

# D/DRC Case

1219 Assembly Street

National Register Structure, City Center Design/Development District

TMS# 09013-09-23

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**CONSENT AGENDA**  
**EVALUATION SHEET**  
Case # 5

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**ADDRESS:** 1219 Assembly Street

**APPLICANT:** John Sherrer, agent

**TAX MAP REFERENCE:** TMS# 09013-09-23

**USE OF PROPERTY:** Commercial

**REVIEW DISTRICT:** National Register Structure/ City Center Design/Development District

**NATURE OF REQUEST:** Request for Certificate of Design Approval for exterior changes and preliminary certification of the Bailey Bill

**FINDINGS/COMMENTS:**

The South Carolina State Armory, located at 1219 Assembly Street, was listed in the National Register in 1999 and participated in a previous version of the Bailey Bill in the early 2000s that has since expired. This historic building was constructed in 1905 and used by the National Guard until the 1960s. The building was designed by the South Carolina architectural firm Edwards & Walter, best known for construction of public schools. The design of the Armory is notable as an early departure from the more medieval style often used for armories at this time.

The rectangular brick building is three stories tall with a symmetrical three bay façade and four bays along the sides. The building, originally two stories tall, was expanded to include the third floor in the 1930s, a change that is evident in the slight color change between the second and third floor brick. The front elevation includes a central double front door set within a slight projection of brick capped with decorative concrete accents. All other bays on the façade include a set of large, paired, wood windows with a 16/16 configuration on the second and third floors and a 12/12 configuration on the first floor; this window pattern continues around all sides of the building with a slight variation on the rear elevation which was altered to allow for a rear fire escape. All windows are flanked by slightly projecting brick buttresses, delineating the bays of the building and running from the top of the projecting water table up to above the third story windows but stopping short of the parapet wall. The parapet wall, hiding the flat roof and mechanical units, is topped with terracotta tile. Concrete inlays are set above the front door, stating “1905” for the year the building was constructed, and between the central second and third story windows, inscribed with the words “South Carolina State Armory”. The building sits atop a tall, slightly projecting brick foundation with the front entrance accessed via a set of non-original steps surrounded by modern brick planters.

The building has been used as offices since the 1990s and is now being converted for use as a hotel and will undergo an extensive renovation; the property owner is applying for the Bailey Bill as part of the renovation process. The scope of work for the project to convert the building to hotel use includes maintenance and repair of original historic features as well as a rear addition, which will not be included as a qualifying expense for the Bailey Bill. The removal of historic material or alterations to historic architectural features will be avoided. Plumbing fixtures, countertops, tiling, and other aesthetic upgrades that do not involve the preservation of a historic feature will not be included in the investment threshold. The scope of work of qualifying Bailey Bill expenses includes masonry repointing and repair, exterior wood repairs, restoration of the original interior stair, wood floors, and doors, and re-roofing and roof truss repairs, as well as updates to the plumbing, HVAC, and electrical systems.

### **PERTINENT SECTIONS FROM CITY ORDINANCE**

*Sec. 17-698. - Eligible rehabilitation.*

*(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:*

*(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*

The historic character of the property will be retained as preserved. Historic materials will only be altered on the rear of the building to accommodate an addition.

*(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

No proposed work would create a false sense of historical development.

*(3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The early addition of the third floor has gained historic significance and will not be altered with renovations. The modern brick planters at the front of the building have not gained significance and will be removed and replaced with a reconfigured entry.

*(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*

All distinctive features, finishes, and examples of craftsmanship that characterize the property will be preserved in the course of renovations.

*(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Any deteriorated features, such as the exterior wood work, will be repaired or replaced in kind if severity of deterioration requires replacement. Wood windows are not original to the property but they do mimic the look of the original windows; any replacement windows will match the original window configuration. Exterior masonry repair will use compatible materials to match the original in all qualities.

The front entry stairs/ramp and surrounding brick planters were added in the 1990s. Originally, the front doors were accessed via a set of steps that led straight out to Assembly Street; this access was

altered with the 1990s renovation to allow for ADA access and resulted in a circuitous route to the front door around the planters. The new proposal calls for a set of steps, similar to the original configuration, leading straight out to Assembly Street with ADA access via a ramp to the right. The new stair configuration is reflective of the original stair, while also up to modern code, and in keeping with this standard.

The front door of the building is either the original front door or is a good replica of the original/historic 9-light door; the proposed new front door is an 8-light, full glass door, not matching the old door and therefore not in keeping with this standard. As such, staff recommends altering the proposal for the front door: if additional investigation finds the door is original, the front doors should be maintained and repaired with modifications to meet modern code; or, if the front door is found to be non-original, the front door may be removed with a new door fabricated to replicate the historic 9-light door.

*(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The exterior masonry will be cleaned using the gentlest means possible; sandblasting and other highly abrasive techniques will not be used.

*(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

The proposed rear addition is designed to be differentiated from the original historic building, yet compatible in materials, detailing, size, and scale. As proposed, the addition will include a distinctly modern hyphen, set in from the corners of the building and clad in zinc. The small hyphen will connect the historic building to a three-story brick veneered addition with subtle details to complement the historic details of the Armory building. These details include Queen brick cladding, vertical repetitive windows, a recessed brick water table, and a recessed brick detail at the window jamb.

The canopy structure proposed for the entryway is designed as a freestanding structure so that it does not connect to the historic building entry at all and will therefore not destroy any historic materials at the entry.

*(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed addition is designed with a hyphen, maintaining the rear corners of the building and maintaining the understanding of the original form of the historic building. As such, if the addition were to be removed in the future, the essential form and integrity of the historic building would be unimpaired.

The canopy structure proposed for the front entrance is designed as freestanding so that it does not connect to the historic building entry at all; as such, if it were removed, the original historic features of the entry would be unimpaired.

The above items are the parameters for review for projects that receive the Bailey Bill. If any future work is proposed beyond the scope of what is presented here, then it will be reviewed by staff and/or the DDRC.

**STAFF RECOMMENDATIONS:**

Staff finds that the project at 1219 Assembly Street complies with Sec. 17-698 of the City Ordinance and recommends granting preliminary certification for the Bailey Bill and a Certificate of Design Approval with the following conditions:

- The front door proposal be altered to maintain and repair or replicate the historic 9-light doors;
- The project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses;
- All work meeting the standards for work as outlined in Section 17-698;
- All details deferred to staff.



1219 Assembly, front, photo by staff



1219 Assembly, right, photo by staff



1219 Assembly, original door, image courtesy of SHPO

THE FOLLOWING INFORMATION WAS  
SUBMITTED BY THE APPLICANT

### HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Property Name South Carolina State Armory Building NPS Project Number                       
Property Address 1219 Assembly Street Columbia Richland SC 29201

5. Detailed Description of Rehabilitation Work. Use this page to describe all work or create a comparable format with this information.  
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

|                 |                                |                                   |
|-----------------|--------------------------------|-----------------------------------|
| <b>Number</b> 1 | <b>Feature</b> Brick, Concrete | <b>Date of Feature</b> 1905, 1933 |
|-----------------|--------------------------------|-----------------------------------|

**Describe existing feature and its condition**

This three-story, rectangular, free-standing masonry building features a facade modestly embellished through brick colors and course patterns and the presence of contrasting concrete elements. The building's two construction episodes of 1905 and 1933 are visually apparent by a distinct transition from brownish-red brick employed in the first and second stories to that of orange-red brick used in the later, third-floor addition. Both era's brickwork is laid in a 7/1 American bond pattern with the eighth row featuring alternating stretchers and darker colored headers.

The facade's primary aesthetic emphasis is achieved in the second of its three bays, where a one-story, slightly projecting, pavilion is crowned with a concrete pediment and surmounted by two concrete tablets one reading "1905" located between the first and second stories and its counterpart reading "South Carolina State Armory" situated between the second and third stories. First- and second-story concrete window sills provide further color and texture contrast to the elevation's red brick mass. Combined, the aesthetic conveys a sense of permanency and strength, characteristics associated with its original, military use.

Like the facade, the structure's plainer north, west and south elevations feature the same brick coursework and color variation and concrete or concrete parged first- and second-story window sills.

A simple stepped parapet topped with camel-back terra cotta tiles obscures the building's roof line on all elevations.

Photo Numbers 1-14 Drawing Numbers A202-A204

**Describe work and impact on feature**

The entirety of the building's masonry will be cleaned with a mild detergent and re-pointed with a rake joint using mortar consistent in color and composition to original materials. Damaged concrete-parged masonry window sills will be repaired.

Brick used in the proposed addition will be queen-sized and laid in a running bond pattern and of moderately contrasting color to differentiate new from historic elements.

|                 |                        |                             |
|-----------------|------------------------|-----------------------------|
| <b>Number</b> 2 | <b>Feature</b> Windows | <b>Date of Feature</b> 1998 |
|-----------------|------------------------|-----------------------------|

**Describe existing feature and its condition**

The building features paired wood, double-hung windows that date to the structure's 1998 rehabilitation and faithfully mimic their original antecedents. All first-story windows feature a 12/12-lite configuration while all second- and third- story windows feature a 16/16-lite configuration. Exceptions are a single 9/9-lite window situated on the south elevation's first story between its third and fourth bays and single 12/12-lite windows located on all three floors at the southwest corner of the building where 15-lite doors surmounted by a 6-lite transom provide secondary access to the structure via a steel exterior staircase.

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Photo Numbers 1-9, 12-14

Drawing Numbers A101-A103, A202-A204

### Describe work and impact on feature

All windows will be retained and repainted with the following exceptions: Paired windows on all stories in the west elevation's central, or second, bay will be removed and replaced with a cased opening in order to provide access to the proposed addition's hallways on each level. Single 12/12-lite windows located on all three floors at the southwest corner of the building and 15-lite doors surmounted by a 6-lite transom will be removed and the void enclosed for construction of an interior wall in the proposed addition. On the first story a new window of the same composition and configuration as that of the existing first-story windows will be installed in the westernmost aspect of the north elevation's where an original doorway was infilled with aesthetically incompatible brick. The northernmost window on the building's west elevation on all three stories will be retained; however, it will receive a white opaque film and insulation on its exterior facet so that an interior wall can be built where the historic structure will meet the new addition.

Windows in the proposed addition will be of a aluminum-clad exterior/wood interior composition with a 4/4-lite configuration and a profile whose depth will compliment that of the existing windows in the historic structure.

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|-----------------|---|-----------------------------|
| <b>Number</b> 3 | <b>Feature</b> Doors/Exterior & Proposed Awning | <b>Date of Feature</b> 1998 |
|-----------------|---|-----------------------------|

### Describe existing feature and its condition

The building features double doors on its first-story primary entrance and single doors at its secondary entrance on all three floors at its southwest corner. All doors date to the structure's 1998 rehabilitation and are in good to excellent shape. The double doors in the primary entrance are made of wood and feature modern hardware and a 9-lite glazing pattern. Single doors providing secondary access are made of wood and feature a 15-lite glazing pattern.

Photo Numbers 1-3

Drawing Numbers A101-A102, A201-A202, A204-A205

### Describe work and impact on feature

The non-historic, inward-opening, double front doors will be replaced by modern, outward-opening doors for code compliance. The proposed 8-lite glazing pattern will have a reflectivity harmonious with that found on the existing, 1998-era windows. All secondary doors on the northwest corner of the building will be removed and the created voids enclosed for construction of interior walls in the proposed addition.

Rehabilitation plans call for the addition of a free-standing steel and glass awning to shield access to the building's Assembly Street entrance. This architectural feature's roof line will mimic the contour of the historic pavilion's pediment. Its steel framework will be an aesthetic reference to the structure's historic steel fire escape and interior steel truss roofing system, while its incorporation of glazing will allow unimpeded visual access to the facade's character-defining brickwork and concrete tablet details.

|                 |   |                                   |
|-----------------|---|-----------------------------------|
| <b>Number</b> 4 | <b>Feature</b> Fire Escape & Rear Staircase | <b>Date of Feature</b> 1933, 1998 |
|-----------------|---|-----------------------------------|

### Describe existing feature and its condition

The second and third stories of the building's northwest corner feature a painted steel fire escape believed to have been installed at the time of the structure was enlarged in

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

1933. The first, second, and third stories feature a modern steel staircase and concrete pad situated on the southwest corner of the building that dates to the property's 1998 rehabilitation.

Photo Numbers 5, 14 & 2, 5-7

Drawing Numbers A101-A103; A202-A204

### Describe work and impact on feature

The historic fire escape's metal will be cleaned of loose paint through a non-aggressive method using a wire brush and sealed with one coat of primer and two coats of enamel paint.

The modern, three-story exterior staircase will be removed for the construction of the eastern aspect of the proposed addition.

A new, three-story steel staircase, with details evocative of the building's interior truss framing system, will be placed on the second and third bays of the proposed addition.

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|-----------------|---------------------|-----------------------------|
| <b>Number</b> 5 | <b>Feature</b> Roof | <b>Date of Feature</b> 1998 |
|-----------------|---------------------|-----------------------------|

### Describe existing feature and its condition

The building features a black-colored, flat, modified bitumen membrane roof, accessible from the inside via a square portal. Current conditions suggest the roof dates to the structure's 1998 rehabilitation. HVAC units are located on the roof.

Photo Numbers 39

Drawing Numbers A104

### Describe work and impact on feature

Following removal of HVAC units and the existing roof, the building will receive a new bitumen roof membrane. The square portal will remain in place so that its aesthetic may be respected; however, it will be sealed from the outside to prevent use.

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|-----------------|--------------------------------------|-----------------------------|
| <b>Number</b> 6 | <b>Feature</b> Scuppers & Downspouts | <b>Date of Feature</b> 1998 |
|-----------------|--------------------------------------|-----------------------------|

### Describe existing feature and its condition

Currently, two collection boxes are connected to metal downspouts that penetrate the facade's masonry wall in bays one and three just below the parapet top.

Photo Numbers 1

Drawing Numbers A201-A202, A204

### Describe work and impact on feature

All downspouts will remain with no work required.

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|-----------------|------------------------|-----------------------------|
| <b>Number</b> 7 | <b>Feature</b> Parapet | <b>Date of Feature</b> 1933 |
|-----------------|------------------------|-----------------------------|

**Describe existing feature and its condition**

The parapet is sealed with interlocking camel-back terra cotta coping tiles that are in good shape.

Photo Numbers 39

Drawing Numbers A104

**Describe work and impact on feature**

The existing tiles will remain with no work required.

|                 |                               |   |
|-----------------|-------------------------------|---|
| <b>Number</b> 8 | <b>Feature</b> Interior/Walls | <b>Date of Feature</b> 1905, 1933, 1998 |
|-----------------|-------------------------------|---|

**Describe existing feature and its condition**

The building's rehabilitation in 1998 resulted in a mixture of historic exposed masonry and horizontally oriented, wood bead-board walls and new gypsum board walls. The new wall construction led to the original height of the ceilings being lowered and obscured through the installation of drop acoustical panels in offices located along the northern and southern aspects of the building at all three levels and in gypsum ceilings in other aspects of interior offices on the first and second stories. The treatment for the center section of the third story resulted in an open floor plan whose half walls allowed unimpeded view of the open truss framing members used in the building's 1933 renovation.

Photo Numbers 15, 17-38

Drawing Numbers A101-A104

**Describe work and impact on feature**

Rehabilitation for use as a hotel will involve the removal of 1998-era interior walls on three floors. Due to guestroom requirements, moderate portions of the horizontally oriented wood bead-board walls on the second floor and a very minimal portion on the third floor will be removed and the removed elements salvaged for use in new walls and for any repairs that may be necessary.

|                 |                                  |   |
|-----------------|----------------------------------|---|
| <b>Number</b> 9 | <b>Feature</b> Interior/Ceilings | <b>Date of Feature</b> 1905, 1933, 1998 |
|-----------------|----------------------------------|---|

**Describe existing feature and its condition**

The building's rehabilitation in 1998 resulted in a mixture of exposed historic wood bead-board ceilings and acoustic drop panel ceilings, which obscured the original height of the historic ceilings in the entirety of the first floor offices and in offices on the second and third floors located along the northern and southern aspects of the building. The central aspect of the third floor features an exposed steel truss framework and wood bead-board ceiling decking.

Photo Numbers 19-38

Drawing Numbers A101-A103

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

### Describe work and impact on feature

Rehabilitation for use as a hotel will involve the removal of all existing acoustical tile and gypsum board drop ceilings, thus revealing the building's historic bead-board ceilings. Where necessary, damaged bead-board will be repaired with like-kind materials. All historic ceilings will be primed and painted. The building's trusses will be repaired as needed and repainted so that this character-defining interior element remains visible.

|                  |                                 |                                   |
|------------------|---------------------------------|-----------------------------------|
| <b>Number</b> 10 | <b>Feature</b> Interior/Columns | <b>Date of Feature</b> 1905, 1933 |
|------------------|---------------------------------|-----------------------------------|

### Describe existing feature and its condition

The first story features three original, rough-sawn, wood columns that offer structural support and were painted during the 1998 rehabilitation.

The first and second floors each feature a singular steel pipe column of unknown date, but potentially installed during the 1933 renovation.

Photo Numbers 40

Drawing Numbers A101-A102

### Describe work and impact on feature

Original wood columns located on first floor will remain and will be stripped of scraped, sanded, and finished in clear polyurethane.

Singular steel pipe columns located on the first and second floor will be removed to promote traffic flow and new pipe columns will be integrated into new construction walls.

|                  |   |                                   |
|------------------|---|-----------------------------------|
| <b>Number</b> 11 | <b>Feature</b> Interior/Staircase & Ballustrade | <b>Date of Feature</b> 1905, 1933 |
|------------------|---|-----------------------------------|

### Describe existing feature and its condition

The building retains its historic, three-story staircase. Its condition is good and has changed little since the property's 1998 rehabilitation. At that time the staircase risers, balusters newel posts, handrail, and exposed stringer bead-board ceilings were painted.

Photo Numbers 28-29

Drawing Numbers A-101/104

### Describe work and impact on feature

The staircase will have its hardwood treads refinished in polyurethane and its risers and balusters repainted. The staircase's existing top rail is 36" in height. To bring the guard rail up to current code, a new mild steel top rail will be installed at 42" that is attached to the vertical pickets. The new top rail will be 3/8" x 2 1/2" bar stock. The bead-board ceilings of the exposed stringers will be retained, prepped, and repainted.

|                  |                                |                                   |
|------------------|--------------------------------|-----------------------------------|
| <b>Number</b> 12 | <b>Feature</b> Floors/Interior | <b>Date of Feature</b> 1905, 1933 |
|------------------|--------------------------------|-----------------------------------|

### Describe existing feature and its condition

Historic hardwood pine floors are present throughout all three stories of the building. Most are in very good shape with normal wear. Some relatively minor areas need repairs due to wear and in some areas where the earlier removal of pipes, etc. left unplugged voids.

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Photo Numbers 15, 17-22, 24-35, 38

Drawing Numbers A101-A103

### Describe work and impact on feature

Historic hardwood pine floors will remain throughout all three stories. Where necessary repairs will be made using like-kind materials and refinished in polyurethane for use in the hotel aesthetic.

|                  |                               |                                   |
|------------------|-------------------------------|-----------------------------------|
| <b>Number</b> 16 | <b>Feature</b> Doors/Interior | <b>Date of Feature</b> 1933, 1998 |
|------------------|-------------------------------|-----------------------------------|

### Describe existing feature and its condition

The building's 1998 rehabilitation resulted in a combination of historic, 1933-era, five-panel doors being retained and modern slab doors being installed throughout the structure's new offices. The most notable of the historic five-panel doors is that found on the left-hand side of the first floor's interior double door entry. This example retains an historic painting signage reading, "751st Ord. Battalion/Lt. Col. Jos. W. Douglas, commanding/Capt. W.D. Gregory, staff asst." in red letters on a gray field. Other noteworthy five-panel doors are those incorporated into small closets located on the building's first floor under each first run of stairs leading to the second floor.

Photo Numbers 15-18, 20, 22, 24, 26-29, 34

Drawing Numbers A101-A102

### Describe work and impact on feature

All historic interior doors will be retained in place, scraped, primed, and painted, with exception of the historic door with its military signage, which will be retained to interpret this building's original use. All modern doors will be removed to accommodate new construction required for use as a hotel.

|                  |                                |   |
|------------------|--------------------------------|---|
| <b>Number</b> 17 | <b>Feature</b> Modern Addition | <b>Date of Feature</b> Future/2021-2022 |
|------------------|--------------------------------|---|

### Describe existing feature and its condition

Non-existing/NA

Photo Numbers NA

Drawing Numbers A101-A104, A202-A204, A210, A211, A213

### Describe work and impact on feature

Plans for the historic building's adaptation from a commercial office building into a hotel involve erecting a 8,790-square-foot addition on the rear, or west, elevation of the historic structure. The addition will consist of a three-story, masonry block component connected to the property's historic antecedent via a stepped, four-story hyphen component that will provide a visually apparent division between old and new. Rendered in its own unique color and texture, the hyphen component will feature a rooftop bar with a steel-outrigger supported canopy evocative of the historic building's structural steel architectural elements. The rooftop bar's set back of 83' from the historic building's facade will allow it to remain visually unobtrusive from Assembly Street. Operable glass walls at the bar level will further diminish the visual impact of the structure.

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Construction of the addition's hyphen component will result in the afore-mentioned changes to the historic building's west elevation to accommodate traffic flow and guest rooms. Design elements for the masonry, three-story component will be respectful of the historic structure in color, texture, and proportion. Details regarding windows and masonry choice are covered in the preceding sections.

|                  |   |                             |
|------------------|---|-----------------------------|
| <b>Number</b> 18 | <b>Feature</b> Exterior stair, ramp, site walls | <b>Date of Feature</b> 1998 |
|------------------|---|-----------------------------|

### Describe existing feature and its condition

An exterior stair, ramp, and site walls afford entry into the building from its Assembly Street-facing facade. These entry features date to the 1998 rehabilitation of the property.

Photo Numbers 1, 2

Drawing Numbers A101, A210

### Describe work and impact on feature

The existing exterior stair, ramp, and site walls will be removed and replaced with cast stone steps centered on the entrance. A new concrete ADA ramp with a 1:12 slope and mild steel handrails will be installed. Additionally, two fountains will flank the centered stairs, with the right fountain featuring commercial signage for the hotel.

|          |             |
|----------|-------------|
| Add Item | Delete Item |
|----------|-------------|

**South Carolina State Armory Building  
1219 Assembly Street  
21 September 2020**

**Part II Photos**



Photo 1 – Façade/east elevation & north elevation (northeast oblique view)



Photo 2 – Façade/east elevation & south elevation (southeast oblique view)



Photo 3 – Façade/East elevation (main entry detail view)



Photo 4 – Façade/East elevation (name plaque & brick transition detail view)



Photo 5 – North elevation & west elevation (northwest oblique view)



Photo 6 – West elevation illustrating three-story structural steel staircase.



Photo 7 – West elevation & south elevation (southwest oblique view). Note visual vertical emphasis created by placing windows in one-half-depth brick butters/projection.



Photo 8 – South elevation illustrating general 1998-era window composition and appearance and singular exceptional window. Note 7/1 Flemish bond brick pattern with contrasting headers to stretchers and discoloration from earlier masonry patching between second-story windows.



Photo 9 – South elevation detail. Note L-angle steel supplemental structural supports.

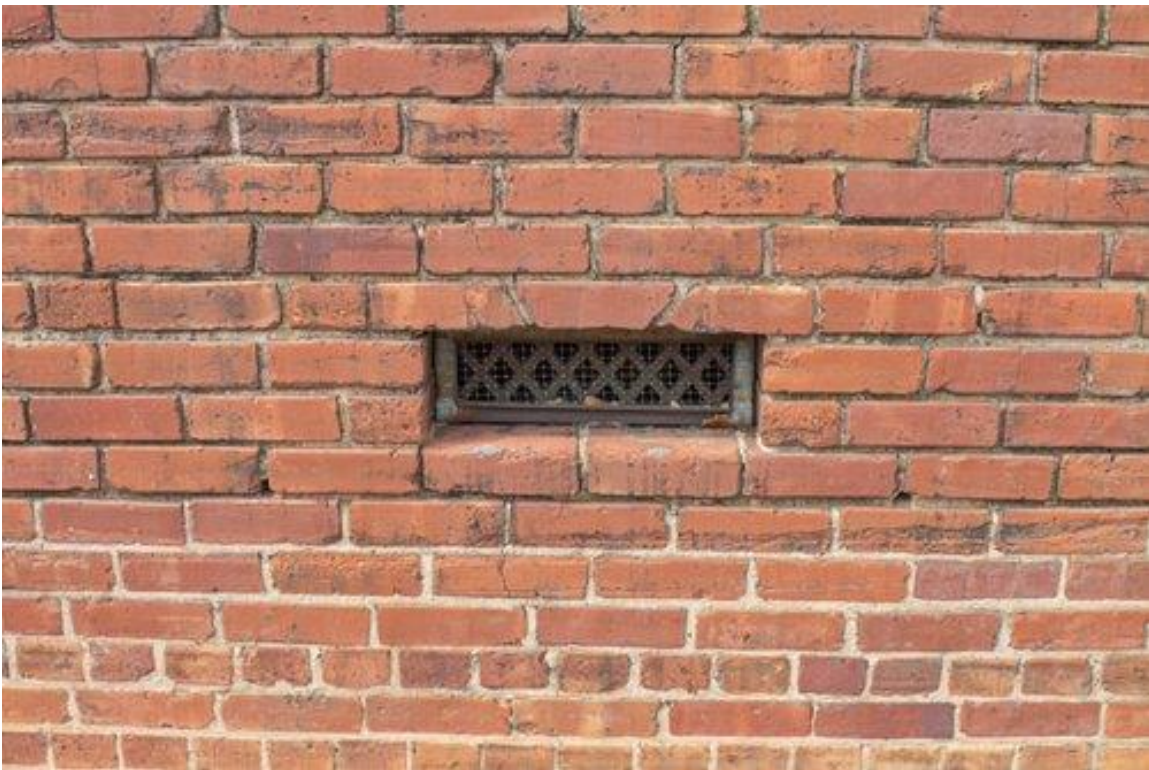


Photo 10 – South elevation detail. Note previous repointing and configuration of original steel foundation vent. Note chevron articulation of brick row about vent and common bond masonry pattern at foundation level featuring no differentiation between headers and stretchers.

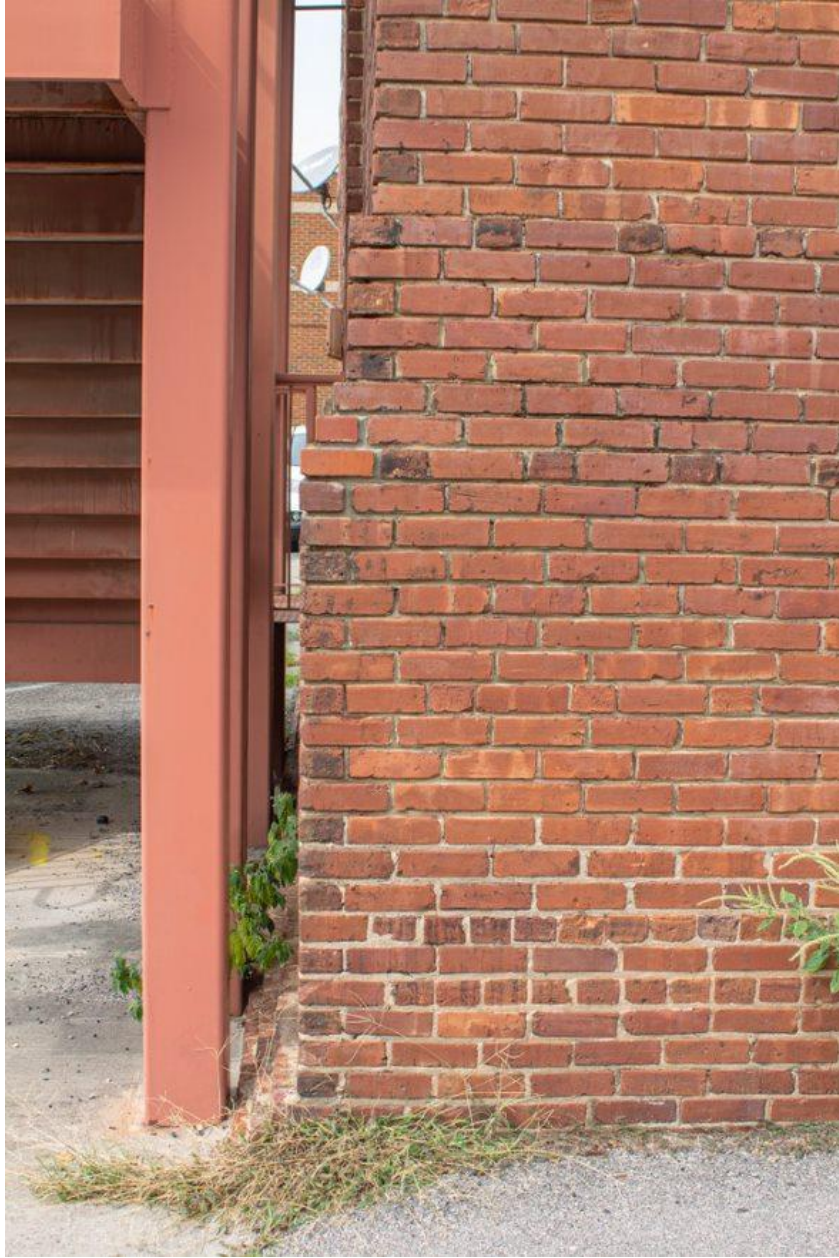


Photo 11 – South elevation detail illustrating stepped water table resulting in a visually bold foundation.



Photo 12 – North elevation detail. Note 1998-era windows, chipped, concrete-parged, masonry windowsill and caulking used in joint between wall face and in one-half-depth brick buttress/projection.



Photo 13 North elevation detail. Note 1998-era wood window and chipped, concrete-parged, masonry windowsill.



Photo 14 North elevation detail. Note ca.-1933 fire escape and visually contrasting, early masonry infill on first story and steel L-angle structural supplemental support.



Photo 15 Main interior entryway and double staircase detail. Note historic signage on door.



Photo 16 Detail of historic signage retained in left-hand five-panel, 1930s-era door.



Photo 17 Front entrance detail, taken from the perspective of the northeast, first-story office looking south. Note ca.-1998 double-door, original floorboards, and historic interior door.



Photo 18 Front entrance detail, taken from the perspective of the southeast, looking north.  
Note original floorboards and historic staircase.



Photo 19 Northeast first-story office, looking north. Note exposed, painted masonry wall, and sheetrock wall section.



Photo 20 First-floor hallway beyond double-door leading from entry hall, looking west.



Photo 21 Southeast office detail, taken from the perspective of the southeast, first-story office looking west. Note transition from sheetrock walls to exposed, painted masonry wall.



Photo 22 Southwest office detail, taken from the perspective of the southeast, first-story office looking west. Note single-door exit to west hallway, acoustic tile drop ceiling, and original hardwood floors.



Photo 23 Southwest office detail. Note acoustic panel drop ceiling articulated to accommodate historic window height and corbeled brick terminus of second-story, narrow chimney originally used for coal-burning stoves.



Photo 24 Northeast first-story office entry from front hallway, taken from the perspective of the southeast office entrance looking north. Note original hardwood floors and five-panel, 1930s-era door to storage closet under staircase.



Photo 25 Second-story landing. Note original hardwood floors and staircase details including newel posts, balusters, and handrails.



Photo 26 Second-story landing. Note original hardwood floors and historic double doors.



Photo 27 Second-story primary landing. Second-story landing. Note original hardwood floors and historic single and double doors.



Photo 28 Second-story primary hallway. Note historic, vertically oriented, beadboard panel wall.



Photo 29 Second-story west office. Note exposed masonry wall and original hardwood floor.



Photo 30 Second-story west office, looking east. Note original beadboard paneled wall and awning-style ventilation window.



Photo 31 Second-story west office, looking west. Note exposed masonry wall and ca.-1998 rear stair entry/exit.



Photo 32 Third-story stair landing. Note exposed brick wall and beadboard on underside of stair stringer.



Photo 33 Third-story landing. Note original floor, exposed brick wall, balustrade, newel post and steel bow-truss details.



Photo 34 Third-story central office reception area.



Photo 35 Third-story central office general conditions. Note steel bow-truss details, exposed masonry wall and original hardwood flooring.



Photo 36 Third-story central office general conditions. Note steel bow truss details, exposed HVAC ductwork and historically inspired pendant lights.



Photo 37 Third-story central office ceiling detail. Note steel bow truss configuration, exposed HVAC ductwork beadboard ceiling, roof scuttle, and ca.-1998 era sheetrock walls and trim.



Photo 38 Third-story central office corridor looking east. Note modern and historic walls.



Photo 39 General roof conditions, looking northeast.

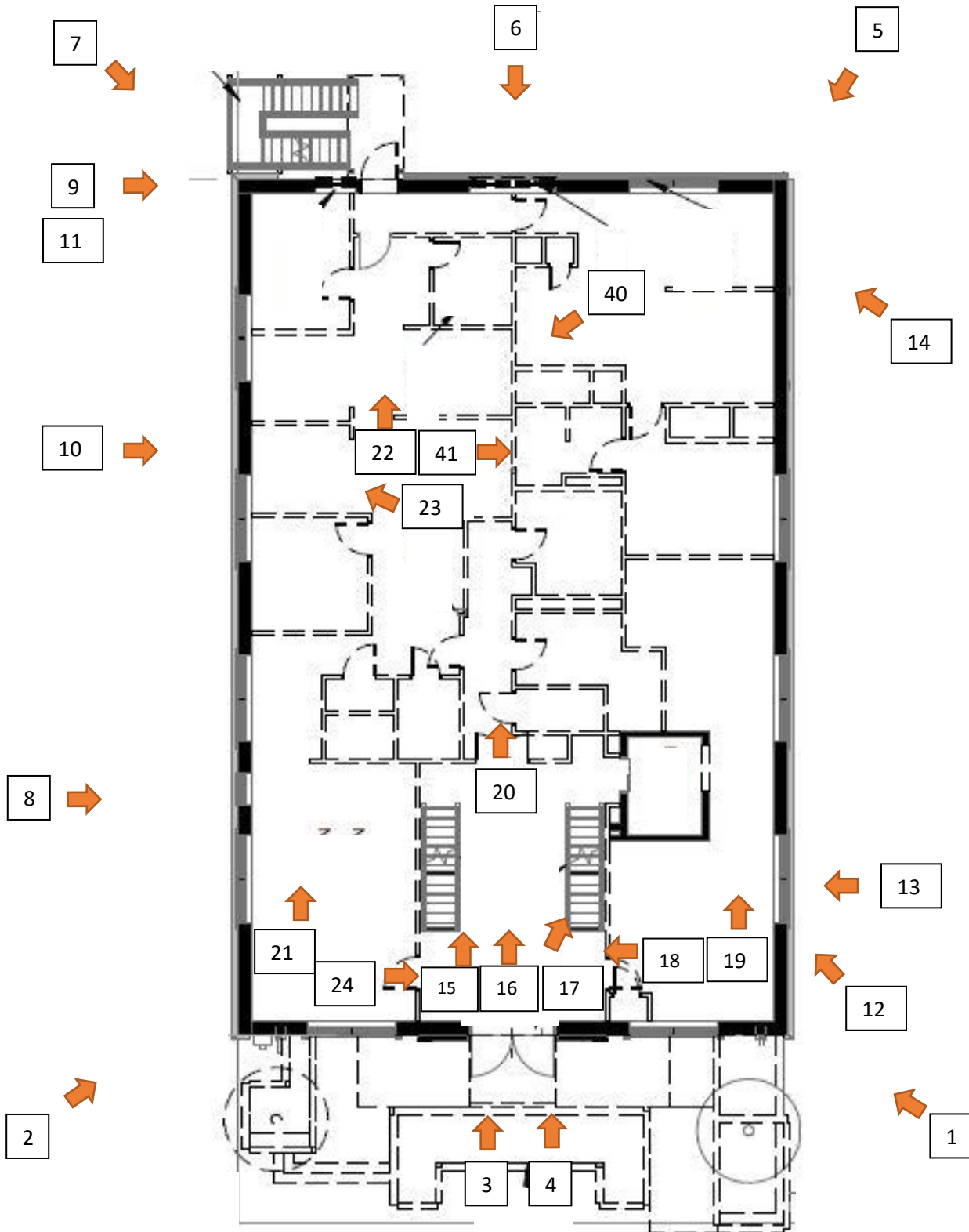


Photo 40 Southwest apartment detail. Note historic, rough-cut wood column.

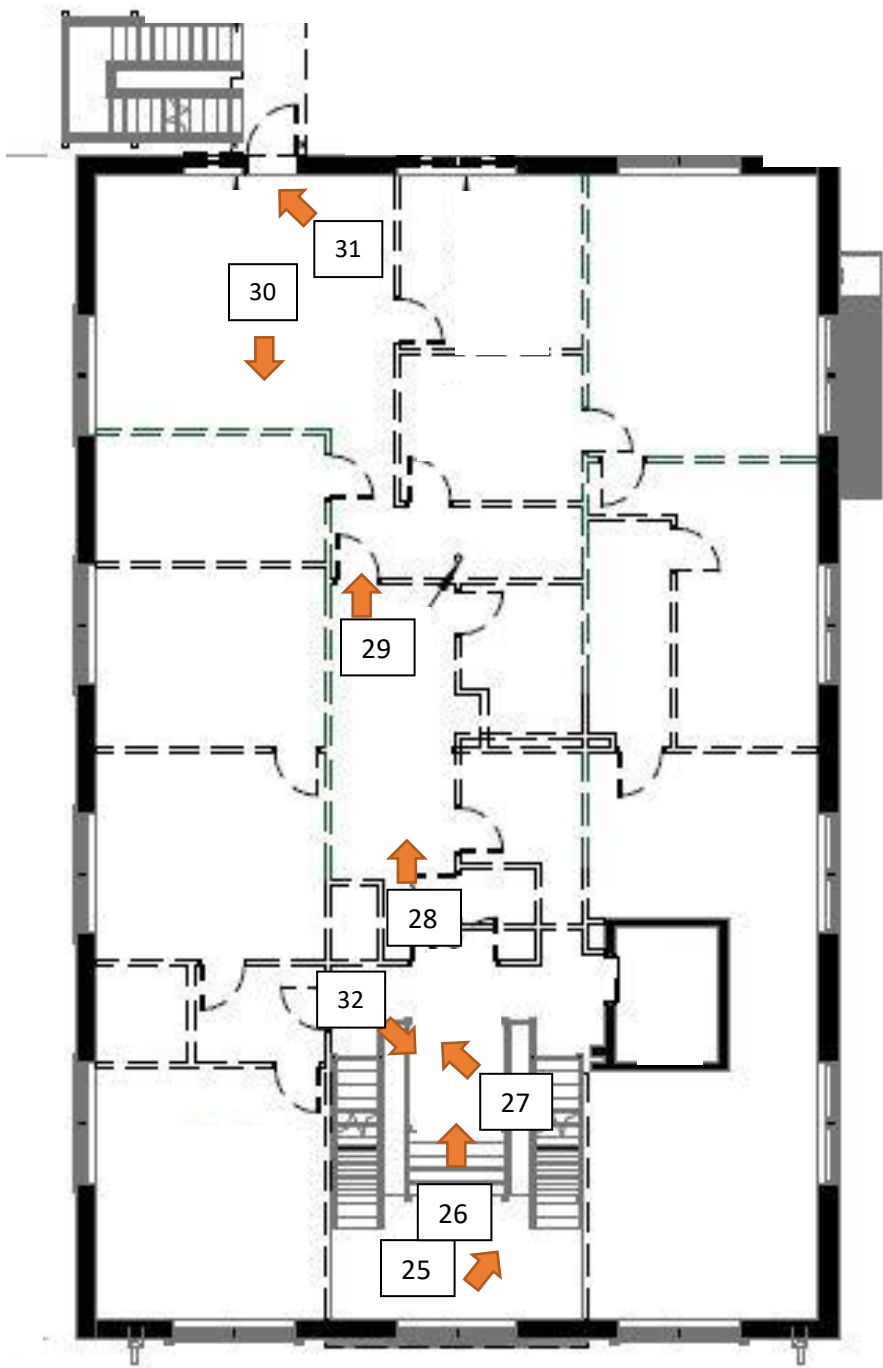


Photo 41 Southwest office detail. Note pipe column of unknown date.

South Carolina State Armory  
1219 Sumter Street  
Part II Photo Key  
First Floor

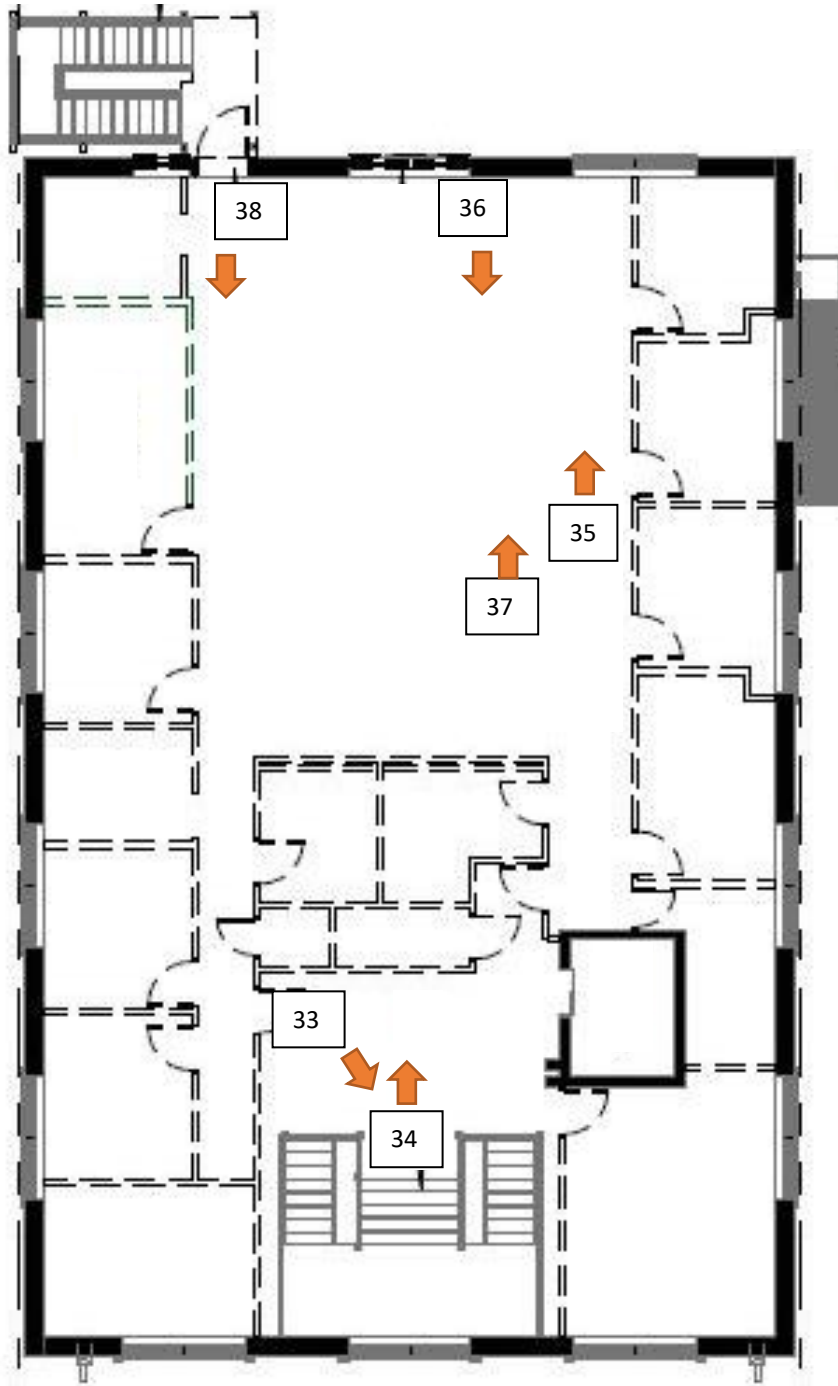


South Carolina State Armory  
1219 Sumter Street  
Part II Photo Key  
Second Floor



South Carolina State Armory  
1219 Sumter Street  
Part II Photo Key  
Third Floor

39



**South Carolina State Armory Building  
1219 Assembly Street**

**Historic Photographs**



Photo 42 1219 Assembly Street, Pre-rehabilitation.

Date Undetermined

Historic Columbia collection



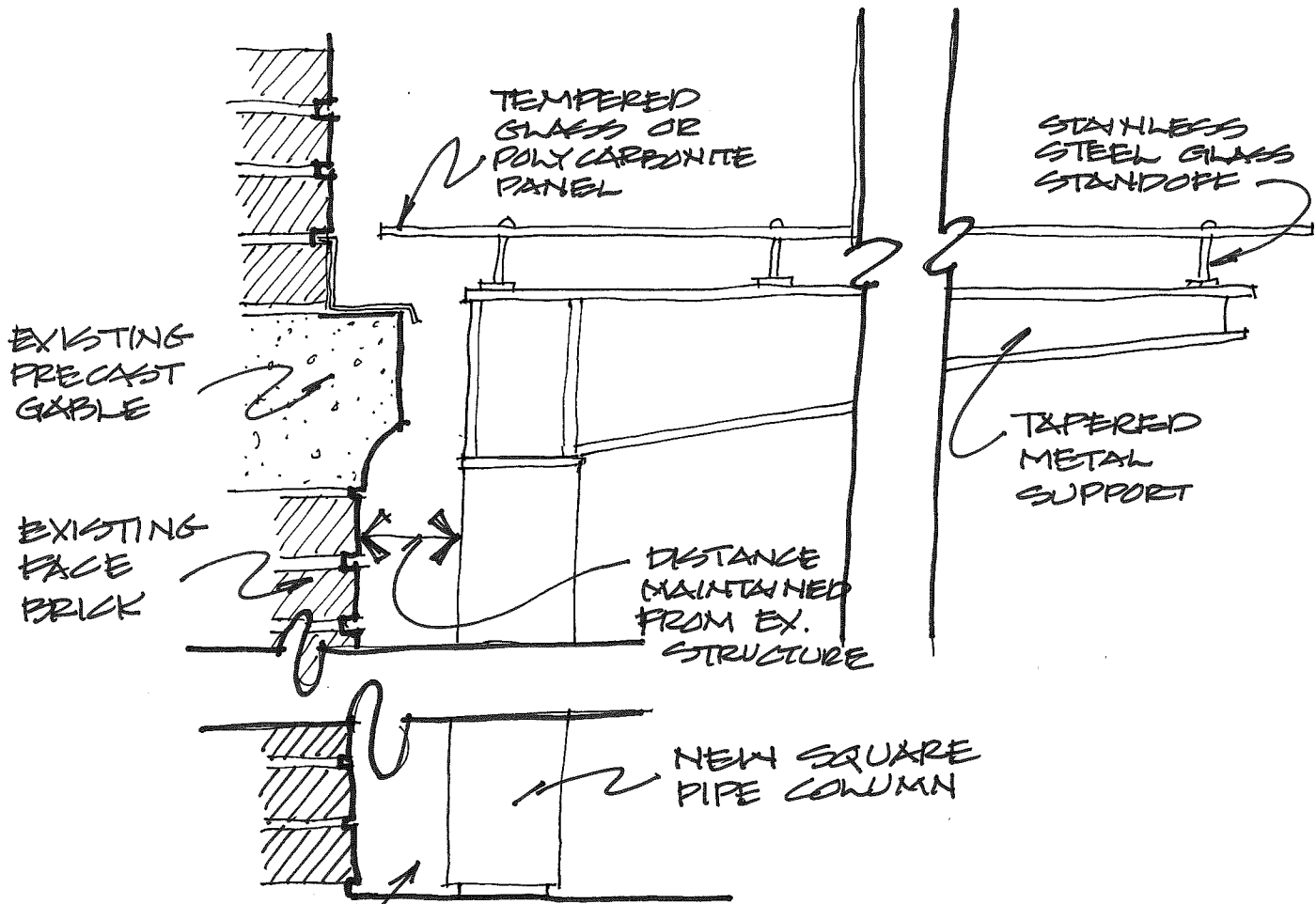
Photo 43 1219 Assembly Street, Pre-rehabilitation  
B&W Photograph of South Carolina State Armory Building

1 August 1979

Richland Library, Russell Maxey collection

**Bailey Bill**  
**Qualified Rehabilitation Expenses**  
**1219 Assembly Street**  
**Columbia, SC**

|  |                    |
|--|--------------------|
| Repointing (20%) / repair / replace existing brick (8%)  | \$117,728          |
| Replace wood sills and add interior storm windows  | \$64,600           |
| Repair and restore historic grand stair all three floors   | \$45,000           |
| New HVAC =   | \$228,955          |
| New Plumbing (no fixtures) =   | \$166,015          |
| New Electrical (wiring) = panels and distribution  | \$211,515          |
| New Roof =   | \$170,313          |
| Repair existing metal roof truss = allowance<br>(does not include seismic upgrades or structural<br>stabilizing costs, if desired add \$120,000) | \$30,569           |
| Refinish existing wood floors =  | \$150,662          |
| Restoring original 5 panel doors =   | \$4,800            |
| Subtotal   | <b>\$1,190,156</b> |



COLUMNS AND ENTIRE CANOPY STRUCTURE TO BE SPACED AWAY FROM EX. BUILDING FACE.

GLASS CANOPY TO HOVER OVER EX. PRECAST ENTRY DETAIL.

SECTION THROUGH BUILDING CANOPY

LESP  
ARMORY INN  
10/19/20



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**ARMORY HOTEL  
IN THE VISTA**

**D/DRC  
SUBMITTAL**

SEPTEMBER 30, 2020

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**1**

**CONTEXT**

- » a. Tax Map / Zoning
- » b. Vicinity / Site Context
- » c. Parking Assessment

**2**

**SITE**

- » a. Existing Site and Parking
- » b. Hotel Site Plan
- » c. Existing Landscaping

**3**

**EXTERIOR DESIGN**

- » a. Existing Photos
- » b. Historic Building Recommendations
- » c. Design Principles
- » d. Building Massing
- » e. Elevations
- » f. Glazing Percentages
- » g. 3D Renderings
- » h. Materials List
- » i. Detail List

**4**

**FLOOR PLANS**

- » a. Floor Plan Concepts



# 1 | CONTEXT

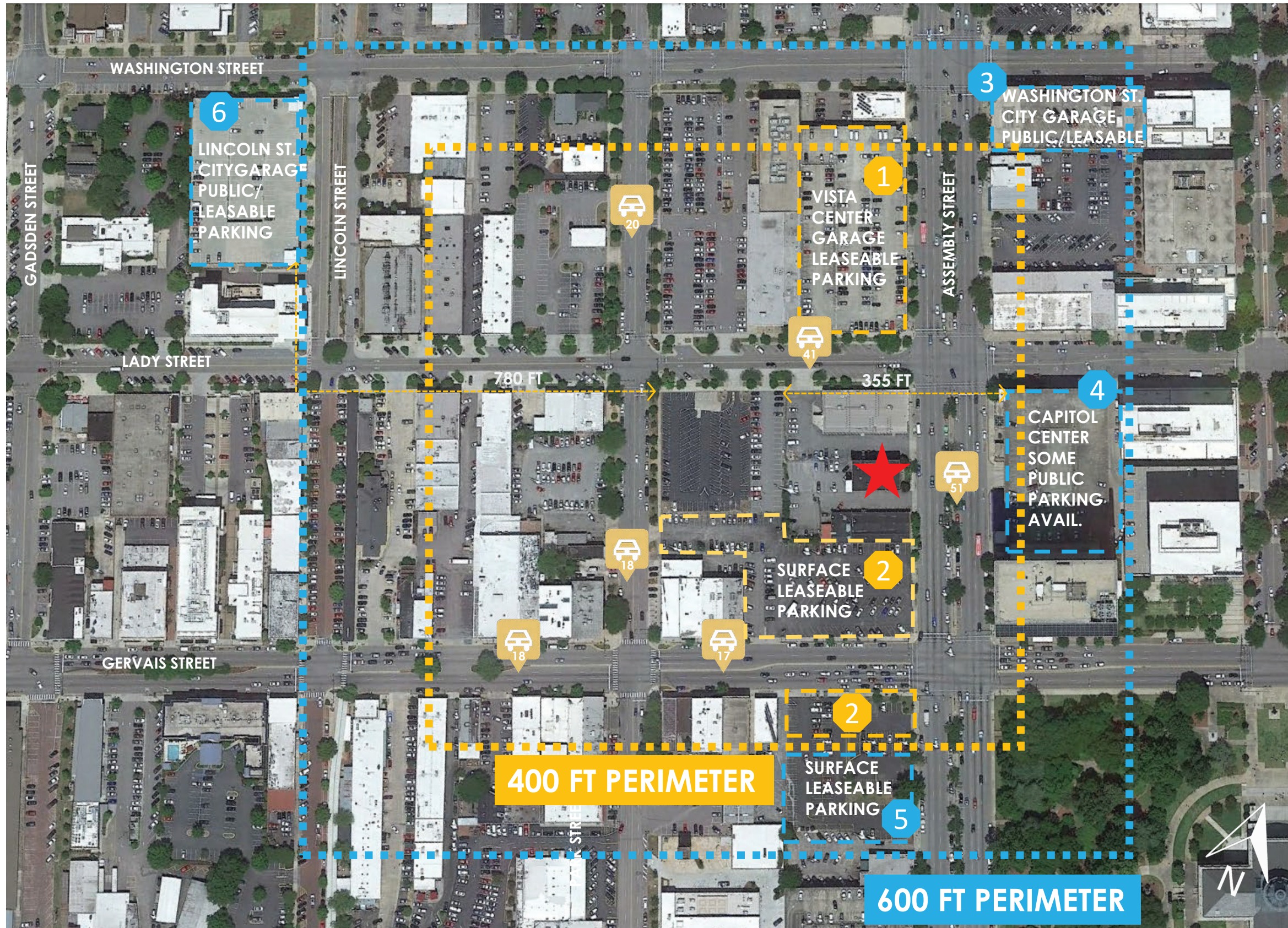


# ARMORY HOTEL IN THE VISTA

VICINITY / SITE CONTEXT



# ARMORY HOTEL IN THE VISTA PARKING ASSESSMENT



## ARMORY HOTEL SITE

- 400 FT PERIMETER:**
- 165 ON-STREET PARKING SPACES
  - 1** VISTA CENTER GARAGE LEASABLE PARKING
  - 2** ADJACENT SURFACE LOT LEASABLE PARKING
- 600 FT PERIMETER:**
- 3** WASHINGTON ST. CITY GARAGE PUBLIC & LEASABLE PARKING
  - 4** CAPITOL CENTER PUBLIC PARKING
  - 5** CORNER OF ASSEMBLY AND GERVAIS SURFACE LOT LEASING PARKING
  - 6** LINCOLN ST. CITY GARAGE PUBLIC & LEASABLE PARKING

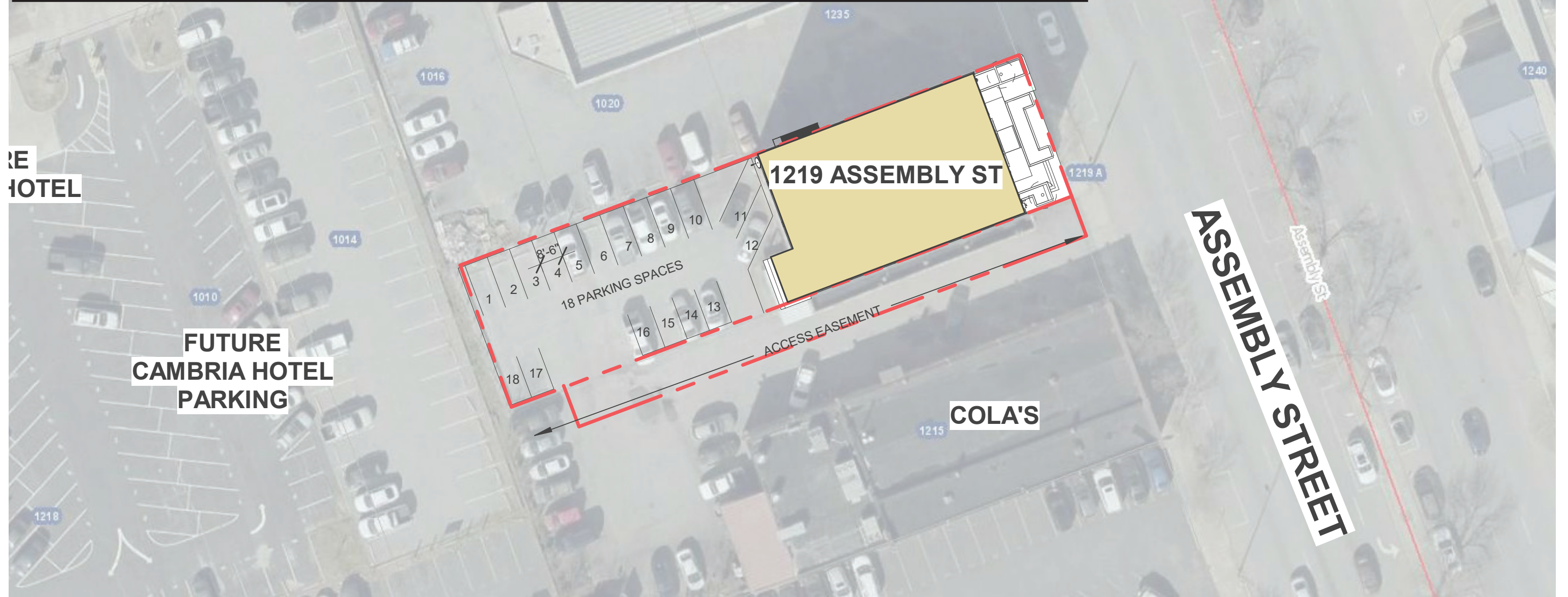
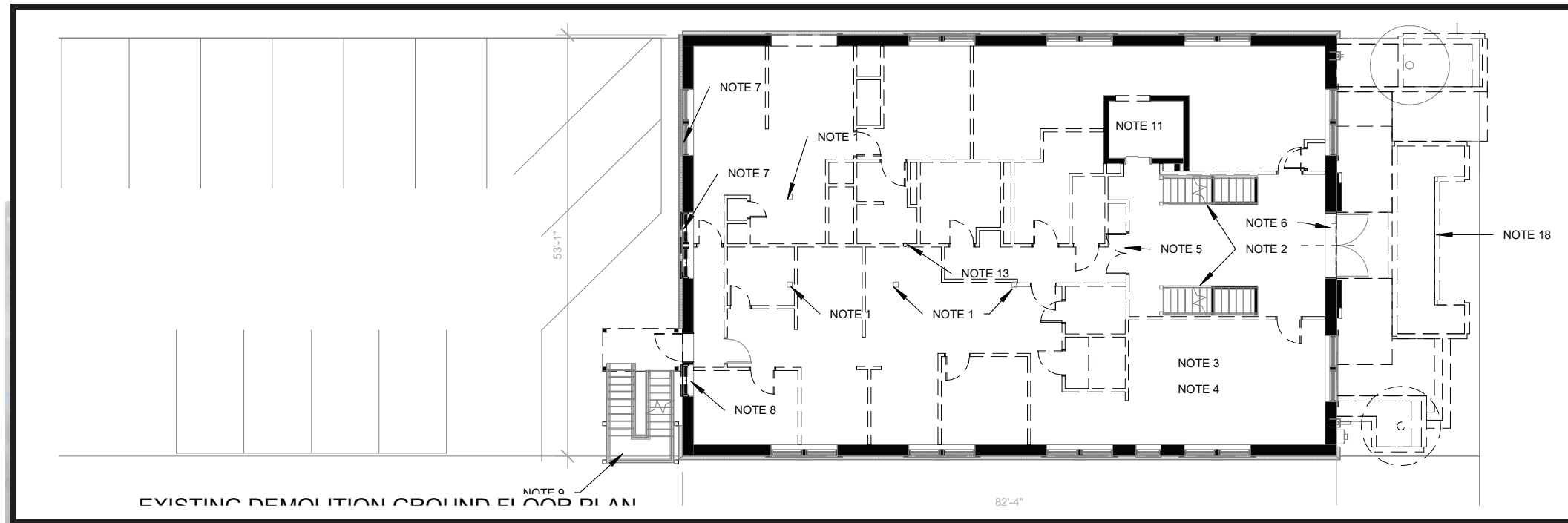


**2** | **SITE**



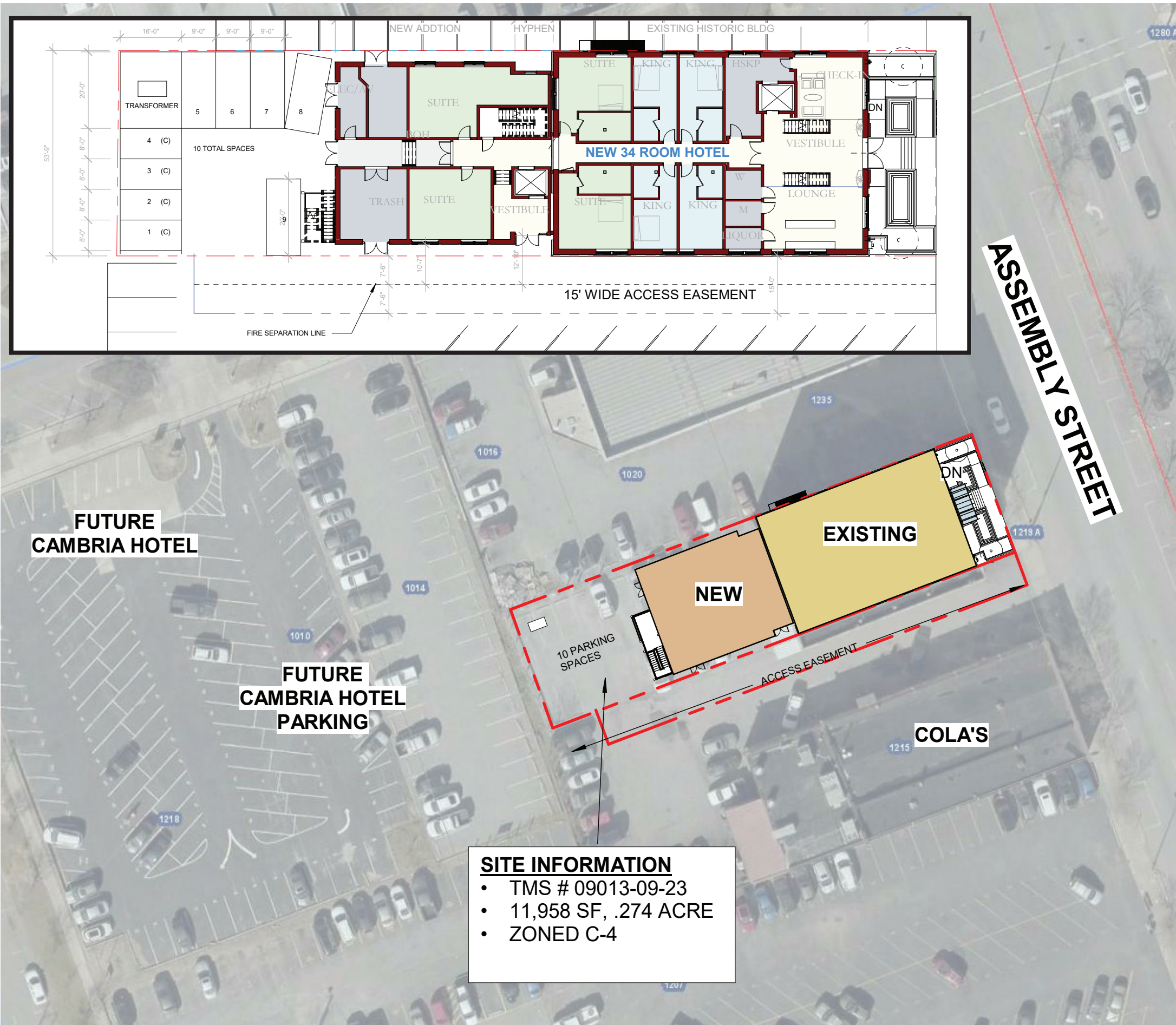
# ARMORY HOTEL IN THE VISTA

EXISTING SITE AND PARKING



# ARMORY HOTEL IN THE VISTA

## HOTEL SITE PLAN



The hotel is designed for 34 keys/rooms and is allowed a 50% reduction in parking requirements since there are 165 on-street parking spaces within 400' of the site. This results in a need for 17 parking spaces.

Due to the extraordinary and exceptional conditions on the site (BOZA variance application has been submitted), there will be 9 parking spaces on-site with additional parking available off-site. Trees will be added in the parking area to meet landscaping requirements.

Major vehicular access (drop-off/entry and exit) will be off Assembly Street where there is an easement access drive.

There is an existing Crepe Myrtle tree along the front sidewalk.

### SITE INFORMATION

- TMS # 09013-09-23
- 11,958 SF, .274 ACRE
- ZONED C-4

# ARMORY HOTEL IN THE VISTA

## EXISTING LANDSCAPING

Below are pictures of existing landscaping. We are committed to keeping as much as possible.



EXISTING CREPE MYRTLE TREES



EXISTING CREPE MYRTLE TREES



EXISTING BOX HEDGES



3

EXTERIOR  
DESIGN

ARMORY HOTEL IN THE VISTA  
EXISTING PHOTOS



ASSEMBLY STREET ELEVATION



SOUTHEAST CORNER



NORTHEAST CORNER



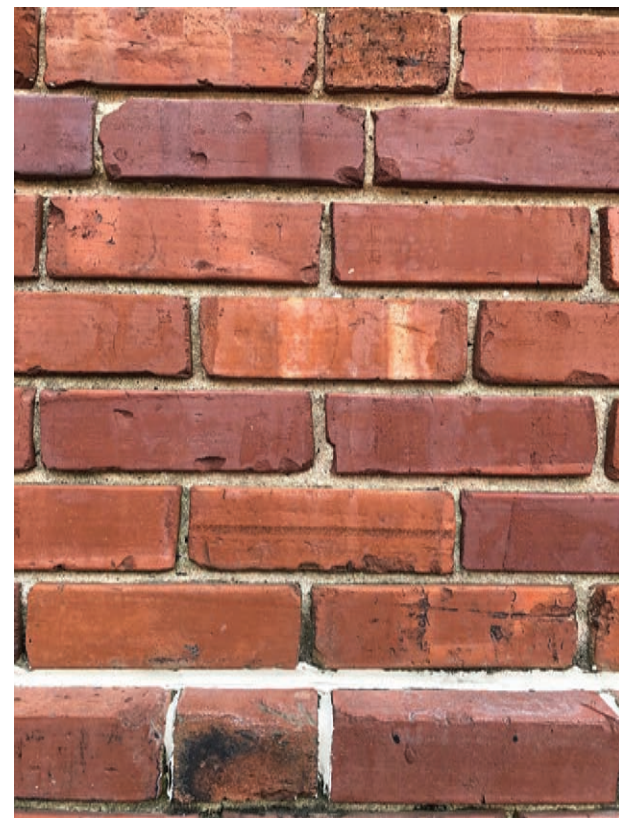
NORTHWEST CORNER



SOUTHWEST CORNER AT FIRE STAIR

# ARMORY HOTEL IN THE VISTA

EXISTING PHOTOS



## SECRETARY OF INTERIORS - RECOMMENDATIONS FOR ADDITIONS TO HISTORIC BUILDINGS

<https://www.nps.gov/tps/standards/rehabilitation/rehab/new01.htm>

### RECOMMENDED



**Small glass connector between two historic buildings with appropriate setback.**

Placing functions and services required for the new use in non-character-defining interior spaces rather than installing a new addition.

Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.



**Contemporary addition (left) to historic library appropriately placed on secondary side elevation.**

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building.

Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.



**EXISTING HISTORIC BUILDING  
{1905}**

FACADE MADE WITH  
MODULAR BRICK

VERTICAL REPETITIOUS  
WINDOWS

PROJECTED BRICK  
WATERTABLE

PROJECTED BRICK  
DETAIL AT WINDOW  
JAMBS

BALANCE



**NEW CONTEMPORARY BUILDING  
 {2021}**

FACADE MADE WITH  
 QUEEN BRICK

VERTICAL REPETITIOUS  
 WINDOWS

RECESSED BRICK  
 WATERTABLE

RECESSED BRICK DETAIL  
 AT WINDOW JAMBS

BALANCE

**H  
 Y  
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 N**

**EXISTING HISTORIC BUILDING  
 {1905}**

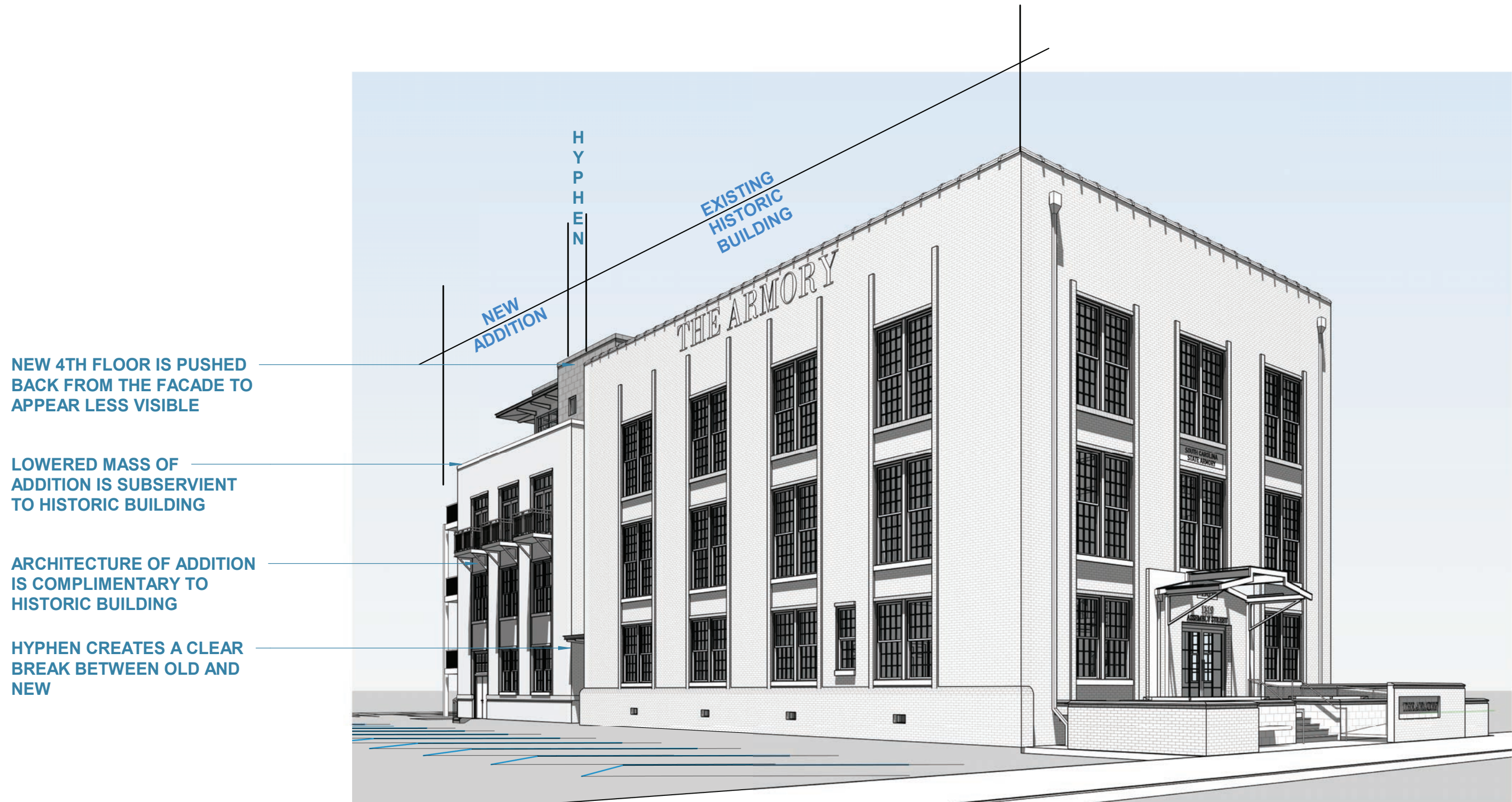
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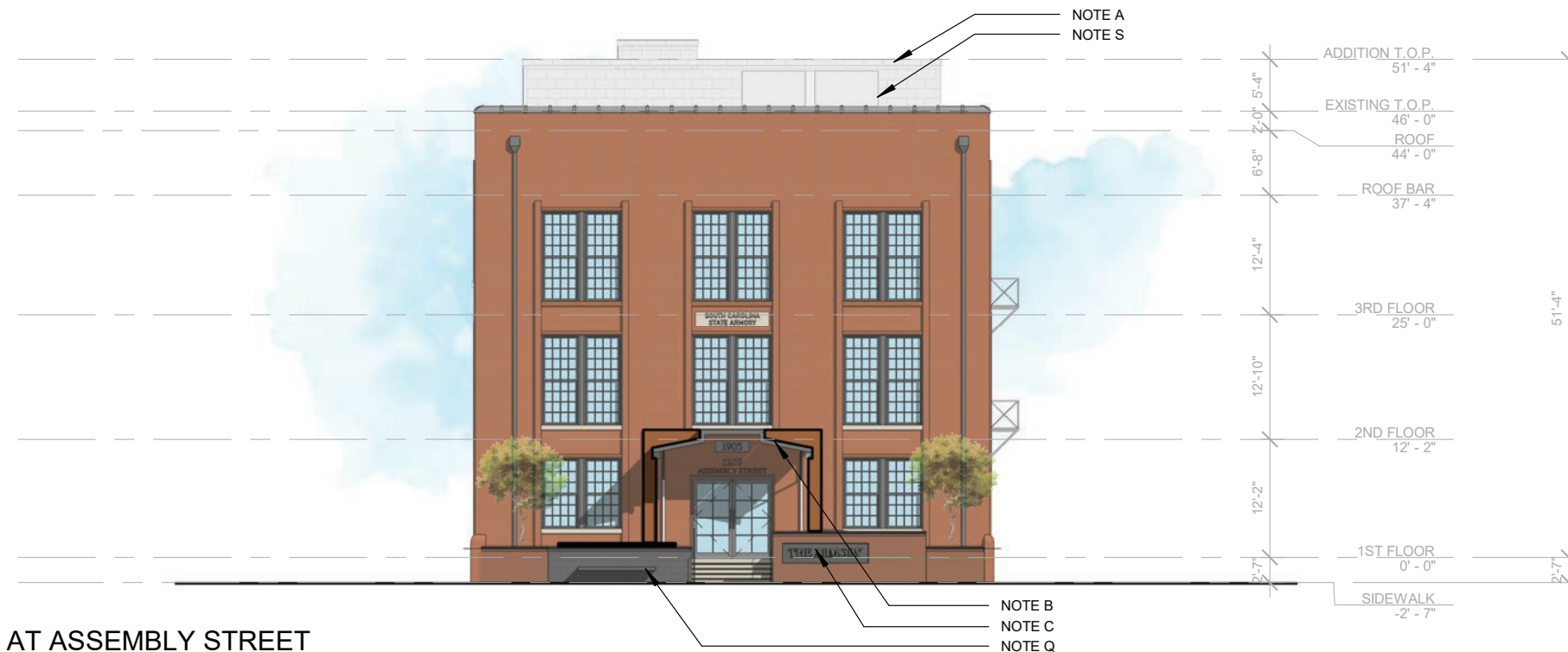
PROJECTED BRICK  
 DETAIL AT WINDOW  
 JAMBS

BALANCE



# ARMORY HOTEL IN THE VISTA

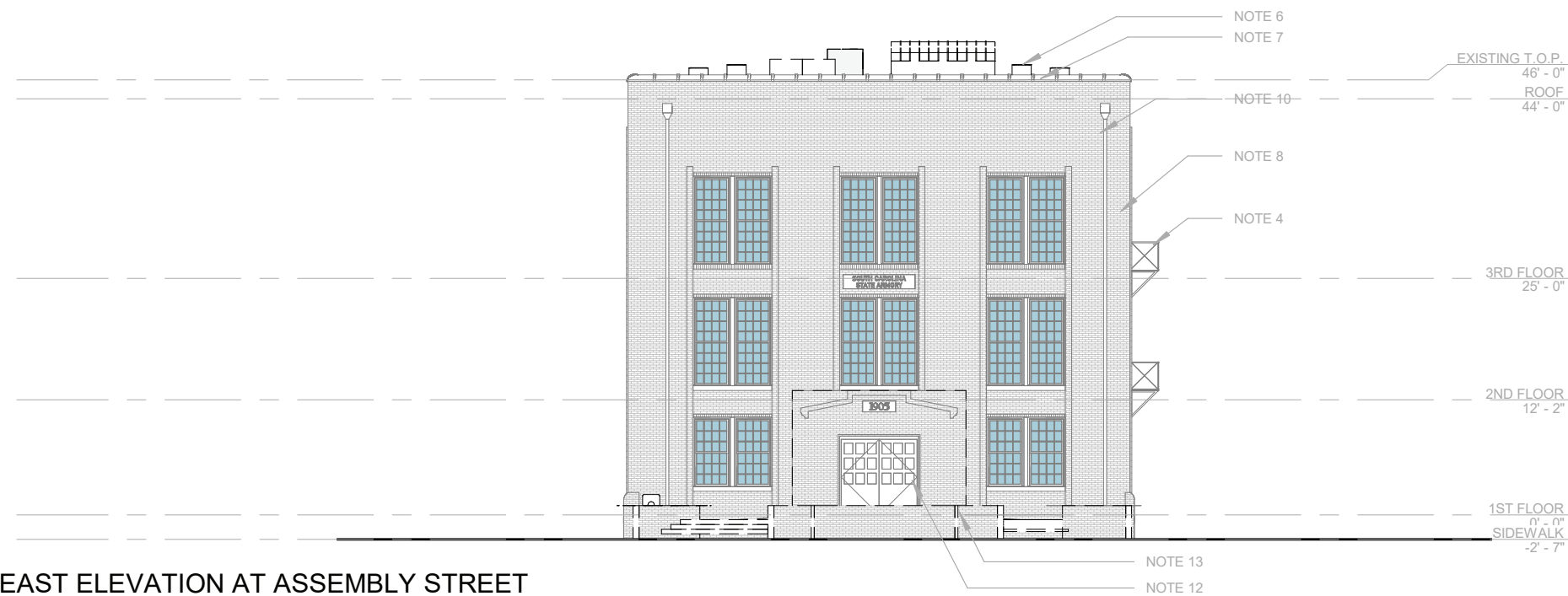
## EAST ELEVATIONS



NEW EAST ELEVATION AT ASSEMBLY STREET

### NEW ELEVATION NOTES

- A. HYPHEN AND NEW 4TH FLOOR ROOFTOP BAR TO BE CLAD IN ZINC PANELS. THE 4TH FLOOR STRUCTURE IS SET BACK 83' FROM FACE OF EXISTING HISTORIC BUILDING.
- B. NEW GLASS AND METAL CANOPY AT FRONT ENTRANCE.
- C. NEW STAIRS, ADA RAMP, SITE WALLS AND FOUNTAIN AT ENTRANCE.
- D. METAL SERVICE DOOR WITH LOUVERED TRANSOM, BRICK ROWLOCK HEADER
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EXISTING EAST ELEVATION AT ASSEMBLY STREET

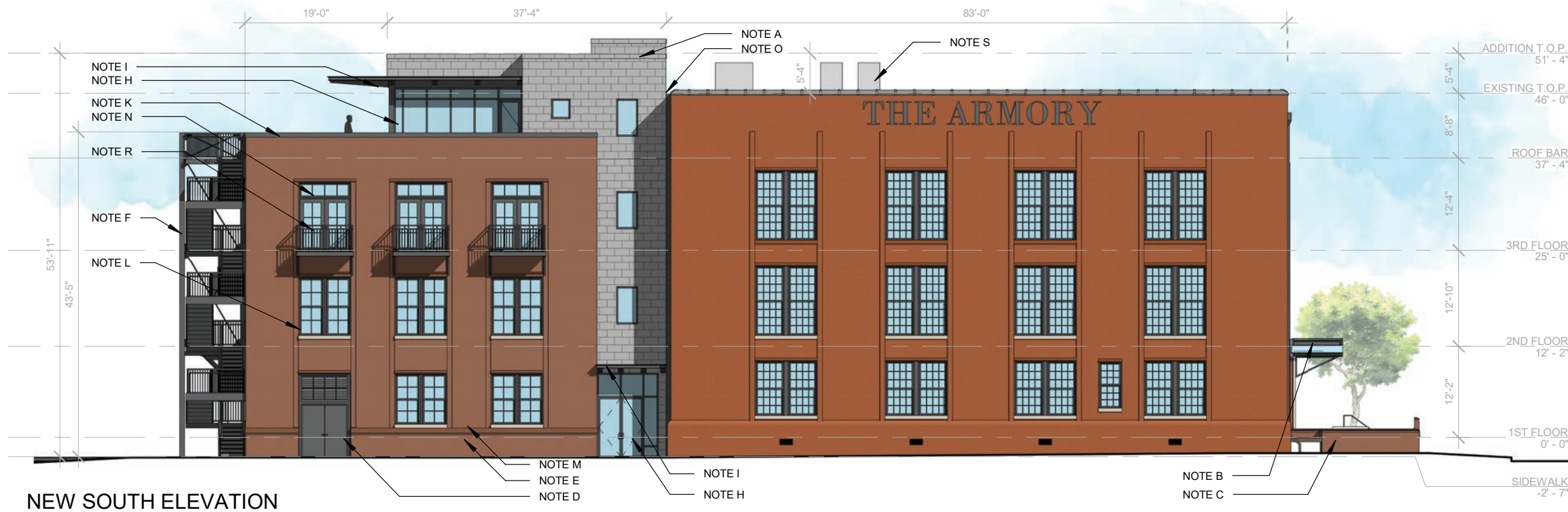
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- 14. REMOVE SECTION OF BRICK WALL TO PREP FOR NEW WINDOW OPENING TO MATCH EXISTING HISTORIC WINDOWS.

SCALE: 1/16" = 1'-0"

# ARMORY HOTEL IN THE VISTA

## SOUTH ELEVATIONS



NEW SOUTH ELEVATION

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EXISTING SOUTH ELEVATION

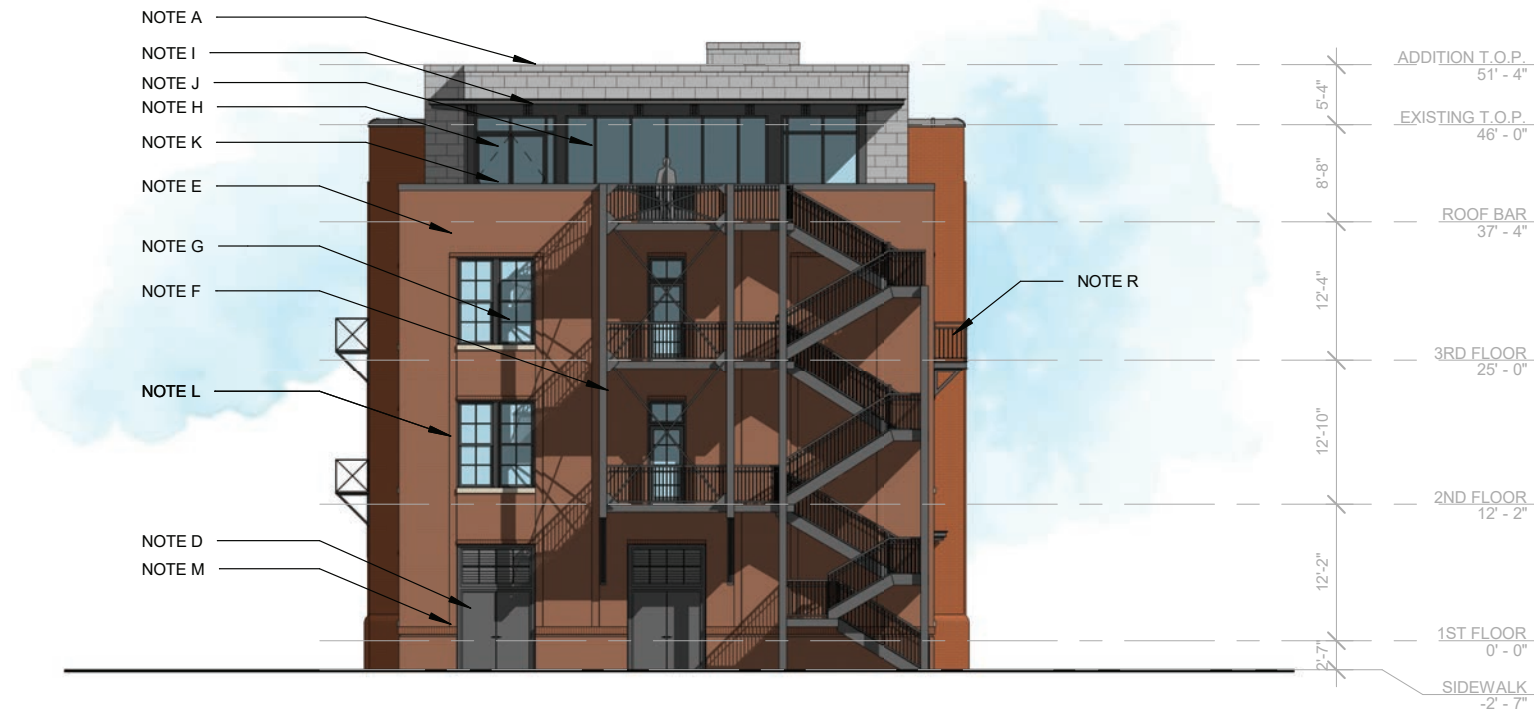
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# ARMORY HOTEL IN THE VISTA

## WEST ELEVATIONS



NEW WEST ELEVATION

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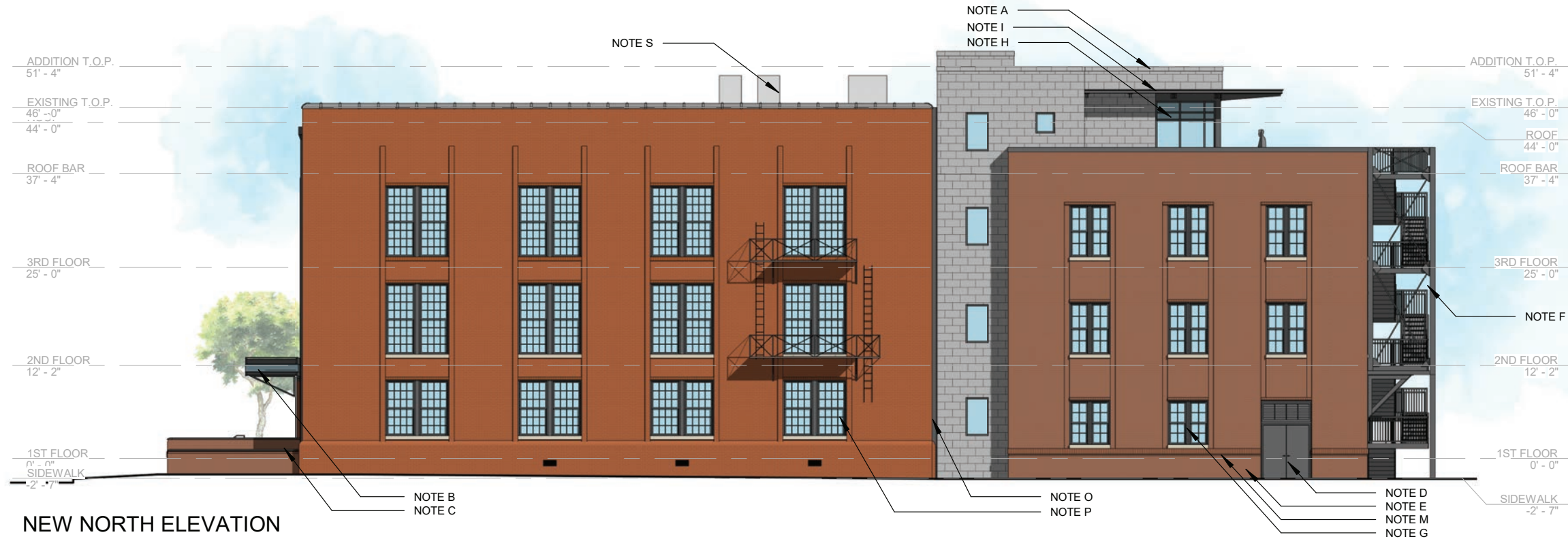
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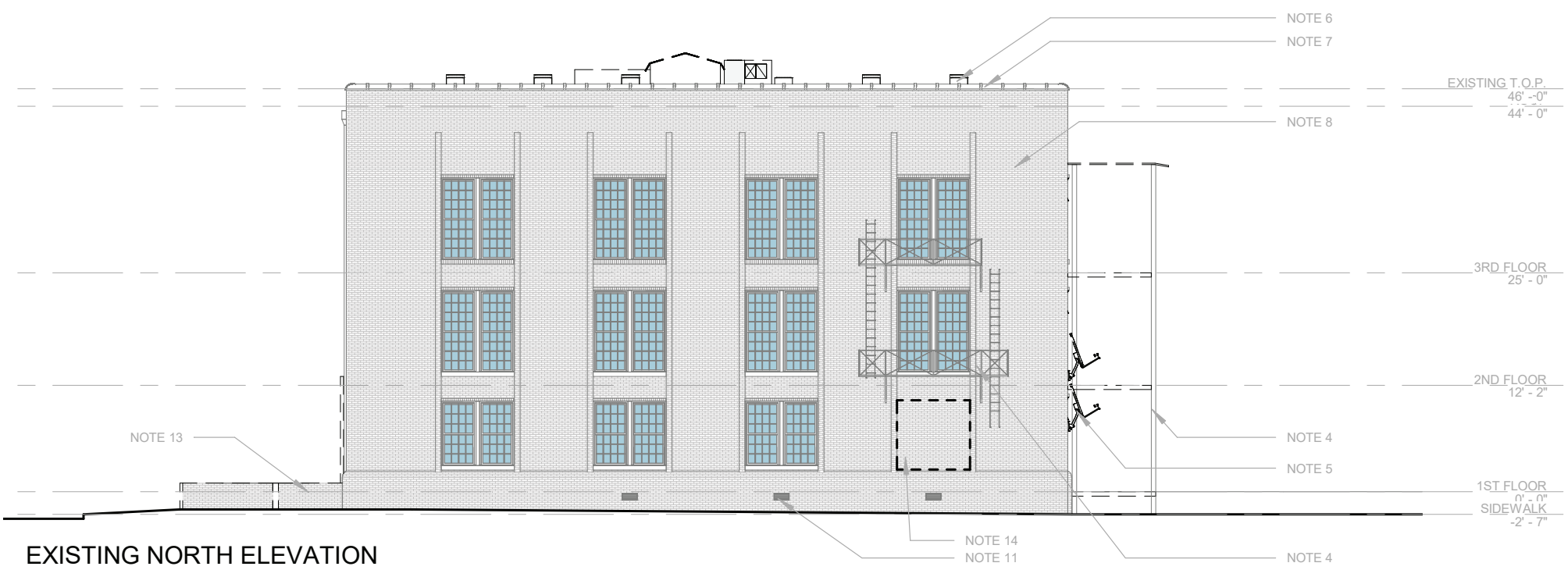
## NORTH ELEVATIONS



NEW NORTH ELEVATION

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EXISTING NORTH ELEVATION

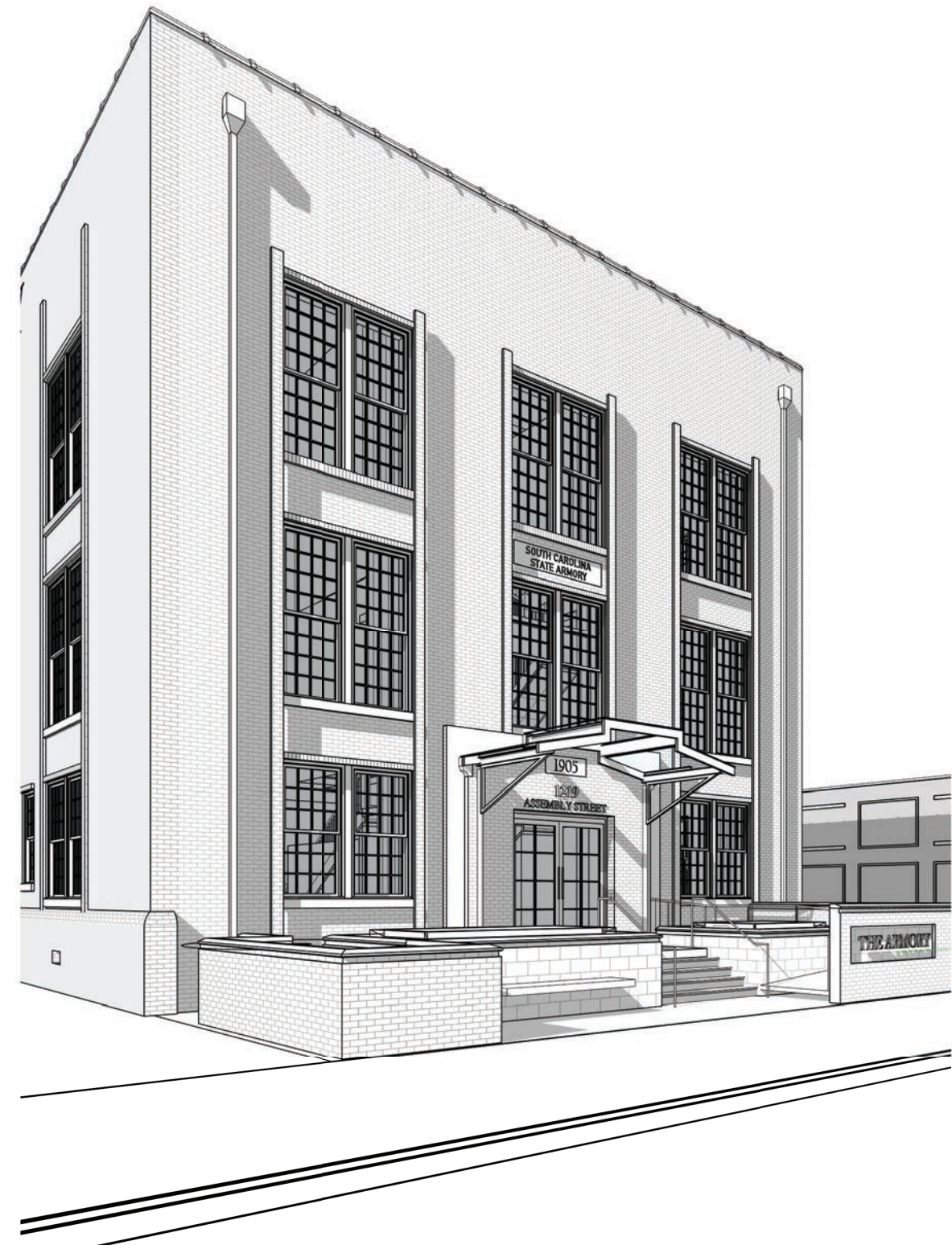
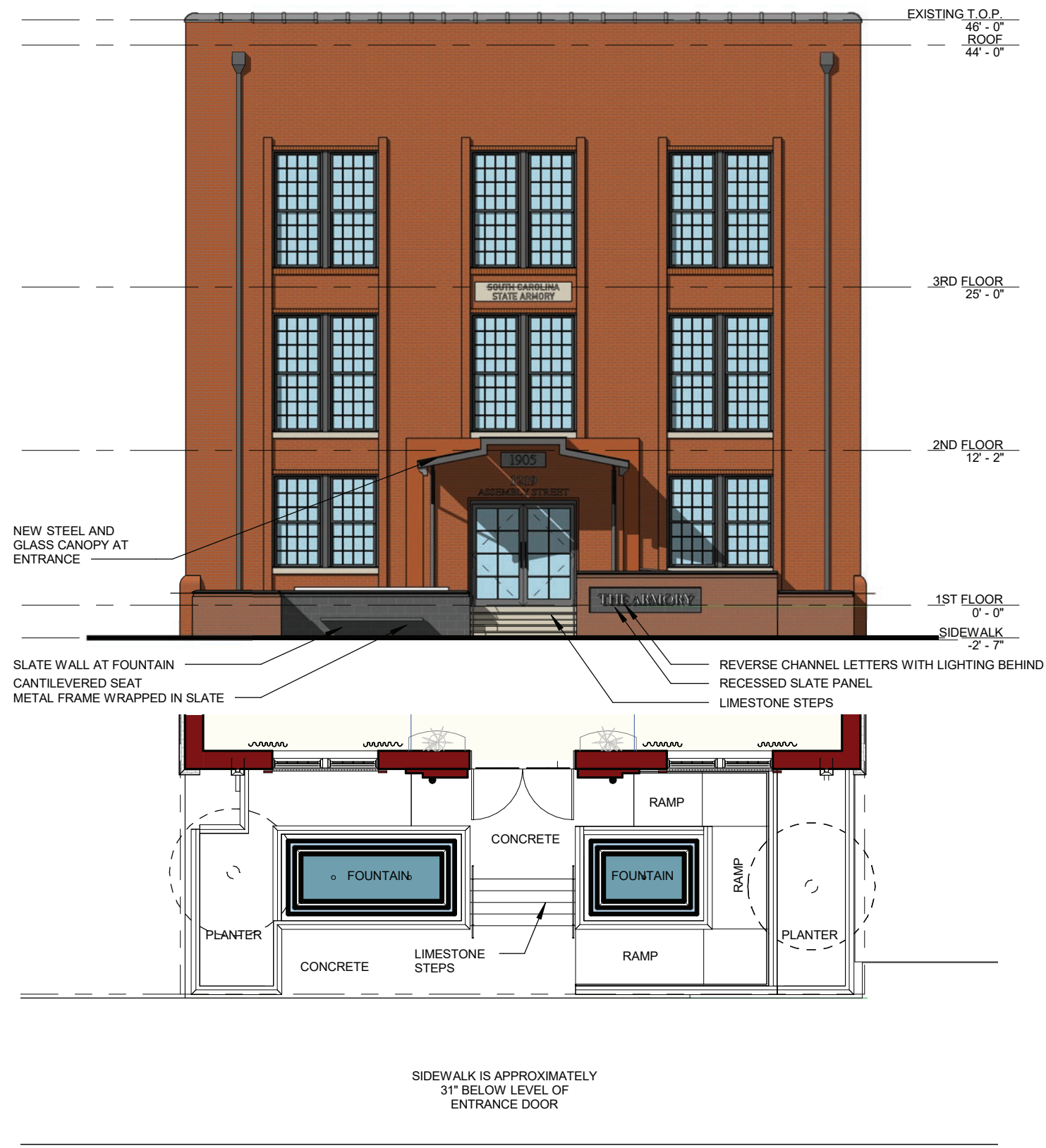
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14. REMOVE SECTION OF BRICK WALL TO PREP FOR NEW WINDOW OPENING TO MATCH EXISTING HISTORIC WINDOWS.

⊕ SCALE: 1/16" = 1'-0"

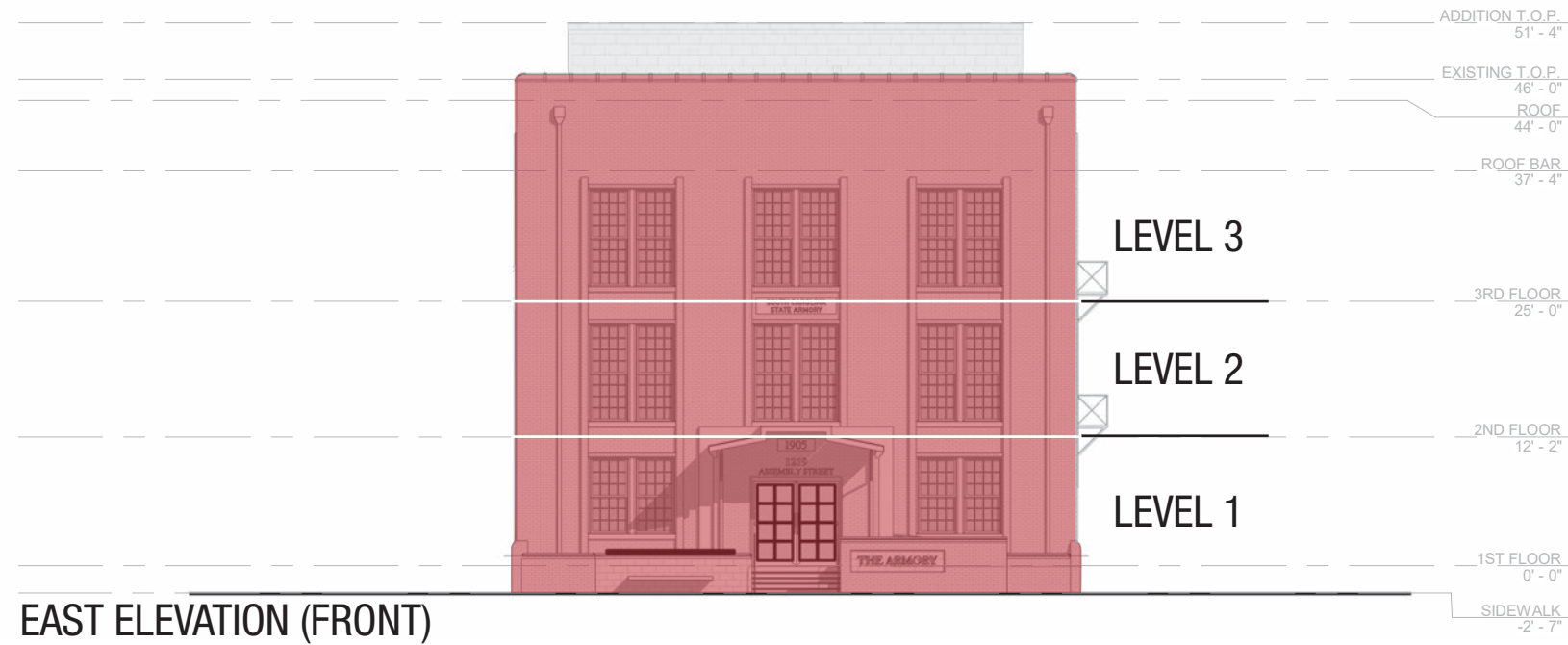
# ARMORY HOTEL IN THE VISTA

## FRONT ELEVATIONS



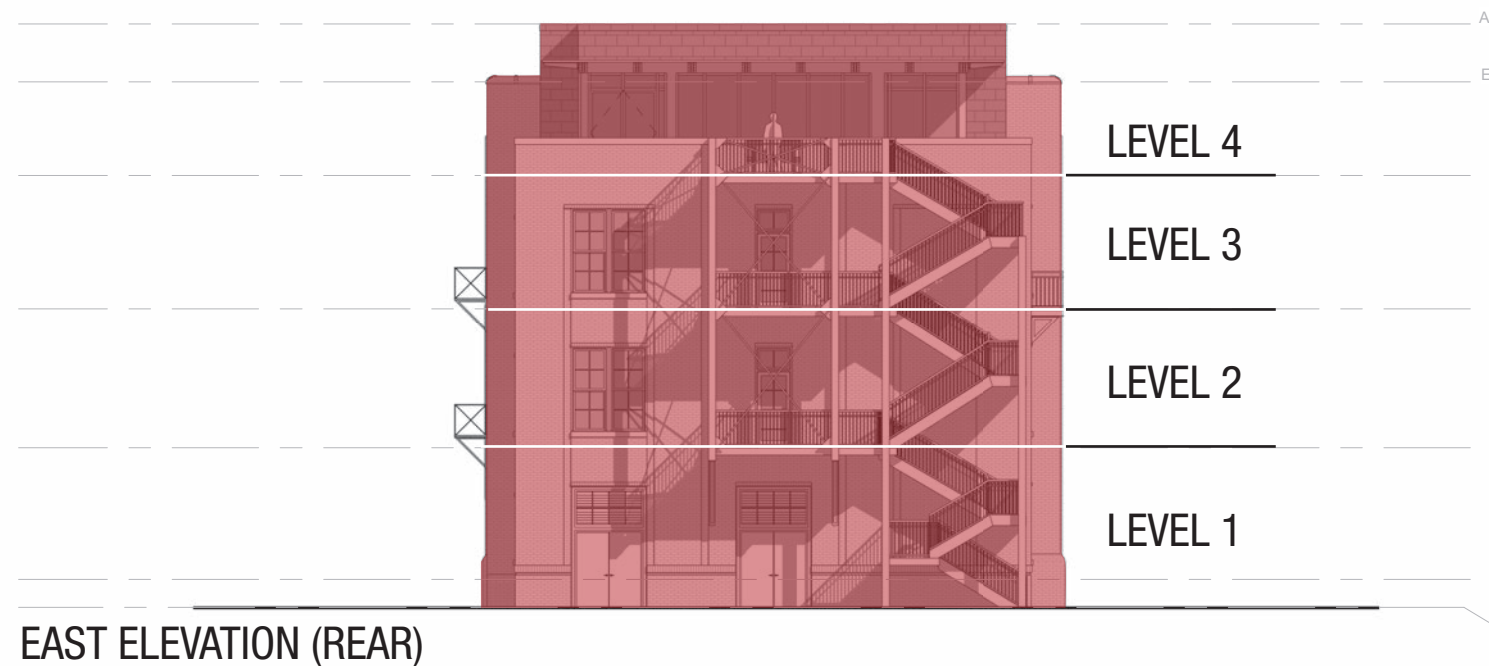
# ARMORY HOTEL IN THE VISTA

## GLAZING PERCENTAGES



Level 3: 20%  
Level 2: 34%  
Level 1: 26%

East Elevation at  
Assembly Street  
Not to Scale



Level 4: 38%  
Level 3: 11%  
Level 2: 14%  
Level 1: 0%

West Elevation  
Not to Scale

# ARMORY HOTEL IN THE VISTA

## GLAZING PERCENTAGES

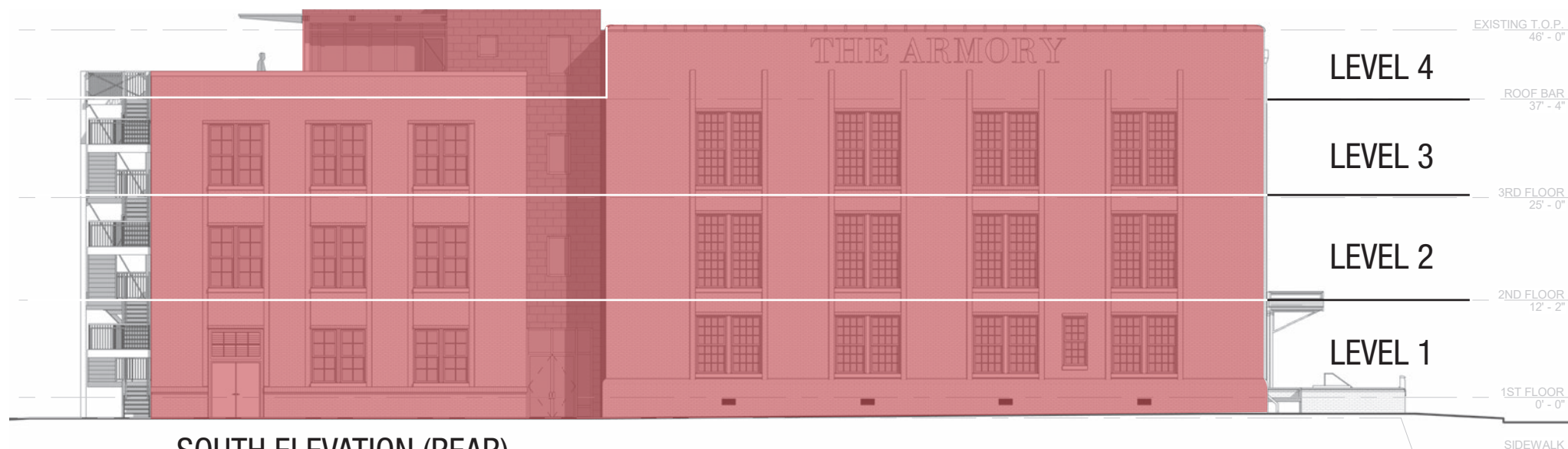


NORTH ELEVATION (FRONT)

|          |     |
|----------|-----|
| Level 4: | 16% |
| Level 3: | 16% |
| Level 2: | 24% |
| Level 1: | 15% |

**North Elevation**  
Not to Scale

Due to proximity to the North property line, we are limited on glazing percentages



SOUTH ELEVATION (REAR)

|          |     |
|----------|-----|
| Level 4: | 32% |
| Level 3: | 19% |
| Level 2: | 27% |
| Level 1: | 22% |

**South Elevation**  
Not to Scale

# ARMORY HOTEL IN THE VISTA

3D RENDERINGS



SOUTHEAST VIEW FROM ASSEMBLY STREET



FRONT APPROACH OFF FROM ASSEMBLY STREET



FRONT ELEVATION



NORTHWEST CORNER

# ARMORY HOTEL IN THE VISTA

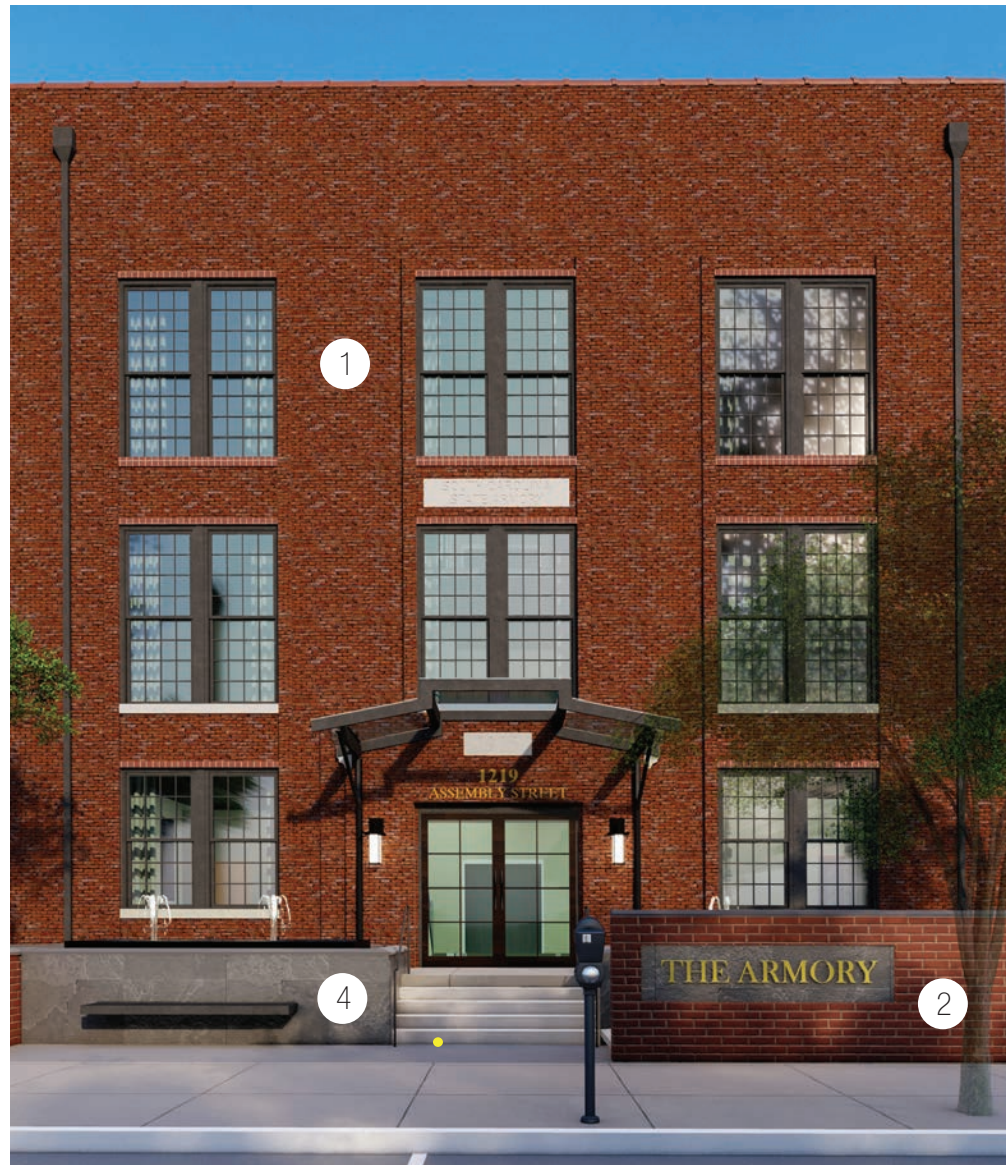
3D RENDERINGS



NORTHEAST CORNER



FRONT ELEVATION



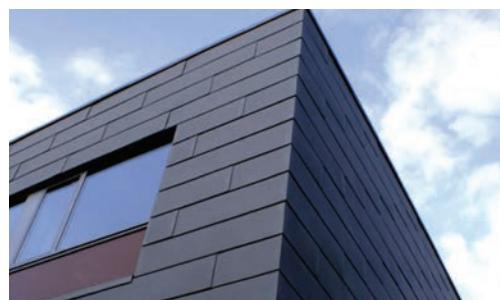
1. Existing Brick



2. New Brick: Red Wirecut (Queen Size)



3. Zinc



4. Slate Slab



5. Stained Wood Soffit



# ARMORY HOTEL IN THE VISTA

## DETAIL LIST



### RESTORING HISTORIC DETAIL



- (A) Preserve existing Battalion sign on five panel door.
- (B) Restore 3rd floor metal roof trusses
- (C) Existing Wood Windows to Remain: Paint to Match Zinc

1. New Aluminum Front Entry Door

2. New Negative Edge Fountain and Bubblers

3. New Metal Clad Windows (Gray) to match Zinc

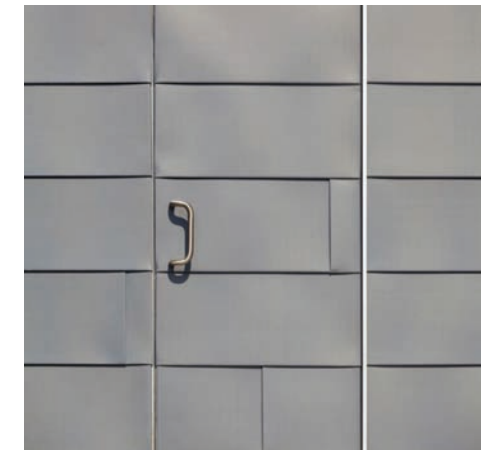
4. New Painted Steel Balconies to match Zinc

5. New Zinc Clad Exterior Door

6. New Aluminum Storefront at Rooftop Bar



\*4" depth from face of facade\*



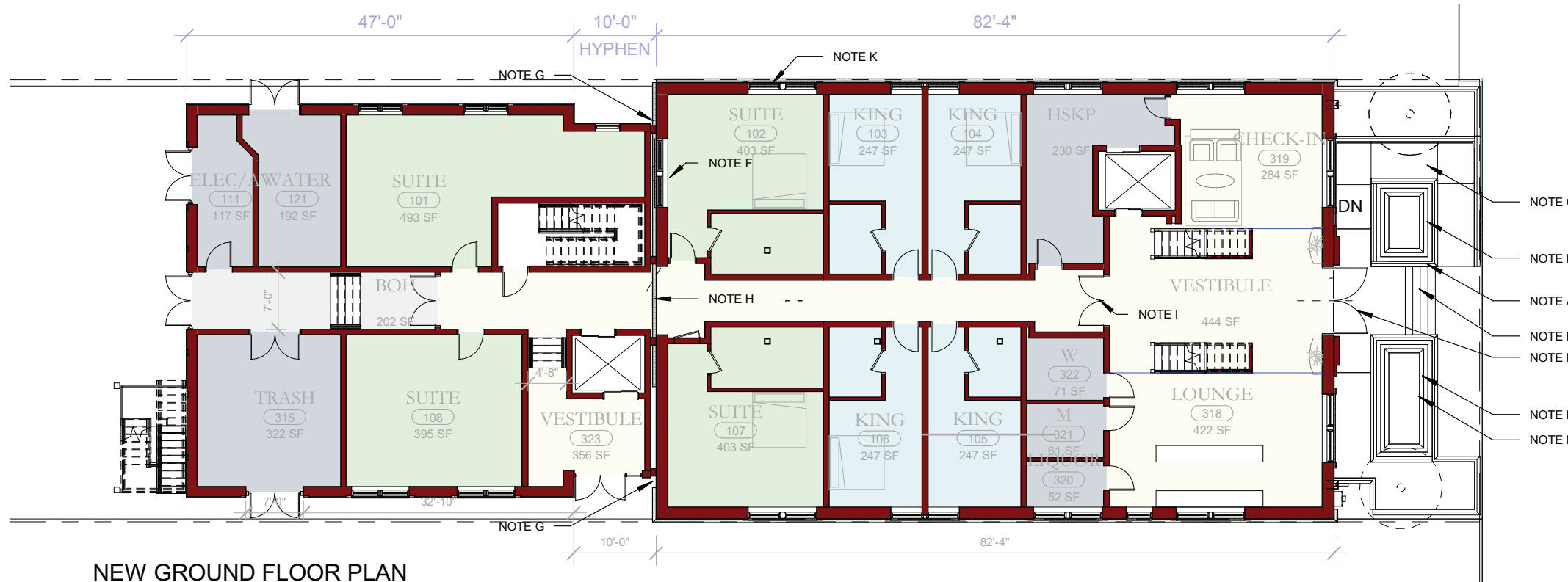


4

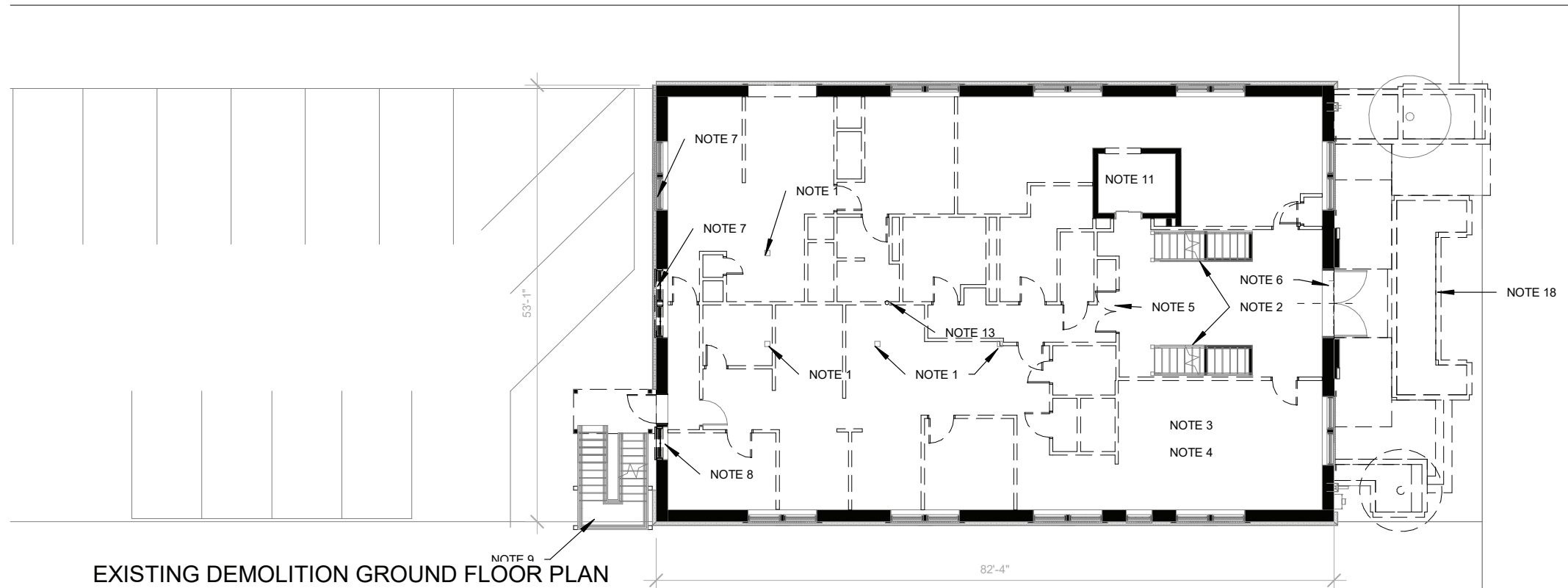
FLOOR  
PLANS

# ARMORY HOTEL IN THE VISTA

## FLOOR PLAN CONCEPTS



NEW GROUND FLOOR PLAN



EXISTING DEMOLITION GROUND FLOOR PLAN

### NEW PLAN NOTES

- A. NEW GLASS AND METAL CANOPY.
- B. NEW EXTERIOR STEPS CAST STONE STEPS CENTERED ON ENTRANCE.
- C. NEW CONCRETE ADA RAMP, 1:12 SLOPE WITH MILD STEEL HAND RAILS.
- D. NEW FOUNTAIN
- E. NEW FRONT ENTRANCE DOOR TO SWING OUT.
- F. WINDOW TO BE RETAINED AS FEATURE IN GUESTROOM. OPAQUE WHITE FILM TO BE APPLIED TO BACKSIDE OF GLASS. INSULATION TO BE ADDED AT BACK SIDE
- G. 8" BLACK RUBBER EXPANSION JOINT
- H. NEW CASED OPENING AT FORMER WINDOW LOCATION.
- I. SALVAGED 5 PANEL HISTORIC DOOR.
- J. NEW MODIFIED BITUMIN ROOF
- K. NEW WOOD DOUBLE HUNG WINDOW TO MATCH EXISTING HISTORIC WINDOWS.

| LEVEL | EXISTING | NEW      | TOTAL     |
|-------|----------|----------|-----------|
| 1     | 4,367 sf | 2,670 SF | 7,037 SF  |
| 2     | 4,367 sf | 2,670 SF | 7,037 SF  |
| 3     | 4,367 sf | 2,670 SF | 7,037 SF  |
| 4     | 0 sf     | 1,540 SF | 1,540 SF  |
| TOTAL | 13,101   | 8,790 SF | 22,651 SF |

| LEVEL | KING  | DBL QN | SUITE | TOTAL |
|-------|-------|--------|-------|-------|
| 1     | 4     | 0      | 4     | 8     |
| 2     | 8     | 2      | 3     | 13    |
| 3     | 8     | 2      | 3     | 13    |
| 4     | 20    | 4      | 10    | 34    |
|       | 58.8% | 11.7%  | 29.4% |       |

### EXISTING DEMO PLAN NOTES

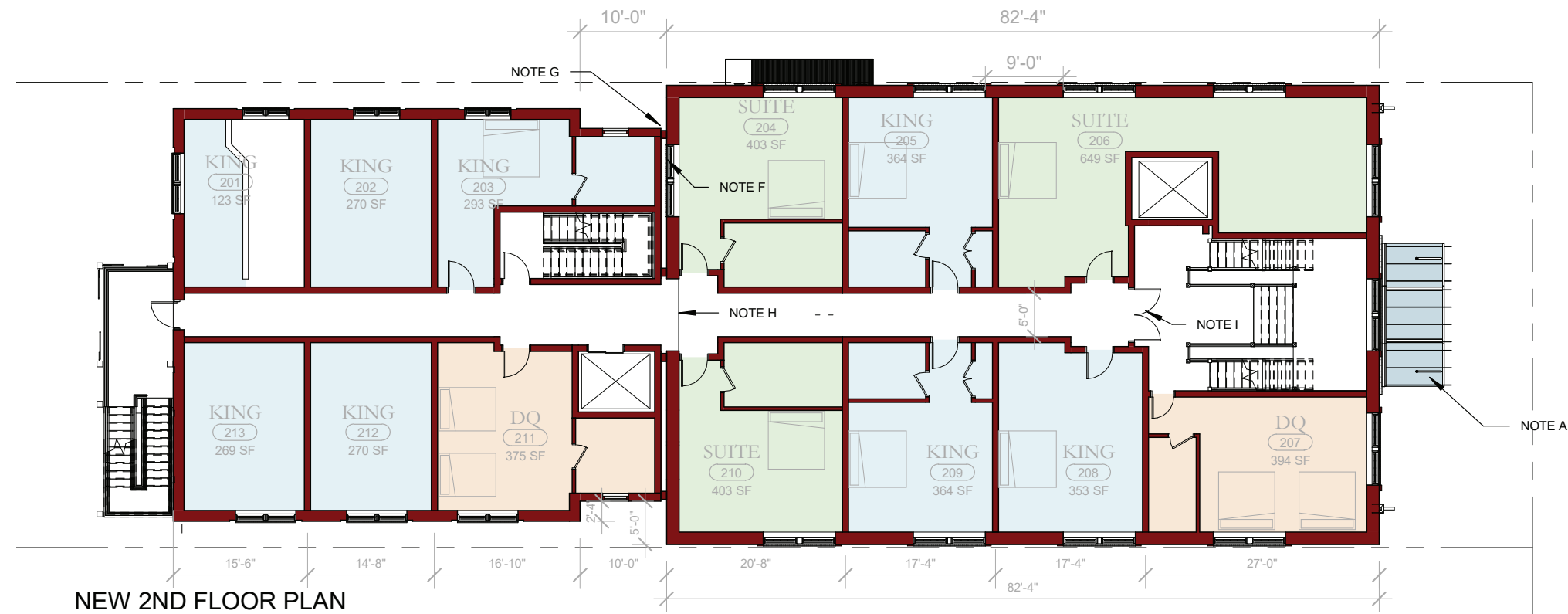
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- 3. HEART PINE WOOD FLOORING TO REMAIN THROUGHOUT BUILDING. FLOORING TO BE REFINISHED FOR REUSE IN NEW HOTEL. WHERE NEEDED, FLOORING TO BE REPLACED OR FILLED WITH LIKE KIND MATERIAL.
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- 18. EXTERIOR STAIR, RAMP AND SITE WALLS TO BE REMOVED.

ASSEMBLY STREET

ASSEMBLY STREET

# ARMORY HOTEL IN THE VISTA

## FLOOR PLAN CONCEPTS



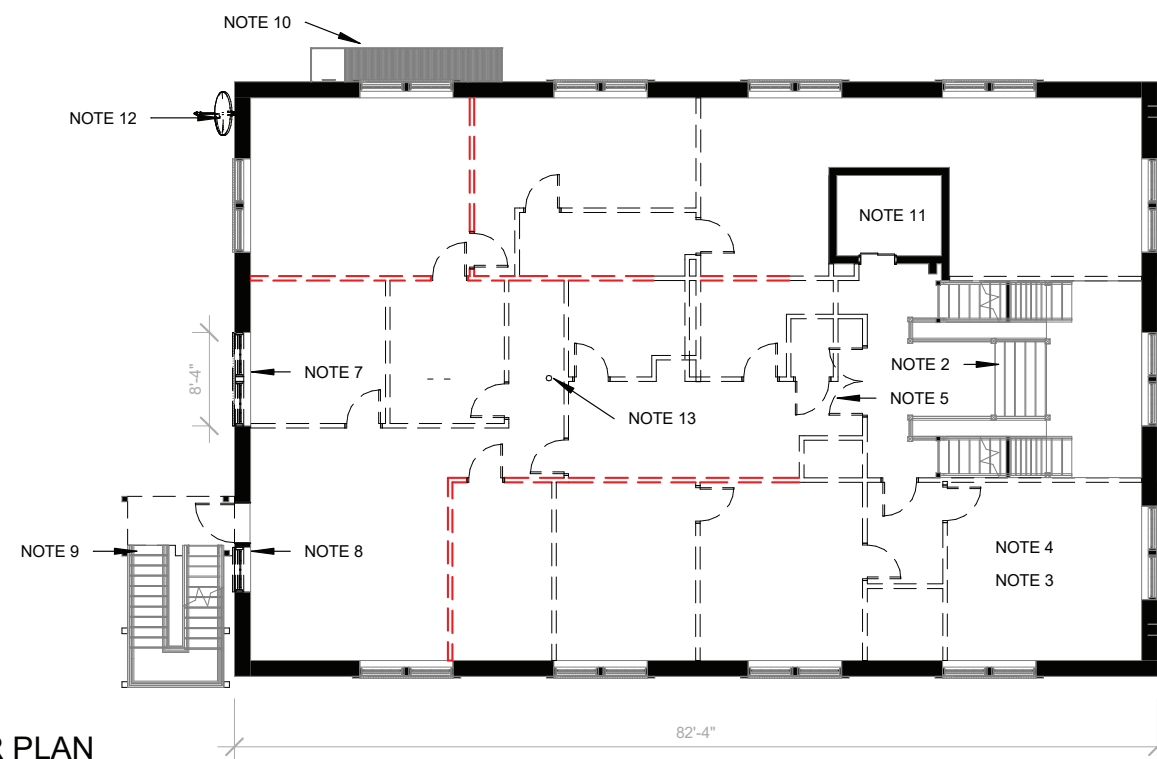
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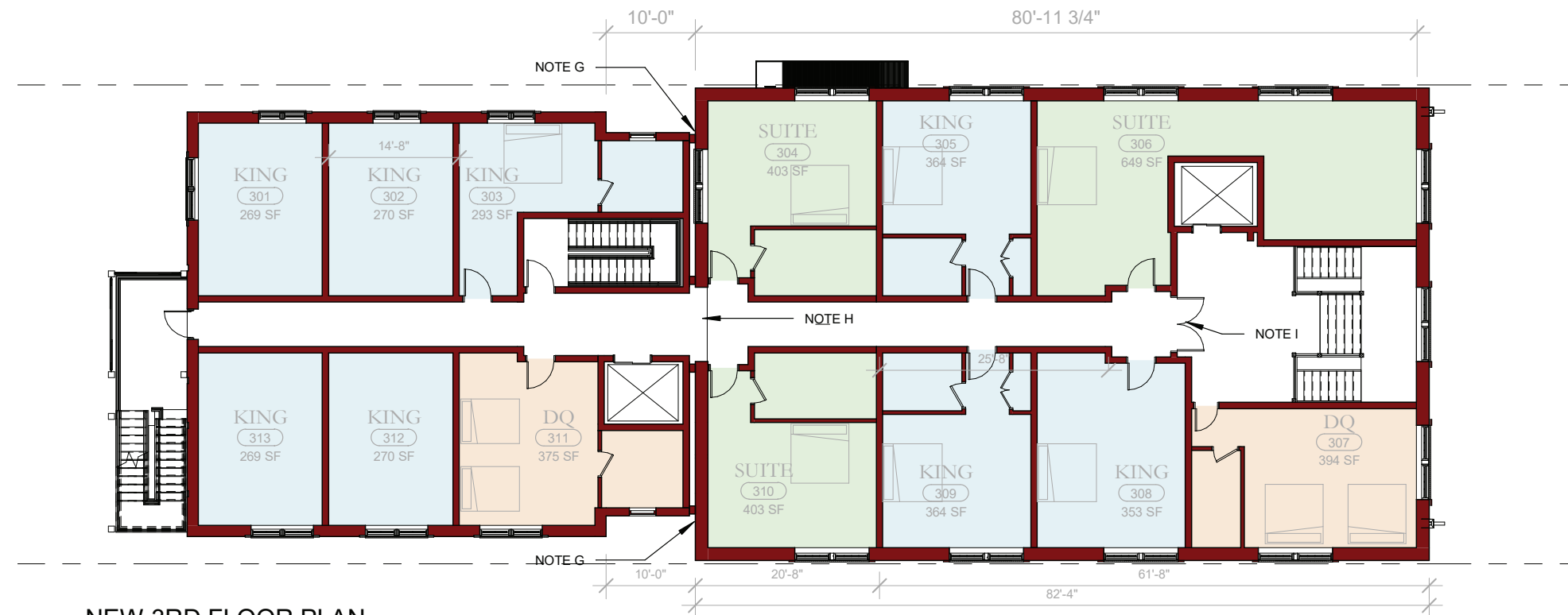
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# ARMORY HOTEL IN THE VISTA

## FLOOR PLAN CONCEPTS



NEW 3RD FLOOR PLAN

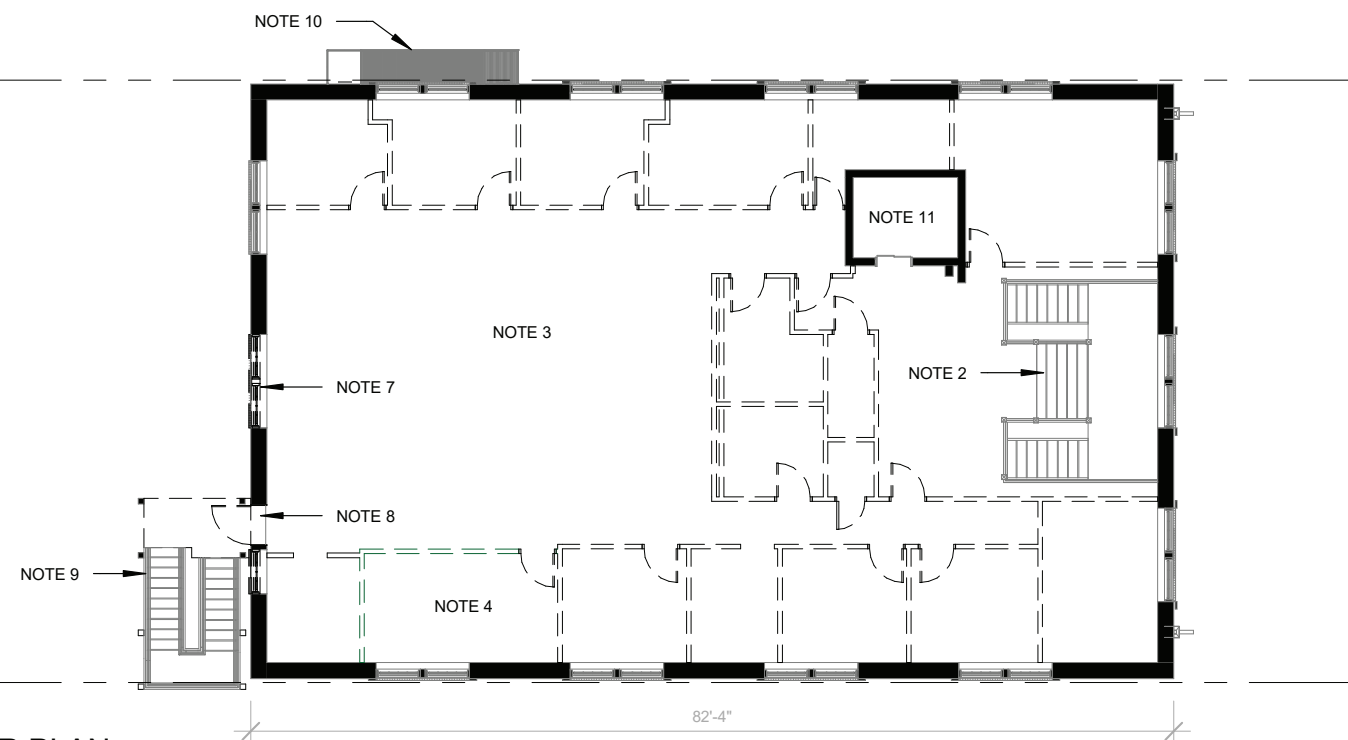
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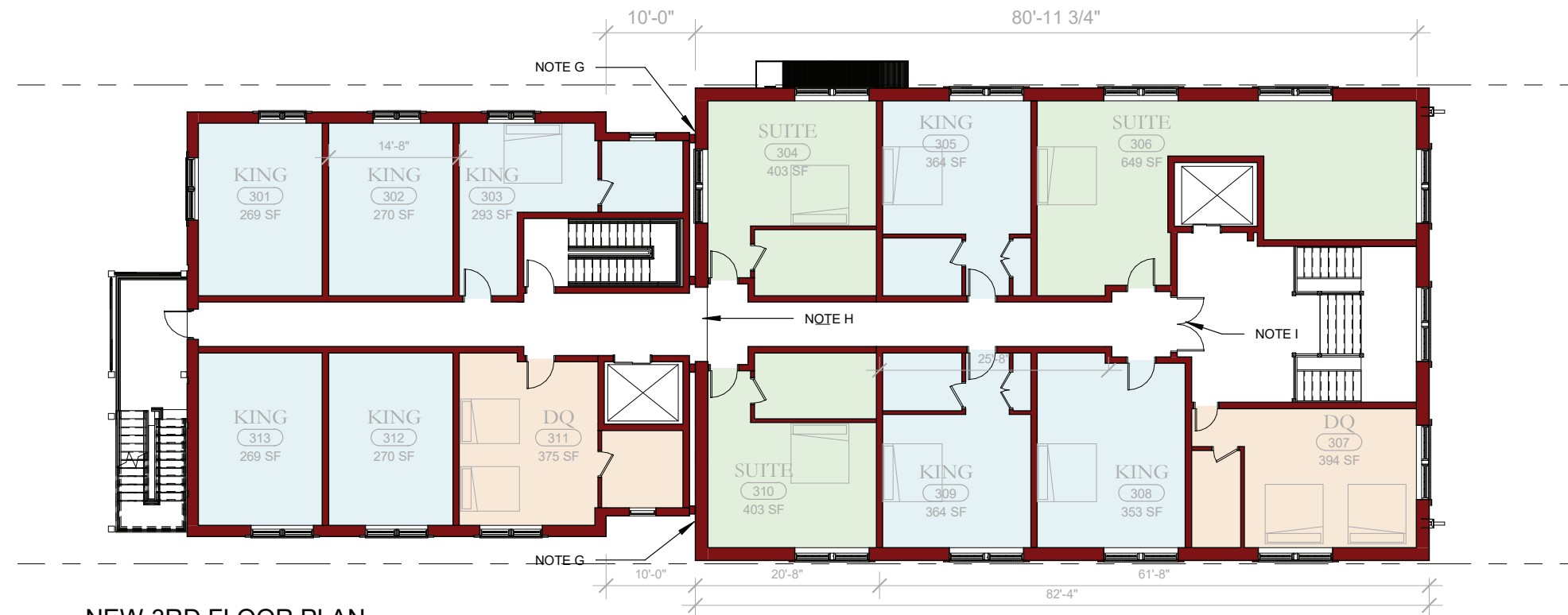
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EXISTING DEMOLITION 3RD FLOOR PLAN

# ARMORY HOTEL IN THE VISTA

## FLOOR PLAN CONCEPTS



NEW 3RD FLOOR PLAN

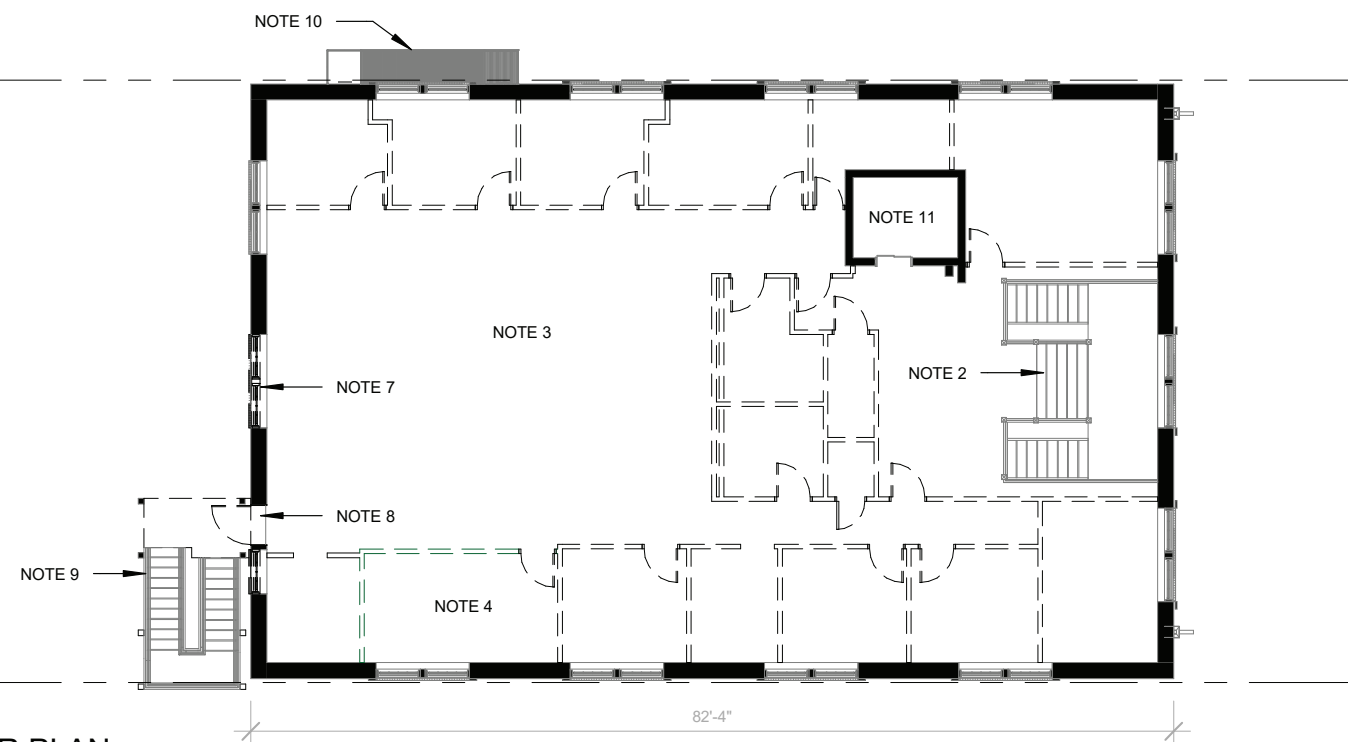
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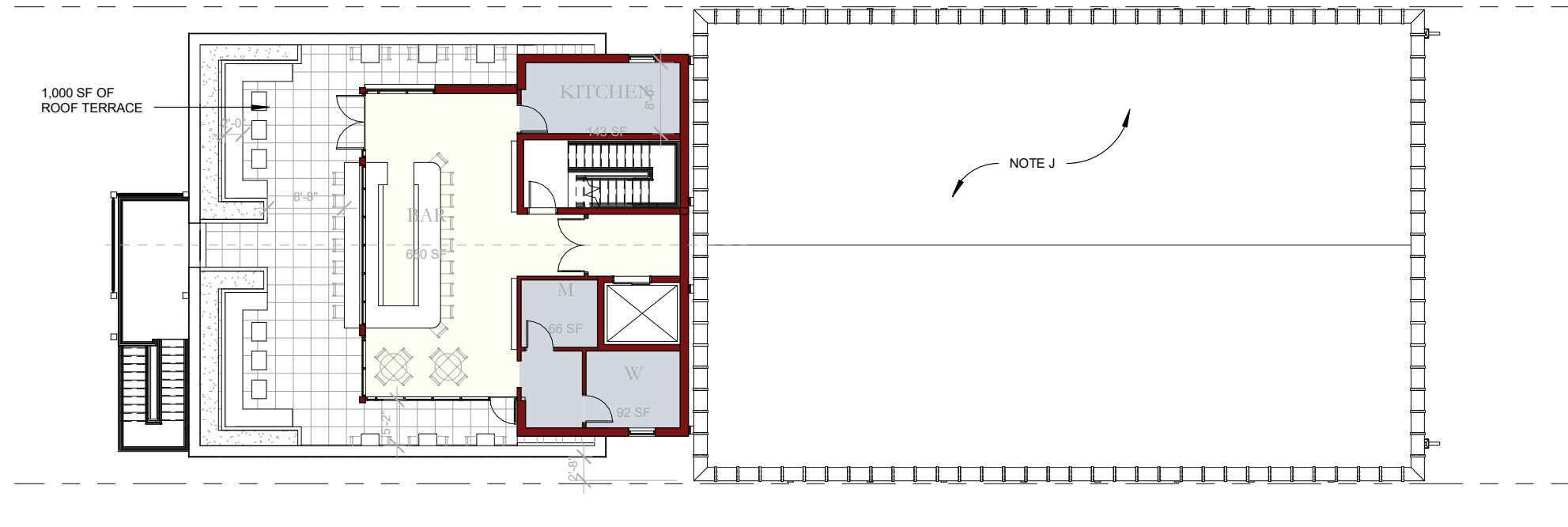
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EXISTING DEMOLITION 3RD FLOOR PLAN

# ARMORY HOTEL IN THE VISTA

## FLOOR PLAN CONCEPTS



NEW ROOF PLAN

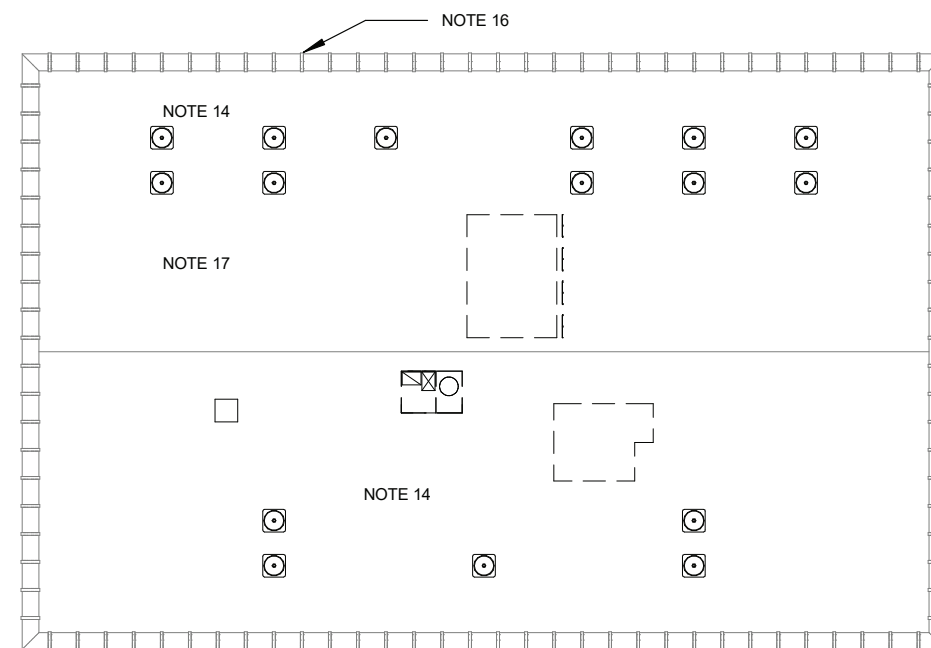
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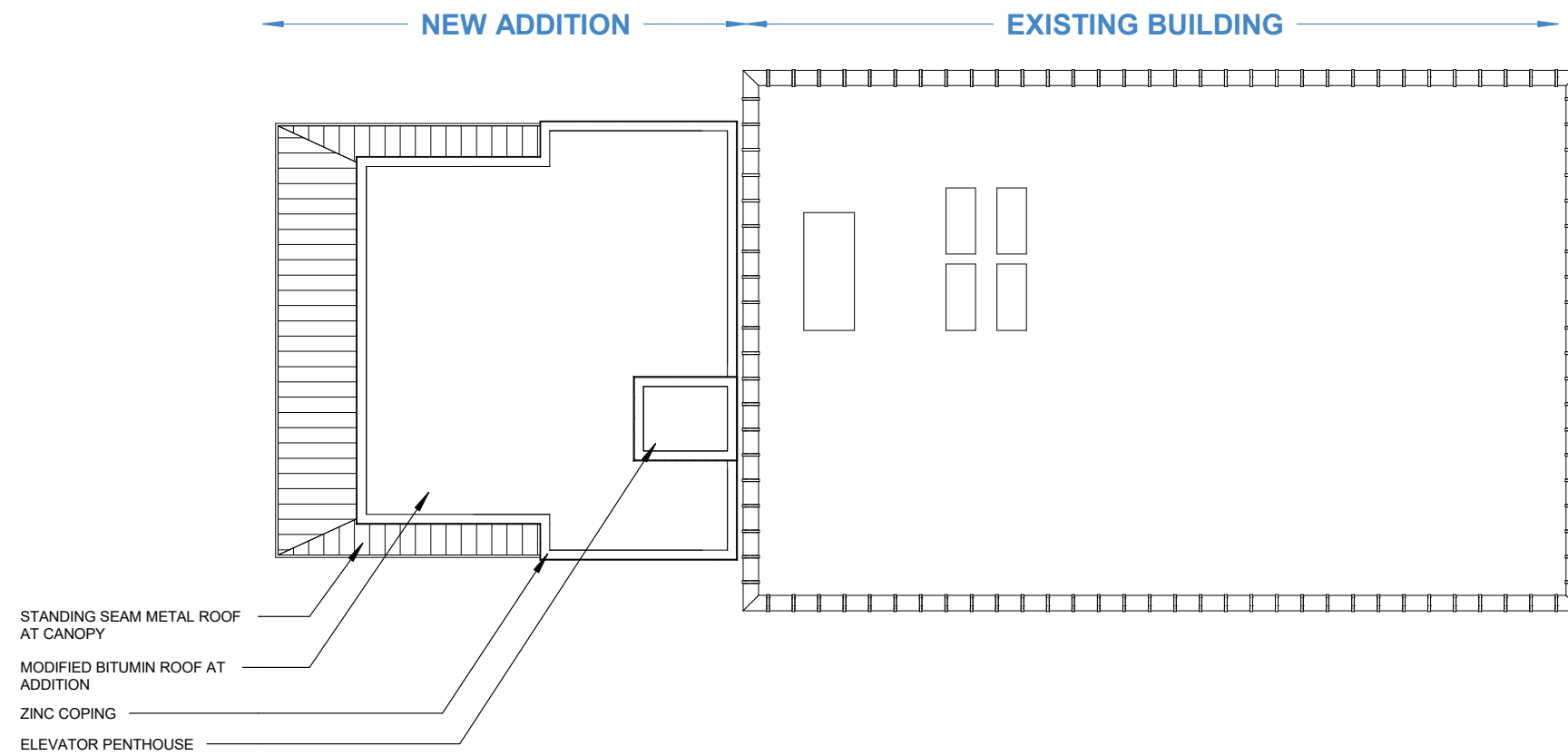
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EXISTING DEMOLITION ROOF PLAN



HIGH ROOF PLAN ABOVE ROOFTOP BAR

