PRIOR TO REMOVING ANY TREES OR LANDSCAPING.
- ALL EXISTING SIDEWALKS, BUILDINGS AND OTHER SITE APPURTENANCES SHALL REMAIN UNLESS NOTED OTHERWISE. SEE CIVIL FOR DEMOLITION SCOPE.
- COMPLETE FINISH GRADING IN ACCORDANCE WITH CIVIL DRAWINGS. FINISH GRADE AND LANDSCAPING SHALL BE A MINIMUM OF 6" BELOW THE ADJACENT FINISH FLOOR ELEVATION AND SLOPE AWAY FROM BUILDING. ENSURE THAT ALL WEIRS AND DRAINS ARE CLEAR AND UNOBSTRUCTED.
- SEE ELECTRICAL FOR SITE LIGHTING. LIGHT POLES SHALL BE CENTERED AND ALIGNED. SEE ARCHITECTURAL SITE PLAN FOR SPECIFIC DIMENSIONS FOR LIGHT POLE STAKING.
- SEE CIVIL DRAWINGS FOR EXTENT OF ALL CHAIN LINK FENCING (INCLUDING HEIGHTS) & GATES.

GENERAL CONST & PHASING NOTES

- LIMITS OF CONSTRUCTION ILLUSTRATES LOCATION OF CONSTRUCTION FENCING. PROVIDE MINIMUM OF TWO PEDESTRIAN GATES ALONG PERIMETER. CONSTRUCTION FENCE SHOWN IS DIAGRAMMATIC AND ACTUAL LOCATION AND EXTENT SHALL BE COORDINATED WITH WORK SHOWN ON CIVIL DRAWINGS, AND OWNER PRIOR TO INSTALLATION. ALL GATES SHALL BE LOCKABLE AND COPY OF KEYS SHALL BE PROVIDED TO OWNER.
- PROVIDE 6'-0" HIGH CONSTRUCTION FENCE WITH SCREEN MATERIAL - CONTINUOUS AROUND SITE SCREEN MATERIAL (80% VISIBLE BLOCKAGE, POLYETHYLENE, WATER & UV RESISTANT WITH REINFORCED BINDING AND GROMMETS ON ALL SIDES). PRIOR TO INSTALLING SUBMIT PROPOSED MATERIAL FOR APPROVAL.
- COORDINATE ACTUAL LOCATION / EXTENTS OF CONSTRUCTION LAY-DOWN AREA AND TRAILER LOCATIONS WITH OWNER PRIOR TO INSTALLING. RETURN TO EXISTING CONDITION AFTER COMPLETION OF PROJECT IF AREA IS NOT DISTURBED AS PART OF CONSTRUCTION. INSTALL 6'-0" HIGH FENCE WITH SCREEN MATERIAL AROUND AREAS.
- MAINTAIN 6'-0" WIDE WALKWAY AT EXISTING EGRESS DOORS AND EGRESS PATHS. MAINTAIN 6'-0" WIDE OPEN AREA FOR EGRESS WINDOWS.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN FIRE TRUCK ACCESS CLEAR AND FREE THROUGHOUT PROJECT, INCLUDING CLEANING REGULARLY OF MUD AND DIRT.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN DRIVES AND PARKING AREA OUTSIDE OF CONSTRUCTION ENTRANCES CLEAN OF SEDIMENT, MUD AND DEBRIS.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR OR REPLACE DAMAGE TO ADJACENT ROADS(S), PARKING LOTS, CURBS, SIDEWALKS, LANDSCAPING AND OTHER SITE APPURTENANCES TO MATCH EXISTING.
- STORAGE / STAGING AREAS SHALL BE LOCATED WITHIN THE LIMITS OF CONSTRUCTION UNLESS NOTED OTHERWISE.



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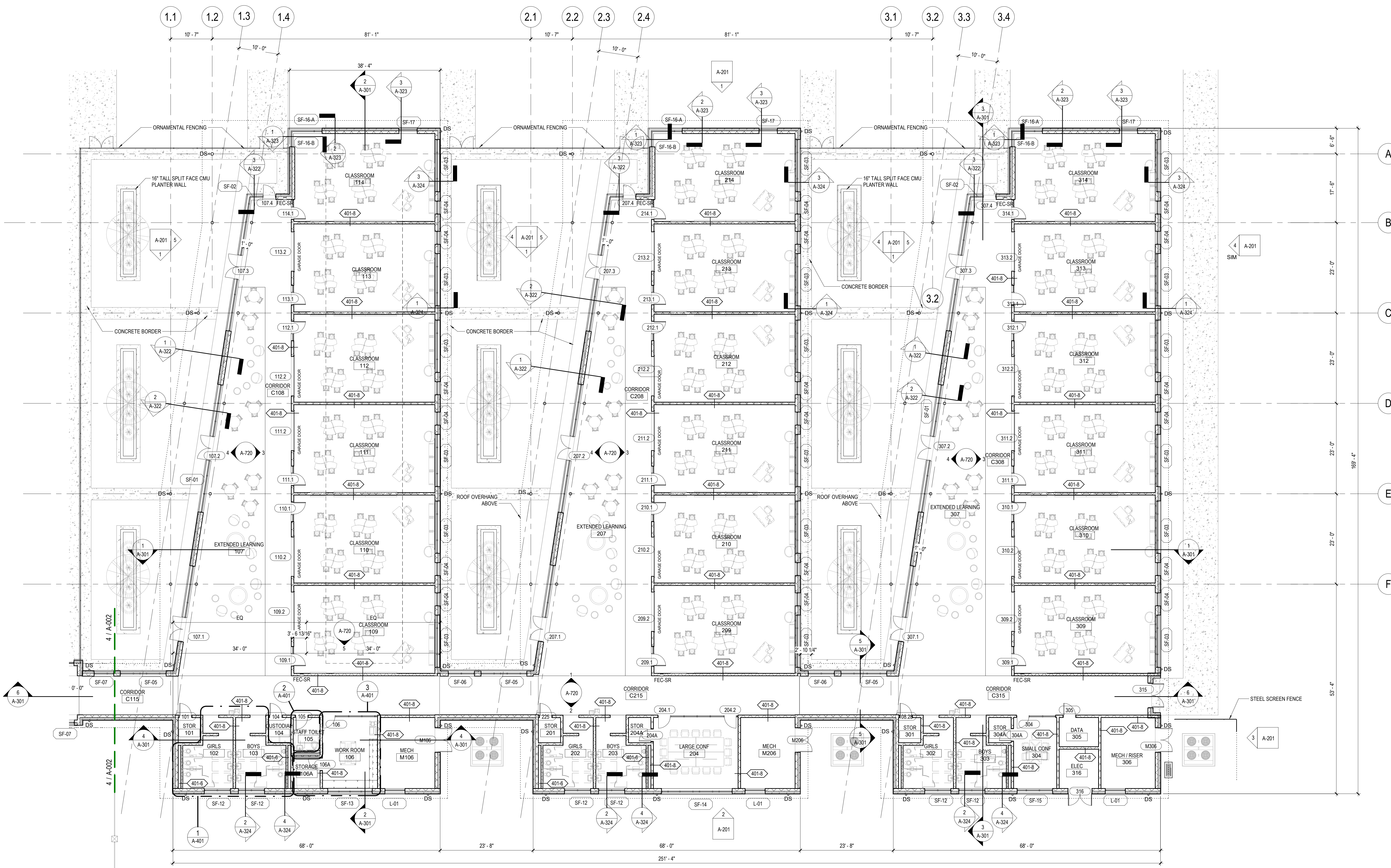
PHASE
DESIGN DEVELOPMENT

ISSUE DATE: 4/1/2021
PROJECT NO.: 19.252.00

REVISION: DATE

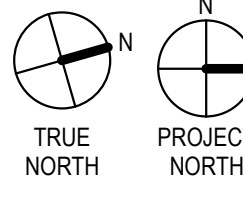
TITLE
**ARCHITECTURAL
SITE PLAN**

SHEET NO.
A-001



FIRST FLOOR PLAN - ADDITION

1 A-101 SCALE: 3/32" = 1'-0"



PARTITION TYPE KEY

PARTITION TYPE REFERENCE

CORE / STRUCTURAL MATERIAL (SPECIFICATION SECTION) → XXX-Xxx

FIRE RATING / SPECIALTY → ↑↑↑

NUMBERING SEQUENCE → ↑↑↑

NOMINAL SIZE OF CORE MATERIAL → ↑↑↑

WALL MODIFIERS → ↑↑↑

PARTITION TYPE CODING / LEGEND

CORE / STRUCTURAL MATERIAL (SPECIFICATION SECTION)	NUMBERING SEQUENCE
3 CONCRETE	D-9 SEQUENTIAL NUMBERING
4 MASONRY (CMU)	CORE MATERIAL SIZE (NOMINAL SIZE)
5 STRUCTURAL METAL STUDS	2 2 1/2" METAL STUD
6 WOOD STUDS	3 3 5/8" METAL STUD
9 METAL STUDS (NON-STRUCTURAL)	4 4" METAL STUD / CMU
	5 4" METAL STUD / CMU / CONCRETE
	6 8" METAL STUD / CMU / CONCRETE
	12 12" METAL STUD / CMU / CONCRETE

FIRE RATING / SPECIALTY	WALL MODIFIERS
0 NOT RATED	a ACOUSTIC BATTS
5 1/2 HOUR RATED	c CEMENT BOARD
1 1 HOUR RATED	m MOISTURE RESISTANT GWB
2 2 HOUR RATED	r RESILIENT CHANNELS
3 3 HOUR RATED	
S SMOKE PARTITION	
A ACOUSTIC / SOUND RATED PARTITION	

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STATE OF SOUTH CAROLINA
SPENCER HUTCHINGS
COLUMBIA, SC
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
QUACKENBUSH ARCHITECTS + PLANNERS, L.L.C.
COLUMBIA, SC
NO. 100028
REGISTERED ARCHITECTS

PROJECT TITLE
**CARVER LYON ELEMENTARY SCHOOL
CLASSROOM ADDITION**
RICHLAND SCHOOL DISTRICT ONE
210 WARELY ST. COLUMBIA, SC 29204

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DESIGN DEVELOPMENT

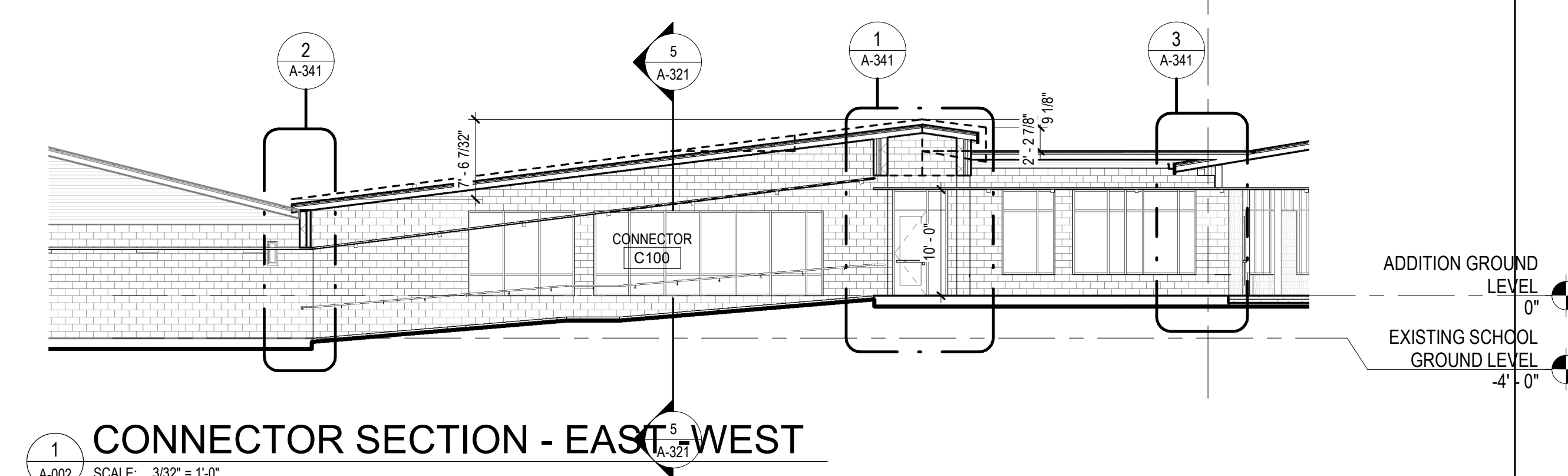
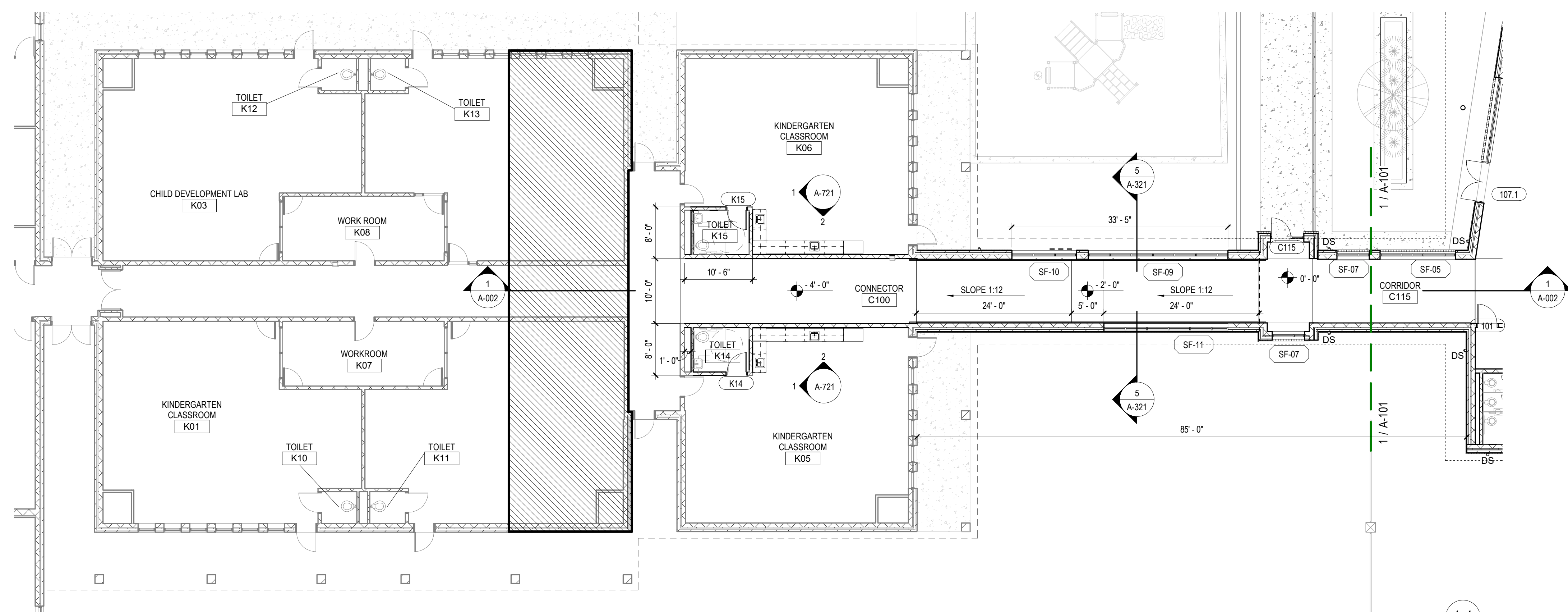
ISSUE DATE 4/1/2021
PROJECT NO. 19.252.00

REVISION DATE

TITLE
**CLASSROOM
ADDITION FLOOR
PLAN**

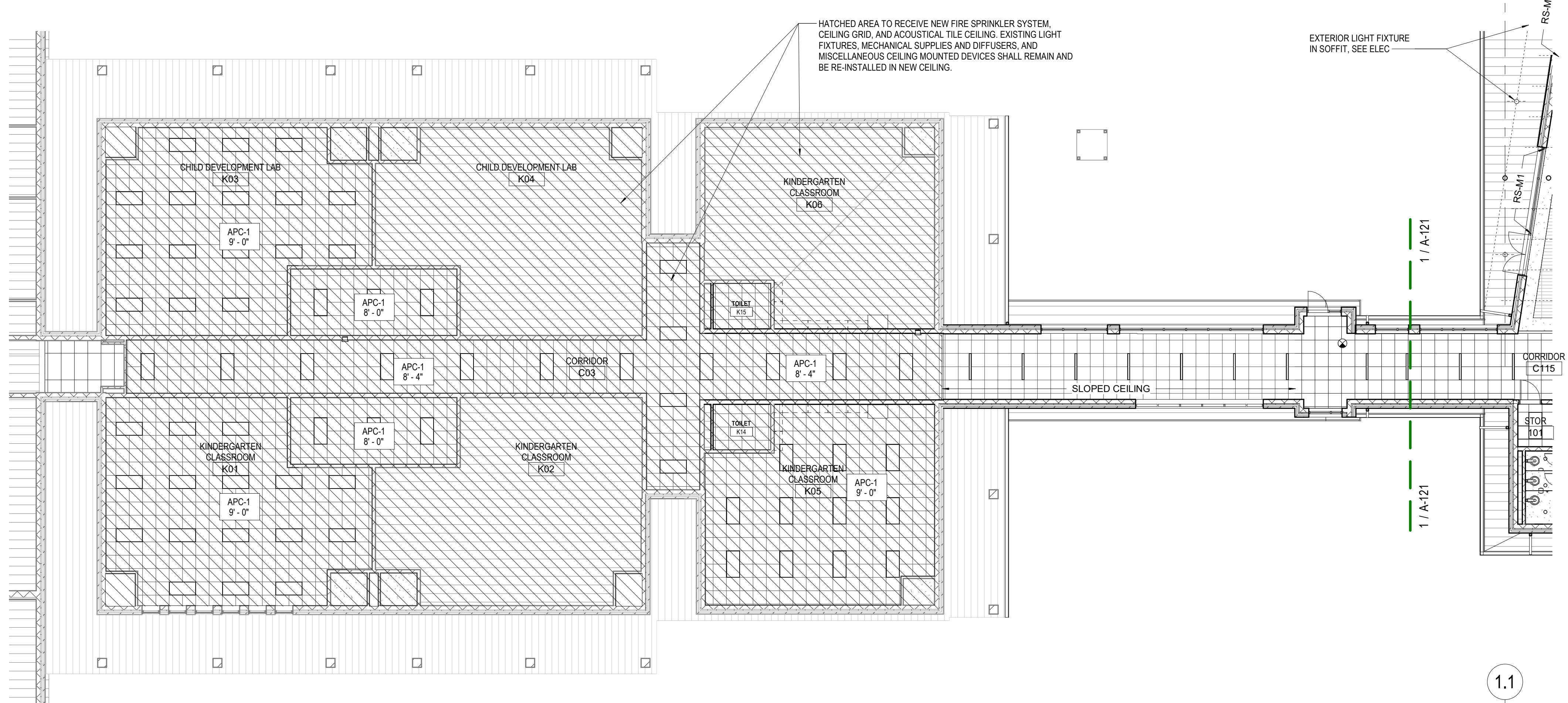
SHEET NO. **A-101**

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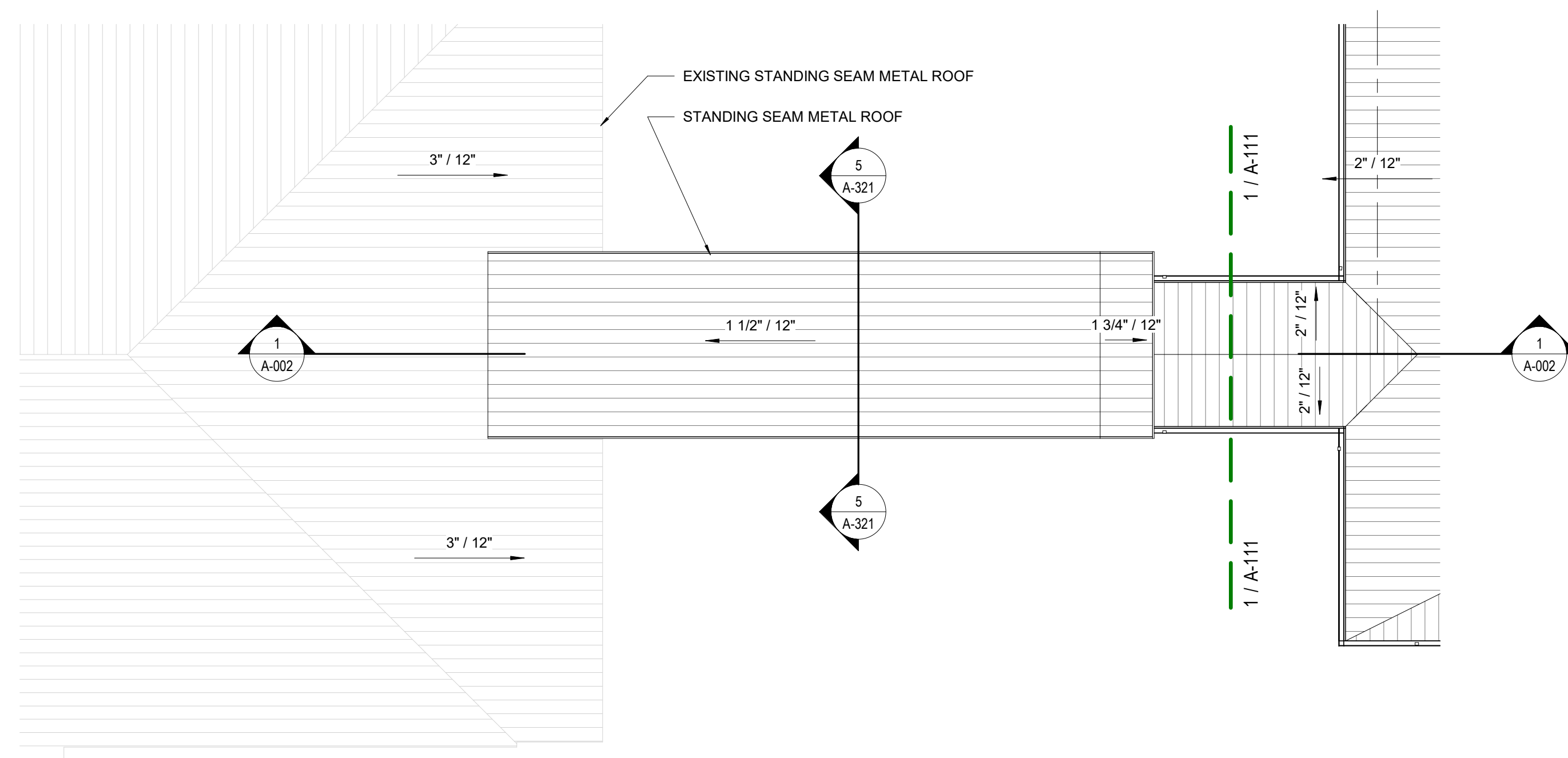


1 CONNECTOR SECTION - EAST WEST
SCALE: 3/32" = 1'-0"

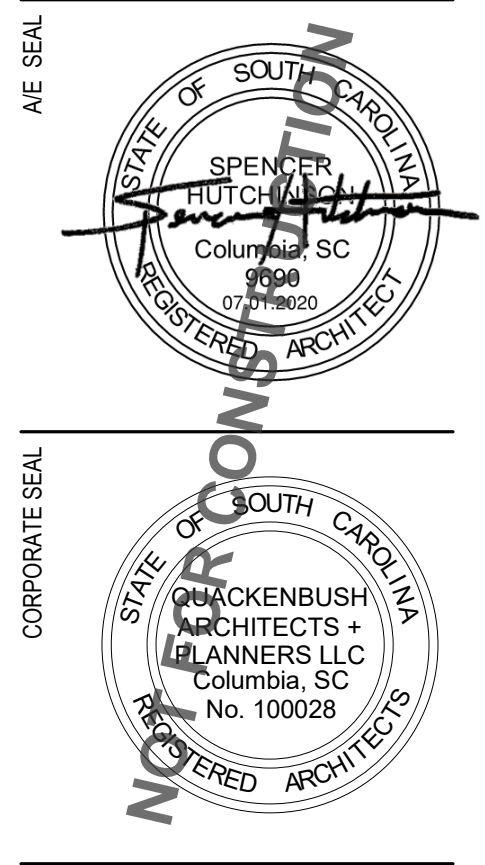
4 FIRST FLOOR PLAN - RENOVATION
SCALE: 3/32" = 1'-0"



3 REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



2 ROOF PLAN - RENOVATION AND CONNECTOR
SCALE: 3/32" = 1'-0"



PROJECT TITLE
**CARVER LYON ELEMENTARY SCHOOL
CLASSROOM ADDITION**
RICHLAND SCHOOL DISTRICT ONE
2109 WAWERLY ST COLUMBIA, SC 29204

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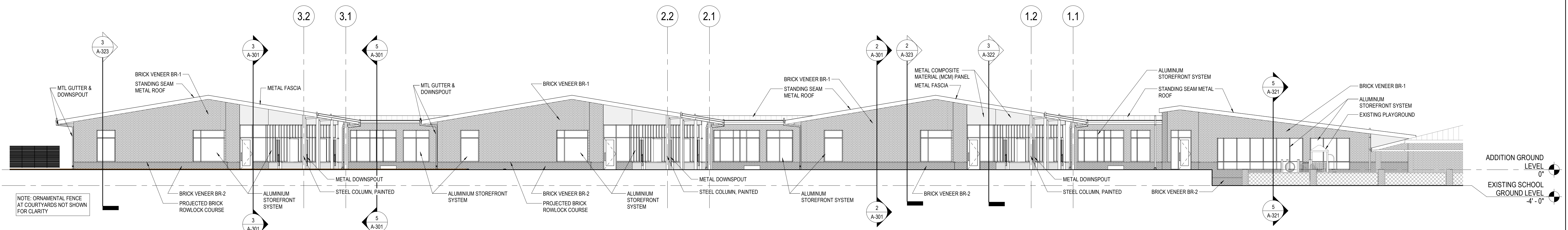
PHASE
DESIGN DEVELOPMENT

ISSUE DATE 4/1/2021
PROJECT NO. 19.252.00

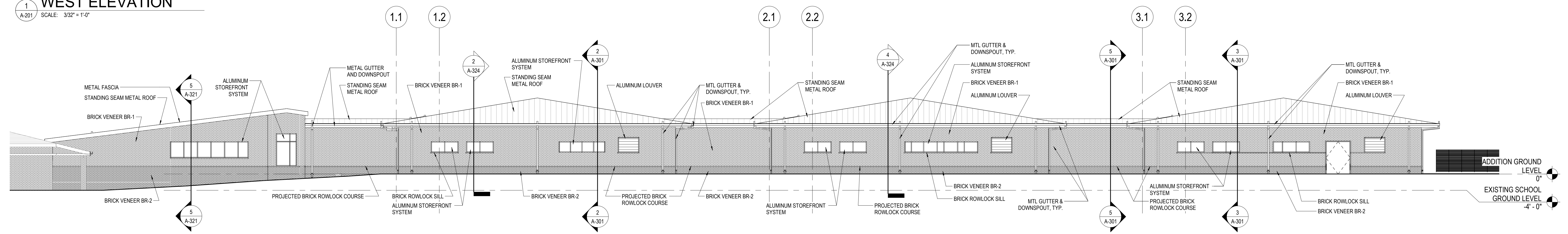
REVISION DATE

TITLE
**RENOVATION &
CONNECTOR PLANS
& SECTIONS**

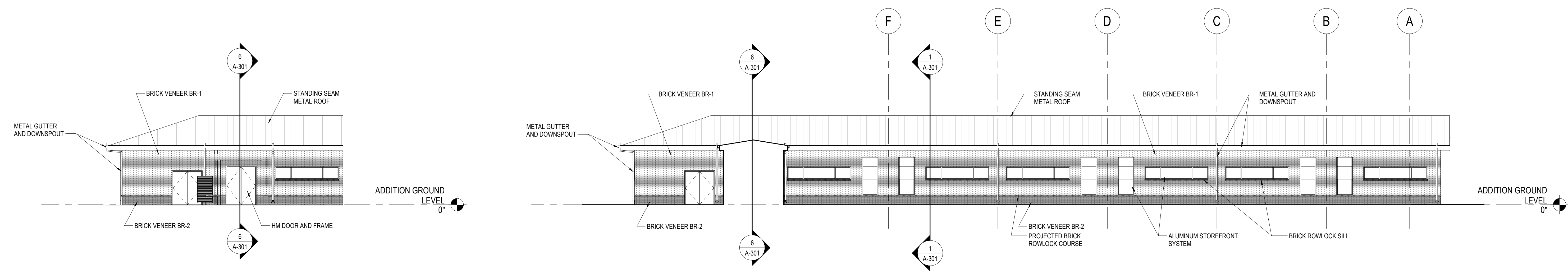
SHEET NO
A-002



1 WEST ELEVATION
A-201 SCALE: 3/32" = 1'-0"

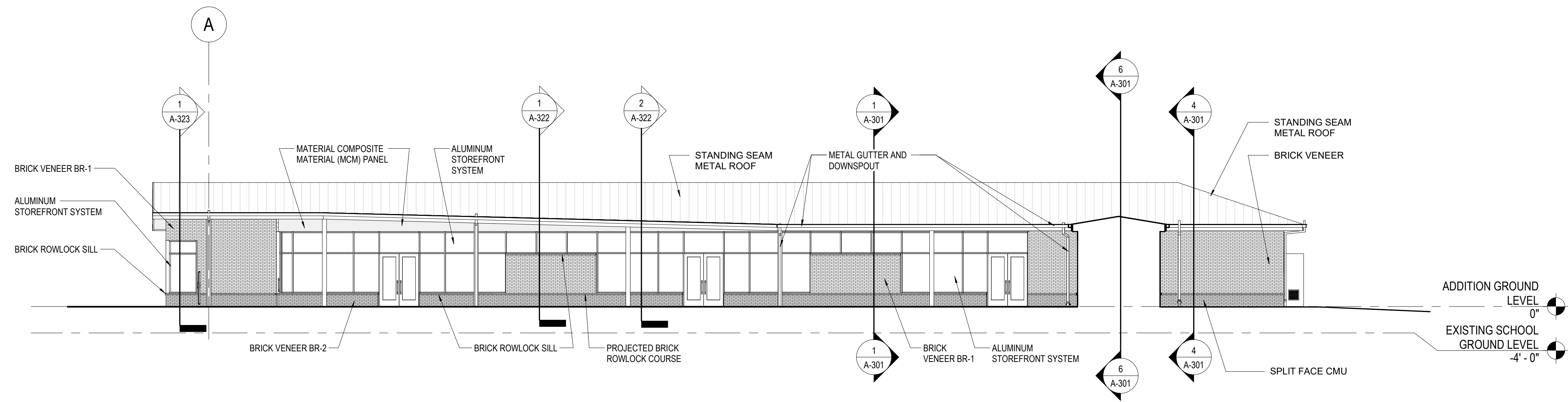


2 EAST ELEVATION
A-201 SCALE: 3/32" = 1'-0"



3 PARTIAL NORTH ELEVATION - NORTH WING
A-201 SCALE: 3/32" = 1'-0"

4 NORTH ELEVATION
A-201 SCALE: 3/32" = 1'-0"



5 SOUTH ELEVATION
A-201 SCALE: 3/32" = 1'-0"

GENERAL EXTERIOR NOTES

- A. WHERE SPECIFIC PRODUCTS ARE INDICATED, ITEM DESIGNATION INCORPORATES QUALITY AESTHETIC APPEARANCE. SEE SPECIFICATIONS FOR EQUAL MANUFACTURERS PER PRODUCT TYPE INDICATED. ACTUAL COLOR SELECTION MAY VARY PER BIDDING OUTCOME, DEPENDING ON LOCATION OF ITEM. ALTERNATIVES SHALL MATCH IN COLOR/TEXTURE, AS WELL AS PERFORMANCE CRITERIA, AS APPROVED BY ARCHITECT.
- B. SEE FLOOR PLANS, WINDOW TYPES, FRAME TYPES AND LOUVER TYPES FOR NOMINAL DIMENSIONS AT WINDOW, DOOR AND LOUVER OPENINGS.
- C. ALL MATERIAL FINISHES ARE SUBJECT TO APPROVAL IN MOCK-UP PANEL REVIEW.
- D. ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED AT BOTH SIDES OF SHEATHING AND GYPSUM BOARD / CMU PENETRATION. PROVIDE ESCUTCHEON PLATE AT EXPOSED LOCATIONS.
- E. ALL EXPOSED STEEL LINTELS (PLATES AND ANGLES) SHALL BE PAINTED COLOR AS SELECTED BY ARCHITECT.
- F. AT EXTERIOR WALLS, ALIGN CMU CONTROL JOINTS WITH BRICK EXPANSION JOINTS UNLESS DETAILED OR NOTED OTHERWISE. SEE PLAN AND JAMB DETAILS FOR ADDITIONAL BRICK EXPANSION JOINTS / CMU CONTROL JOINTS.
- G. ALL VISIBLE METAL FLASHING AND COPING JOINTS SHALL ALIGN WITH COLUMN CENTERLINES, MCM JOINTS, OR MATERIAL TRANSITIONS. METAL SHALL BE IN LONGEST LENGTHS POSSIBLE TO MINIMIZE JOINTS.
- H. METAL COMPOSITE MATERIAL (MCM) JOINTS SHALL BE AS SHOWN AND IN GENERAL CENTERED ON STOREFRONT / CURTAINWALL MULLIONS. AT AREAS NOT SHOWN, JOINTS SHALL BE EQUALLY SPACED OR ALIGNED WITH ADJACENT CONSTRUCTION JOINTS AS APPROVED BY ARCHITECT. ALIGN VERTICAL JOINTS WITH BRICK EXPANSION JOINTS AS SHOWN. THERE SHALL BE NO ADDITIONAL COST FOR ADDITIONAL JOINTS REQUIRED BY ARCHITECT DURING SUBMITTAL REVIEW.
- I. SEE FLOOR PLANS AND ELEVATIONS FOR ALL DOWNSPOUT (DS) LOCATIONS.
- J. SEE ELEVATIONS FOR COURSING AND ACCENT MATERIAL LOCATIONS AND REQUIREMENTS.

QUACKENBUSH ARCHITECTS + PLANNERS
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PROJECT TITLE
CARVER LYON ELEMENTARY SCHOOL CLASSROOM ADDITION
 RICHLAND SCHOOL DISTRICT ONE
 210 WAWLEY ST COLUMBIA, SC 29204

TITLE
CLASSROOM ADDITION EXTERIOR ELEVATIONS

SHEET NO
A-201

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PHASE
DESIGN DEVELOPMENT

ISSUE DATE
 4/1/2021

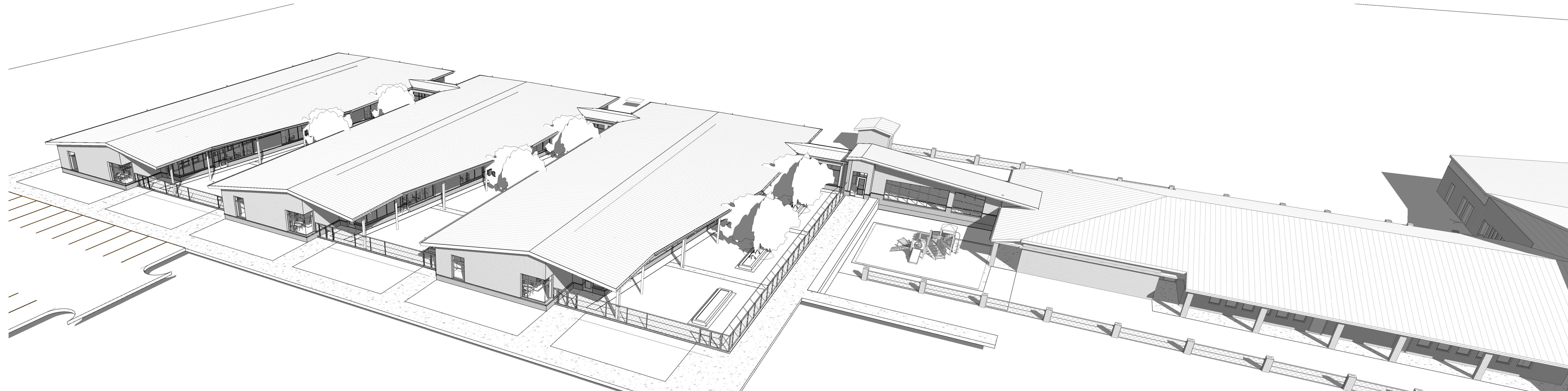
PROJECT NO.
 19.252.00

REVISION
 DATE

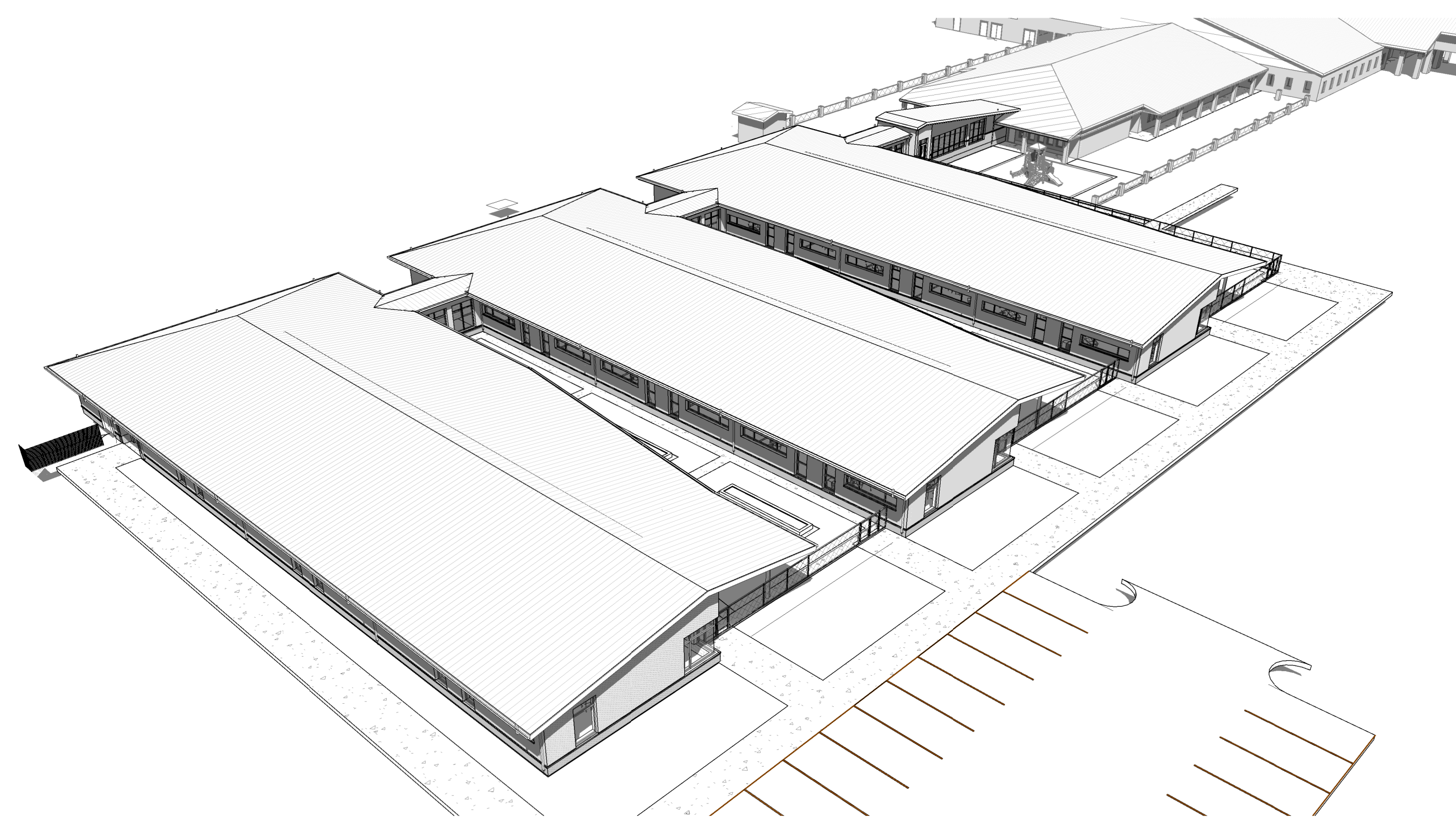
STATE OF SOUTH CAROLINA
 REGISTERED ARCHITECT
 SPENCER HUTCHINGS
 No. 100028

STATE OF SOUTH CAROLINA
 REGISTERED ARCHITECT
 QUACKENBUSH ARCHITECTS + PLANNERS, LLC
 No. 100028

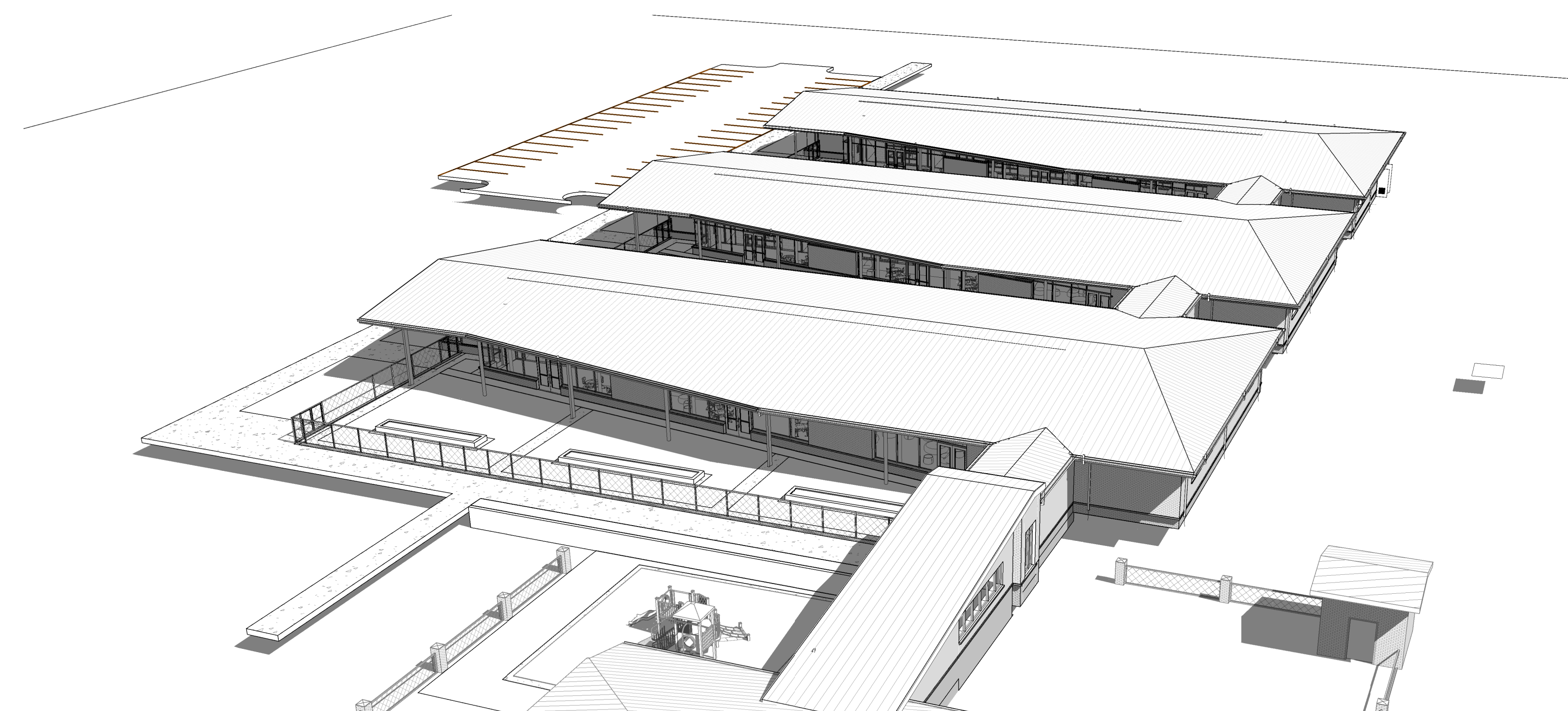
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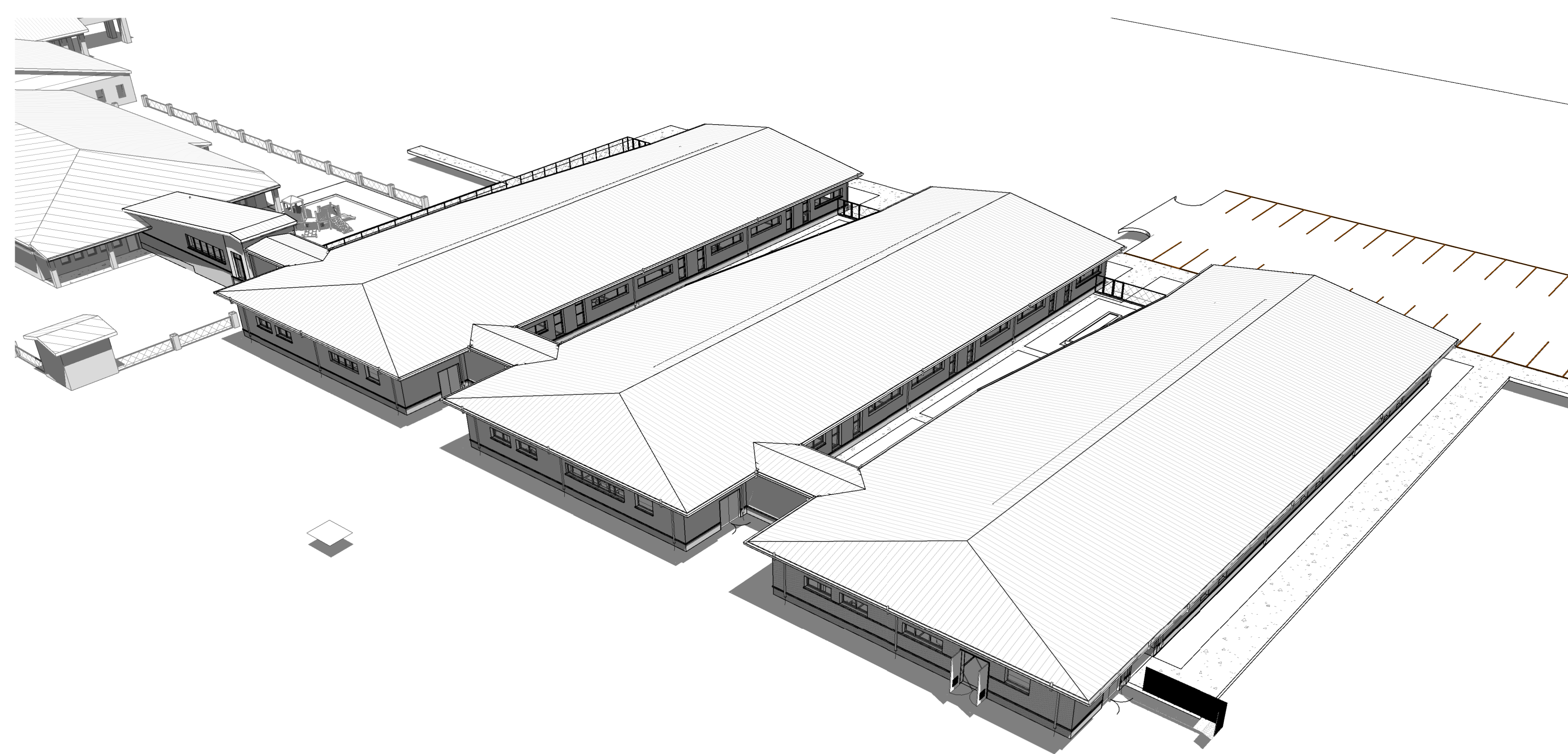
1 3D VIEW - SOUTHWEST AERIAL
A-202 SCALE:



2 3D VIEW - NORTHWEST AERIAL
A-202 SCALE:



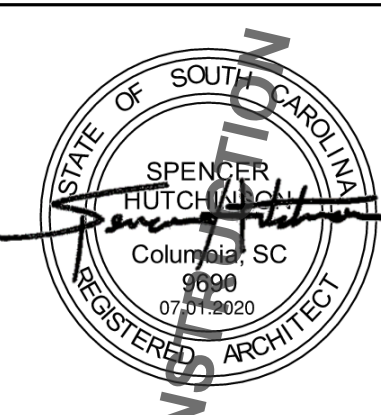
4 3D VIEW - SOUTHEAST AERIAL
A-202 SCALE:



3 3D VIEW - NORTHEAST AERIAL
A-202 SCALE:

NOTE: DRAWINGS ARE PROVIDED FOR INFORMATION ONLY. REFER TO ELEVATIONS, SECTIONS AND DETAILS FOR SPECIFIC INFORMATION.

AVE. SEAL



CORPORATE SEAL



PROJECT TITLE

**CARVER LYON ELEMENTARY SCHOOL
CLASSROOM ADDITION**
RICHLAND SCHOOL DISTRICT ONE
2100 WAWERLY ST COLUMBIA, SC 29204

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TITLE
CLASSROOM
ADDITION 3D VIEWS

SHEET NO.
A-202