



01/29/2017

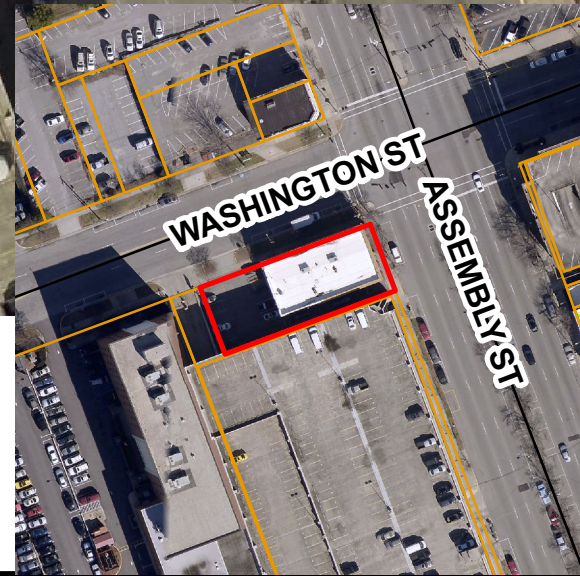


D/DRC Case

1337 Assembly Street

City Center Design/Development District

TMS# 09013-10-06



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC/CONSENT AGENDA
EVALUATION SHEET
Case # 2

ADDRESS: 1337 Assembly Street

APPLICANT: Steve Costell, agent, Lambert Architecture

TAX MAP REFERENCE: TMS# 09013-10-06

USE OF PROPERTY: Commercial

REVIEW DISTRICT: National Register Structure/ City Center
Design/Development District

NATURE OF REQUEST: Request for Certificate of Design Approval for addition and preliminary certification of the Bailey Bill.

FINDINGS/COMMENTS:

This building is on the National Register and as such, qualifies for the Bailey Bill. Per the 2011 National Register nomination: “The Columbia Electric Street Railway, Light & Power Company Substation, constructed in 1900 with later additions and alterations, is architecturally significant for its distinctive Italian Renaissance Revival characteristics and historically significant for its direct association with Columbia’s street railway or trolley system. The building was designed by W. B. Smith Whaley, an architect well-known for his cotton mills throughout the American southeast. The substation, like many of Whaley’s designs, is typically Italian Renaissance Revival in many of its defining features.”

The owners of the building are looking to bring the building up to code, largely on the interior, and to add a rooftop addition modeled after one which was historically on the building (verified by photographs). Additionally, a ramp for accessibility is planned for the rear (west) elevation of the building. This is also a tax credit project so an additional review is conducted by the South Carolina State Historic Preservation Office staff.

PERTINENT SECTIONS FROM THE GUIDELINES:

Bailey Bill Ordinance, Sec. 17-698. Eligible rehabilitation.

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

No historic materials are proposed to be removed.

(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

Not applicable.

(3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Although the property has changed over time, proposed changes retain the building's character.

(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

Not applicable.

(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The proposed rooftop addition is modelled after the one shown in a 1911 photograph and should be somewhat visible from the public right-of-way. The height shall be about seven and a half feet to the eave which is close to what it was originally and the footprint appears to be similar to what can be seen of the original rooftop structure in the historic photo.

Guardrails and other details of the rooftop addition look to be appropriately designed and placed; staff is happy to handle these details.

(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

Interior renovations to the building include a second floor which will be visible through the large windows on the side and rear of the building. The proposal to use a black film on the inside of certain panes of the windows will prevent a view of the floor bisecting the window. This allows retention of the original windows while blocking an unsightly view; additionally, the film is removable in the event future interior renovations are desired.

The rooftop addition is similar in massing, size, scale, etc., to what can be understood of the original and so meets this guideline.

(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The rooftop addition could be removed at any point without damage to the building's historic materials.

STAFF RECOMMENDATIONS:

Staff finds that the project generally complies with Sec. 17-698 of the City Ordinance and recommends preliminary certification for the Bailey Bill with the following conditions:

- a. The project meeting or exceeding the 20% investment threshold requirements for qualified rehabilitation expenses;

- b. All work meeting the standards for work as outlined in Section 17-698;
- c. All details deferred to staff.

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Brick</u> Approximate date of feature <u>1900, 1912 - Present</u> Describe feature and its condition The exterior is red brick masonry laid in a common bond pattern with the North, East, and South elevations similar in design elements and aesthetics. The East (Assembly St) façade contains a recessed wooden storefront entry that was believed to have been altered from the original entry ca. 1938.</p> <p>Photograph No. <u>1-9, 11-14</u> Drawing No. <u>A4.1-A4.2</u></p>	<p>Describe work and impact on feature All existing brick to remain and be protected during construction.</p> <p>The existing brick appears to be in good condition and will remain as is on all elevations.</p>
<p>Architectural feature <u>Entrances/Doors</u> Approximate date of feature <u>1900</u> Describe feature and its condition The only historic door still remaining appears to be the main entry door off Assembly Street. All interior doors are non-historic.</p> <p>Photograph No. <u>2, 5, 7</u> Drawing No. <u>A1.1, A4.2</u></p>	<p>Describe work and impact on feature</p> <p>The Assembly Street door will remain and be painted where required. All interior doors will be removed and replaced with modern doors.</p>
<p>Architectural feature <u>Windows</u> Approximate date of feature <u>1900, 1912-Present</u> Describe feature and its condition The North, East, and South elevations of the building all have painted wooden archtop fixed windows with an arch transom above. The windows on the South elevation are one story tall, they do not have painted panels, but appear to have the historic stone sills. The North and East elevation windows are two stories tall and have painted wooden panels at their bases.</p> <p>Photograph No. <u>1-8, 11-14</u> Drawing No. <u>A1.1-A5.2</u></p>	<p>Describe work and impact on feature</p> <p>The exterior windows are to remain. In order to obscure the existing second floor construction that is visible from the exterior, a removable 3M blackout film will be placed on the back of the panes of glass that intersect with the second floor. Any historic window hardware/operating mechanisms to remain. A mockup of the blackout film will be provided for approval prior to installation on all windows.</p>
<p>Architectural feature <u>Stairs</u> Approximate date of feature <u>2014</u> Describe feature and its condition The Assembly St. stair is currently not code compliant and connects the first and second floors. The alleyway stair connects the basement, first, and second floors, but the run that leads to the basement is also not code compliant. Both stairs appear to be non-historic with non-historic railing.</p> <p>Photograph No. <u>15, 16</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>The Assembly Street stair will be removed and rebuilt to meet code requirements. Similar to the existing stair, this stair will be of wood construction and will connect the first and second levels but will have an additional run of stairs that connects the second level to the proposed rooftop patio. The run of the alleyway stair that connects the basement and first floor will be removed, and the current opening in the floor will be in-filled to match the existing. The new portion of the alleyway stair will be wood construction and will run parallel with the south exterior wall before switching back to connect to the first level near the existing door that leads to the alleyway. The existing portion of the alleyway stairs that connects the first floor to the second will remain and will be extended up to the proposed rooftop patio level.</p>

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature <u>Floors</u> Approximate date of feature <u>1900,1912,1927,1936</u> Describe feature and its condition</p> <p>Due to multiple slabs being poured over the years the existing flooring in the basement consists of several concrete slabs that are at different elevations. The flooring on the first level consists of hardwood covered in carpet, and tile in the restrooms. The second floor consists of finished hardwood pine flooring and tile in the restrooms.</p> <p>Photograph No. <u>15,16</u> Drawing No. <u>D1.1,A1.0-A1.2</u></p>	<p>Describe work and impact on feature</p> <p>In order to be code compliant, the concrete slab in the basement will be removed, and the earth below will be excavated before pouring a new concrete slab. The carpet on the first floor will be removed and replaced in the enclosed offices, private calls/small groups, and conference room, the remainder of the first floor will receive hardwood pine flooring to match the second level flooring. The restrooms will have tile. The second level flooring will remain as is.</p>
<p>Architectural feature <u>Roof</u> Approximate date of feature <u>2014</u> Describe feature and its condition</p> <p>During the 2014 renovation of the second floor, a monitor roof with clerestory windows was added to the building in the approximate location of a portion of the historic monitor roof. Based on historic images/Sanborn Maps the original monitor roof appeared to have louvers, on the East/West ends, it had a higher eave height, and stretched almost the entire length of the building. Historic images also show more detail on the elevations of the monitor roof than exist today. The existing non-historic TPO roof appears to be in relatively good shape and is over a wood deck and heavy timber/steel beams.</p> <p>Photograph No. <u>17 - 20</u> Drawing No. <u>A1.3-A1.4,A5.2</u></p>	<p>Describe work and impact on feature</p> <p>Based on historic images/Sanborn Maps the existing monitor roof will be extended towards Assembly St. and the rear of the building. A portion of the existing roof will be removed to extend the existing monitor roof towards Assembly St. This extension will be conditioned space and will house the Assembly St. stair. The extension towards the rear of the building will be covered, but not conditioned space. The new roof that covers these two extensions will resemble the historic footprint, will be raised to correspond with historic proportions and will provide code required head heights. Each end will have design elements that relate back to the historic images. These elements include the stepped eaves, board and batten trim/moulding, and louvers. No historically inconsistent features associated with the roof top deck such as trees, shrubs, umbrellas, canopies etc. will be visible from the street.</p>
<p>Architectural feature _____ Approximate date of feature _____ Describe feature and its condition</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>
<p>Architectural feature _____ Approximate date of feature _____ Describe feature and its condition</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>

**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*



WASHINGTON STREET

PARK STREET

LADY STREET

ASSEMBLY STREET

Location Map

Bailey Bill Application Materials
1337 Assembly Street, Columbia, SC 29201

Existing Elevation Conditions



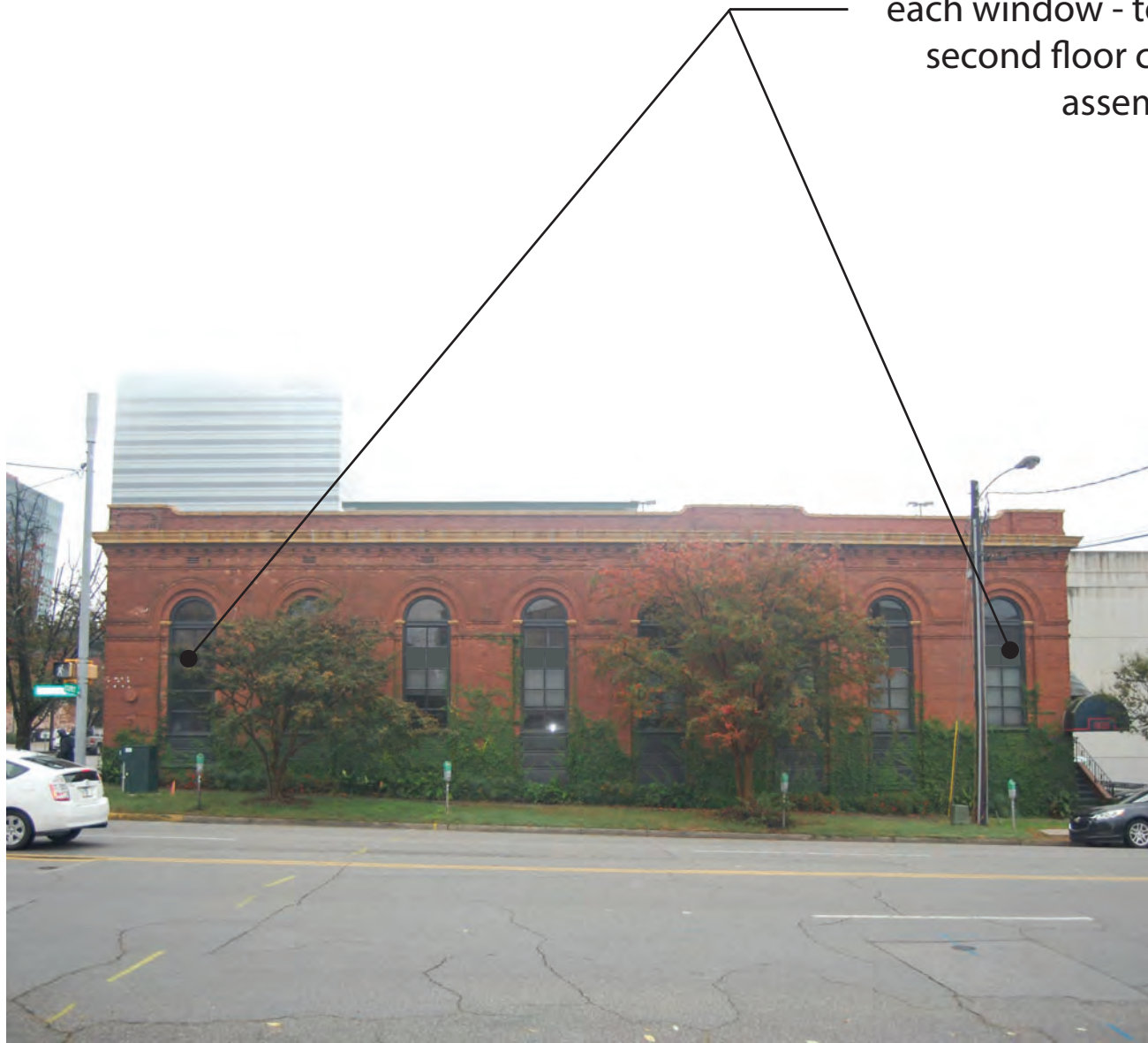
1. Existing North elevation of building.



2. Existing East elevation of building.

Proposed Elevation Conditions

Removable 3M blackout window film on back of panes typical of each window - to block view of second floor construction assembly



3. Existing North elevation of building.

4. Existing .East elevation of building.

Bailey Bill Application Materials
1337 Assembly Street, Columbia, SC 29201

Existing Elevation Conditions



5. Existing South elevation of building.



6. Existing South elevation of building.

Proposed Elevation Conditions

Removable 3M blackout window film on back of panes typical of each window - to block view of second floor construction assembly



7. Proposed South elevation of building.

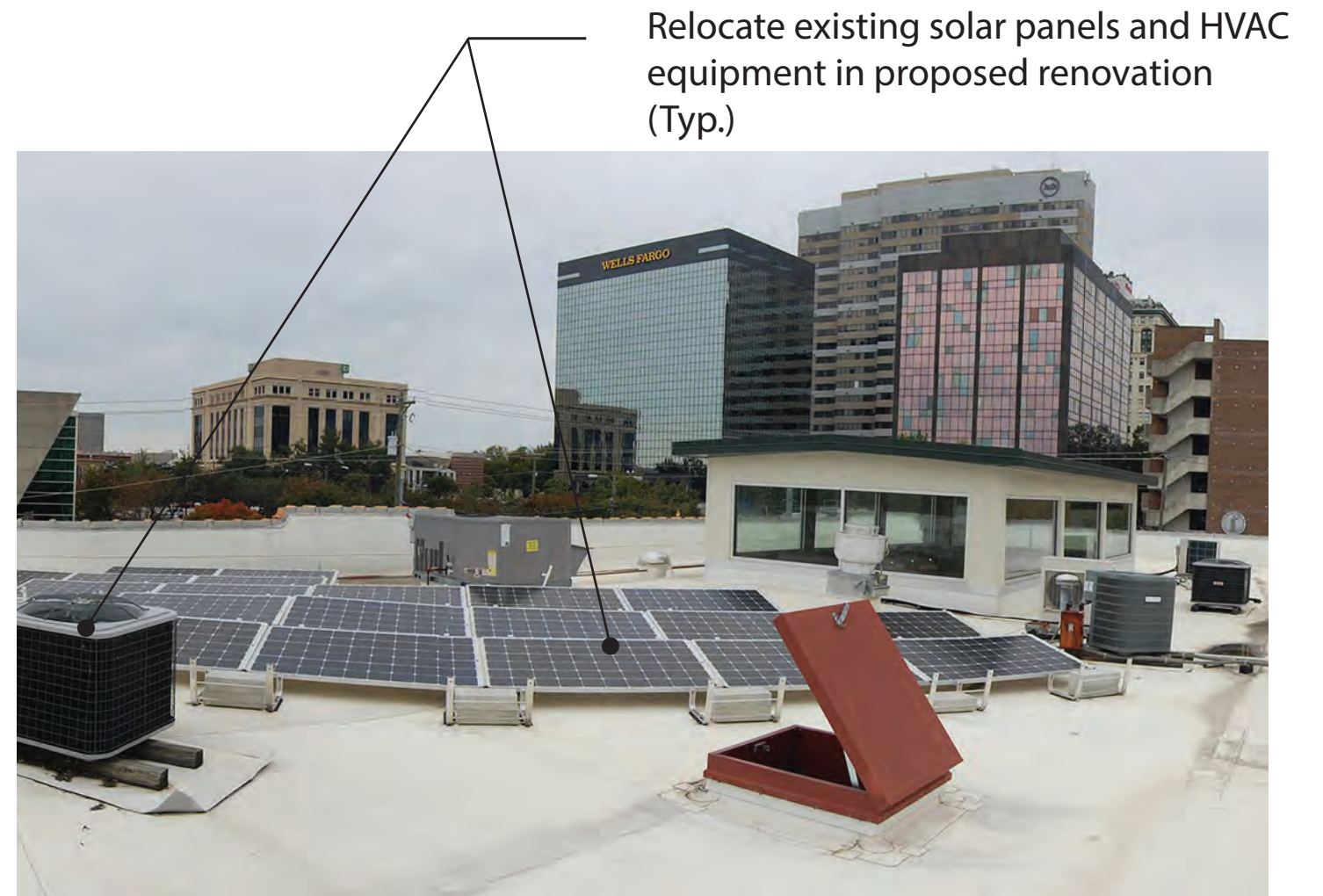


8. Proposed South elevation of building.

Existing Elevation and Roof Conditions



9. Existing West elevation of building.



10. Existing roof of building.

Existing Window Conditions



Second floor construction
assembly



11. Existing North and East elevation windows.

12. Proposed South elevation windows.

Proposed Window Conditions



Removable 3M blackout window film on back of panes typical of each window - to block view of second floor construction assembly



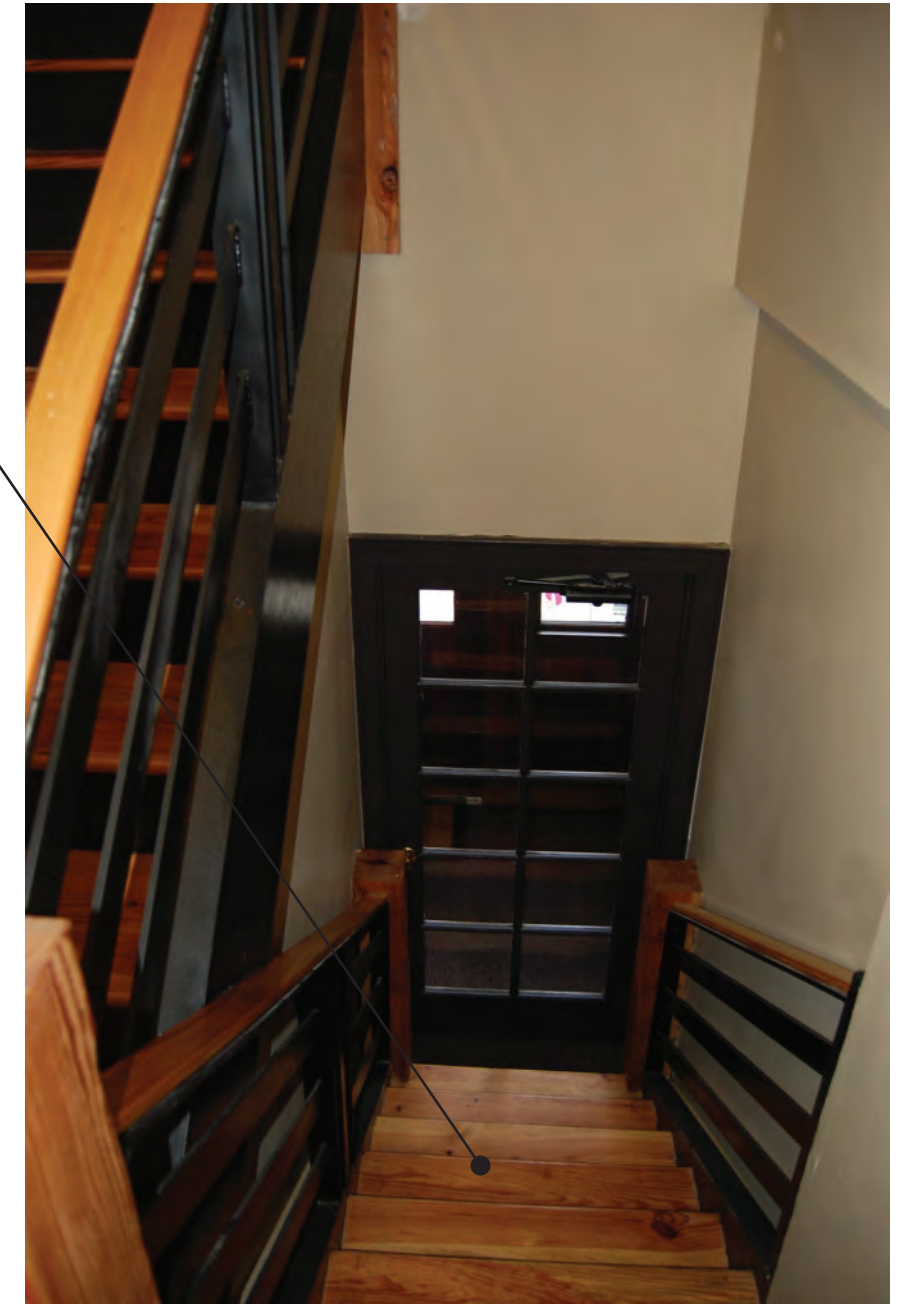
13. Proposed North and East elevation windows.

14. Proposed South elevation windows.

Existing Stair(s)



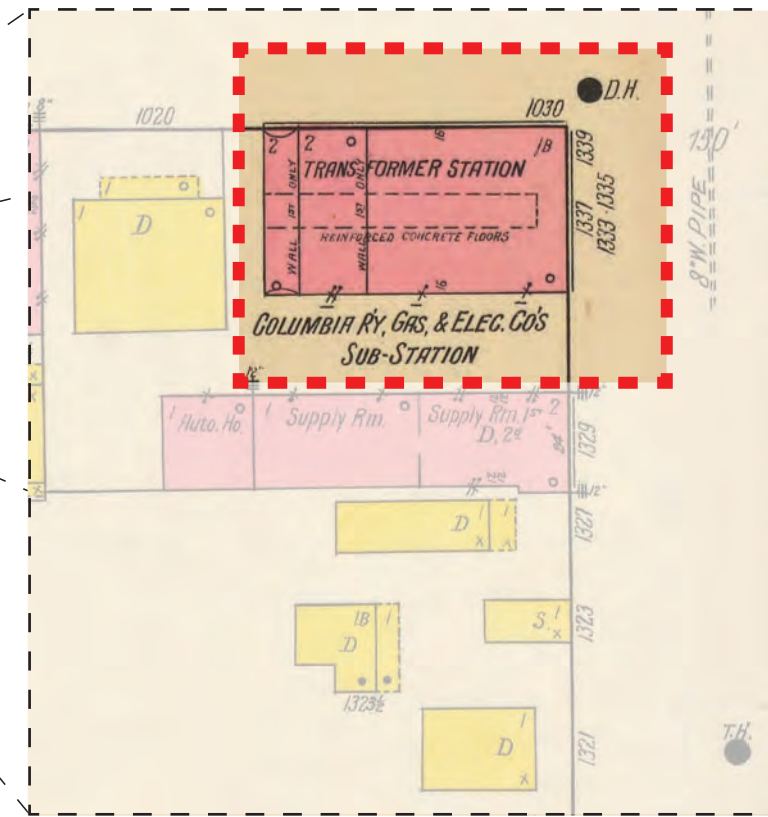
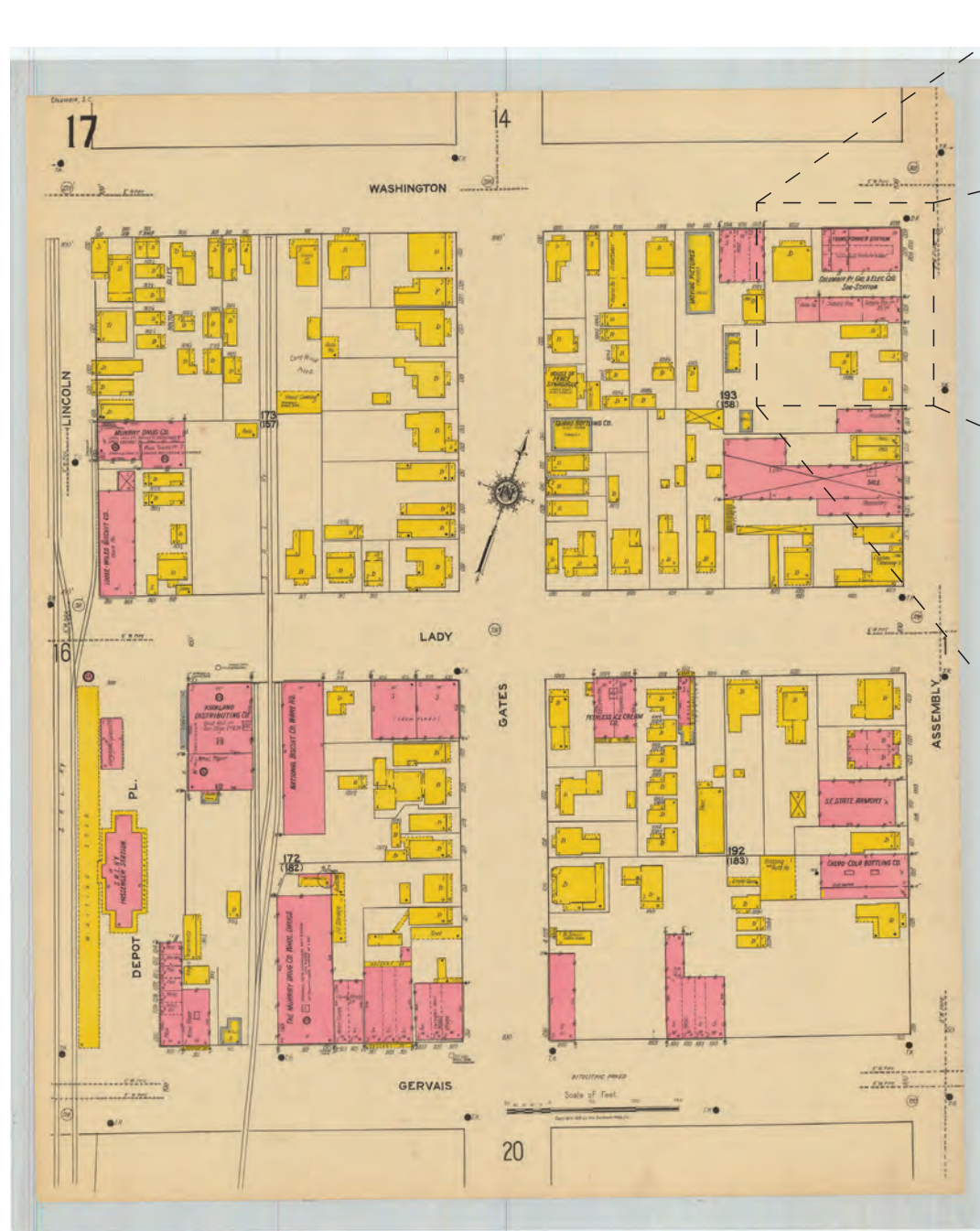
Existing wood stair to be removed and replaced
with code compliant wood stair



15. Existing wood stair from First to Second Floor adjacent to alleyway entrance.

16. Existing wood stair from First to Second Floor adjacent to Assembly Street (main) entrance.

Historic Roof Conditions



REMEMBERING COLUMBIA



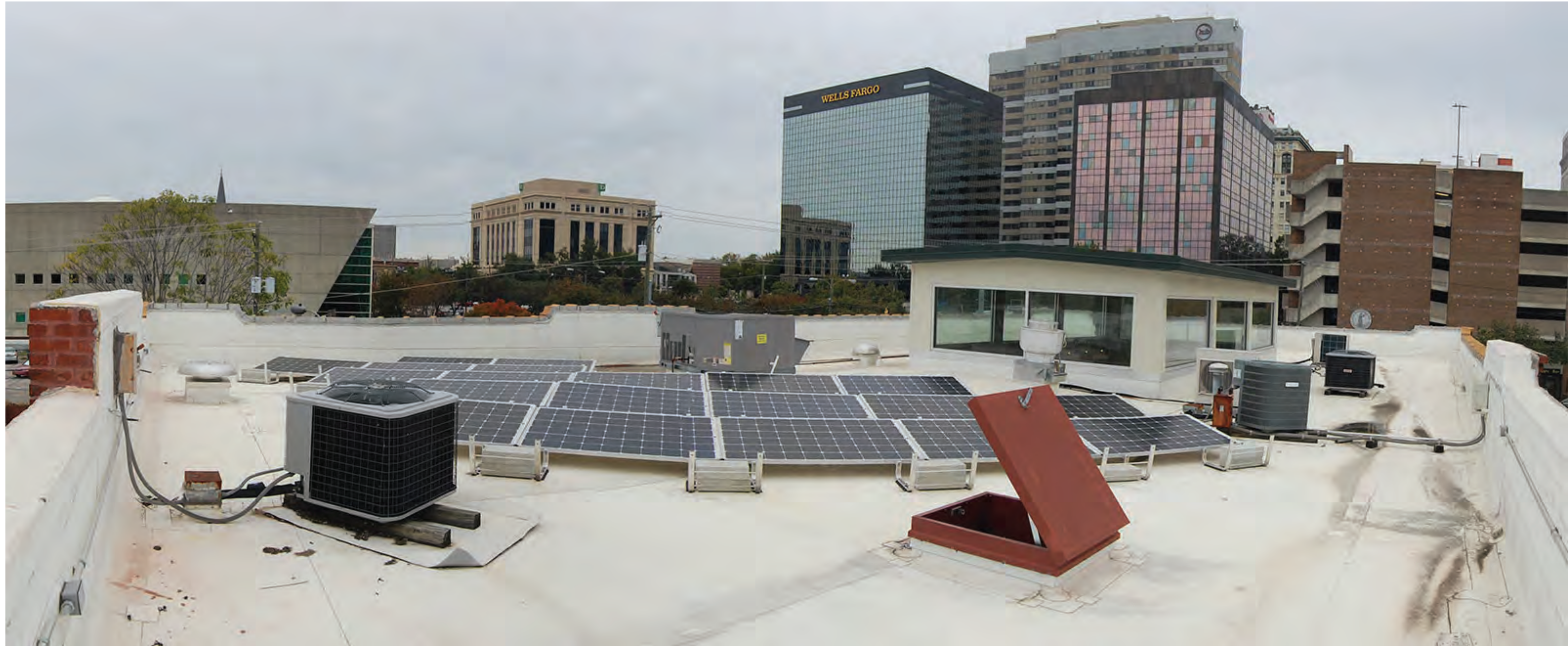
COLUMBIA ELECTRIC STREET RAILWAY, LIGHT & POWER COMPANY BUILDING, 1911. Built about 1901 for the corporation that provided power for Columbia's businesses, homes, and streetcar service, this architecturally distinct structure at 1337 Assembly Street originally held offices and a substation that switched electricity generated by the Columbia Canal and Olympos Cotton Mill from alternating to direct current. Major improvements to and expansion of streetcar lines led to the enlargement in 1911 of the Romanesque Revival-style facility for heightened electrical output. At the same time, the company changed its name to the Columbia Railway, Gas & Electric Company. (South Caroliniana Library, University of South Carolina, Columbia.)

19. June 1919 - Historic Sanborn Map showing extents of monitor roof.

20. Historic Image showing monitor roof from entry .

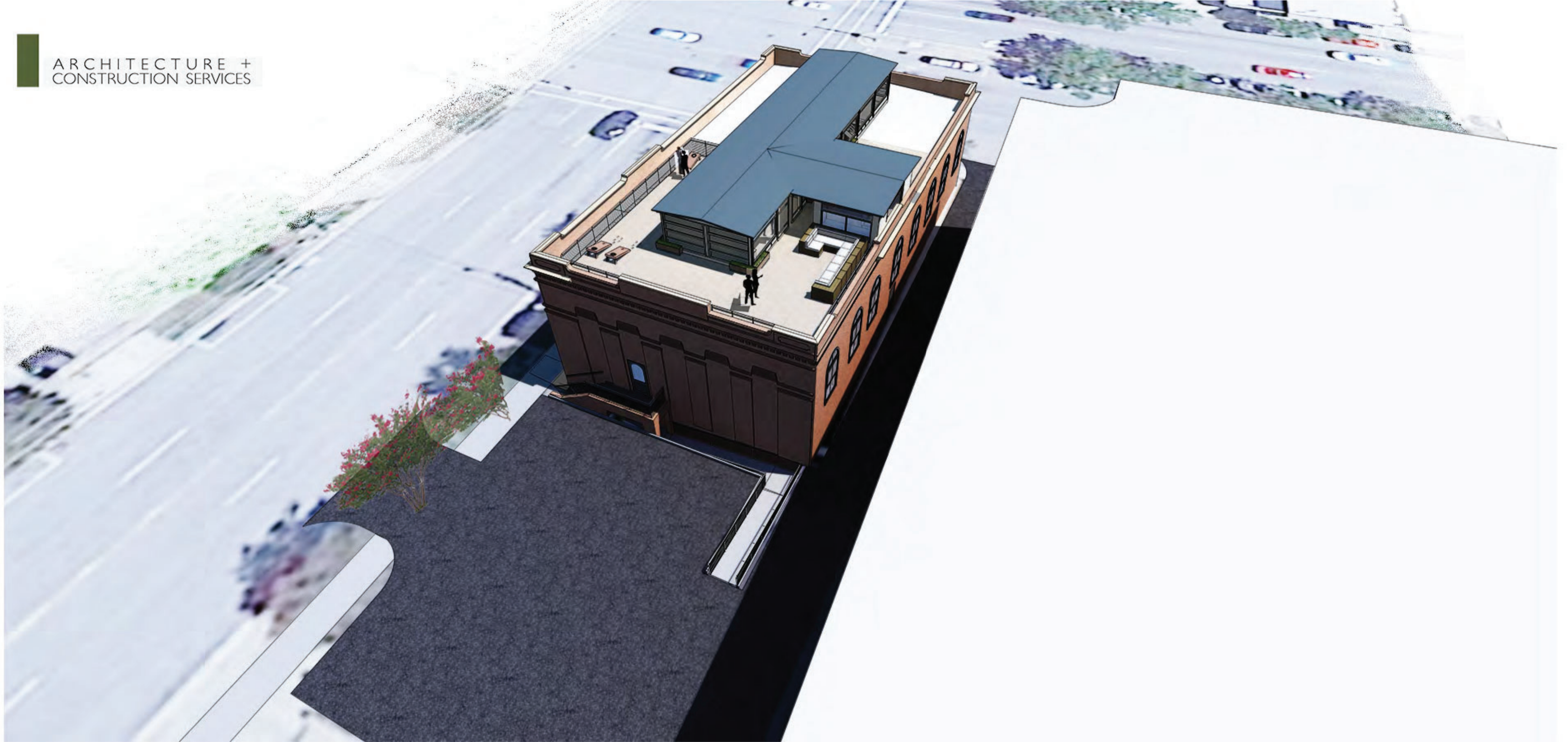
Bailey Bill Application Materials
1337 Assembly Street, Columbia, SC 29201

Existing Roof Conditions



17 Existing roof conditions view looking Northeast.

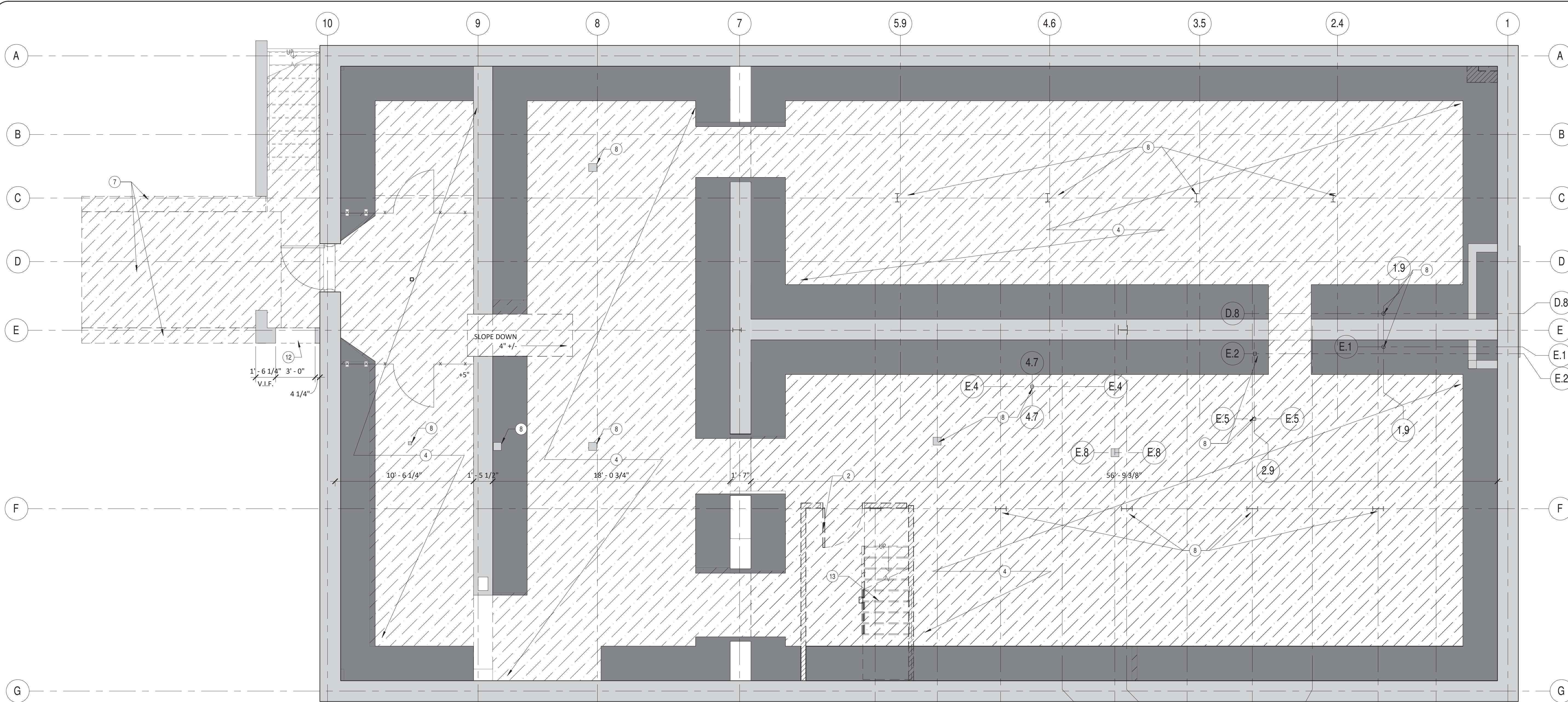
ARCHITECTURE +
CONSTRUCTION SERVICES



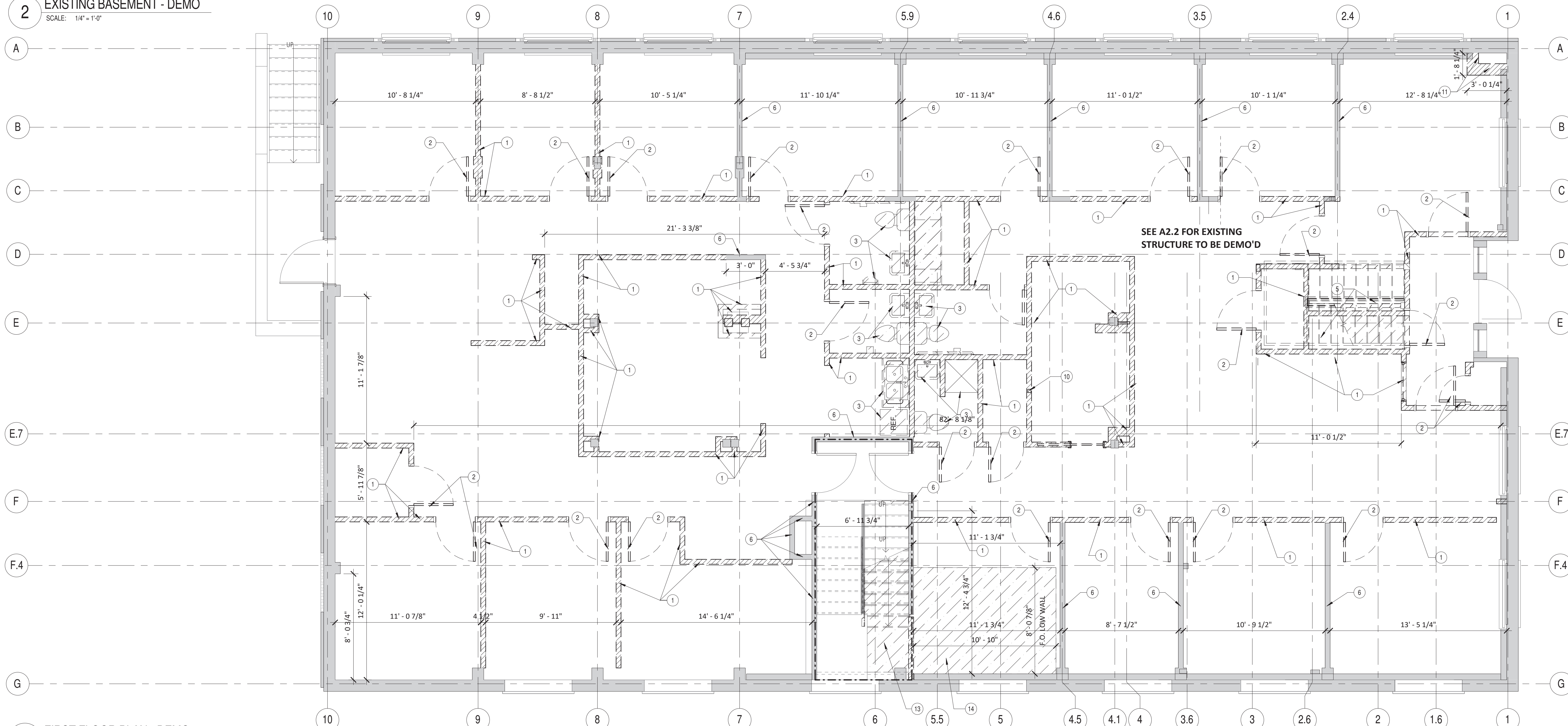
Proposed Roof Conditions



18. Proposed monitor roof extension.



2 EXISTING BASEMENT - DEMO
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND

AREA OF "NO WORK" (diagonal hatching)

DEMOLITION KEYNOTE (circle with number)

GENERAL DEMOLITION NOTES

- ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION AND/OR NEW WORK SHALL BE REPAIRED AS DETAILED, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- DIMENSIONS SHOWN ON EXISTING PLANS ARE SHOWN AS A REFERENCE AND SHALL BE CONSIDERED +/- IF EXACT DIMENSIONS ARE REQUIRED, FIELD MEASUREMENTS SHALL BE TAKEN BY THE CONTRACTOR.
- ANY DUCT WORK SHOWN PASSING THROUGH A NEW OR EXISTING WALL CARRYING A FIRE RATING SHALL BE EQUIPPED WITH APPROPRIATE FIRE RATED DAMPERS AT THE POINT OF INTERSECTION WITH THE WALL.
- ANY NEW OR EXISTING PIPING CONDUIT OR WIRING PASSING THROUGH A NEW OR EXISTING WALL CARRYING A FIRE RATING SHALL BE SEALED TIGHT TO THE WALL WITH A UL APPROVED METHOD.
- WHERE NEW DOORS ARE SHOWN TO BE INSTALLED IN EXISTING MASONRY WALLS, NEW MASONRY SHALL BE INSTALLED AT EXISTING HEAD AND JAMBS AS REQUIRED FOR NEW DOOR INSTALLATION.
- ALL PEELING PAINT SHALL BE SCRAPED FROM EXISTING WALLS AND WALLS SHALL BE CLEANED PRIOR TO PAINTING.
- ALL HOLES IN MASONRY WALLS EXISTING OR MADE BY THE REMOVAL OF ANY FIXTURES OR EQUIPMENT, SHALL BE PATCHED WITH MASONRY TO MATCH EXISTING. INSTALL NEW MASONRY FLUSH WITH EXISTING ON BOTH SIDES.
- REMOVE ALL WALL BRACKETS, PLASTIC SHIELDS, HOOKS, CLIPS, NAILS, TAPE AND SCREWS ON EXISTING WALLS IN PREPARATION FOR SMOOTH CLEAN SURFACE (TYPICAL AT SPACES WHERE NEW FINISH IS SCHEDULED).
- ALL DEMOLITION SHALL BE PERFORMED TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH CAN NOT BE PRE-DETERMINED UNTIL DEMOLITION IS STARTED. ALL SUCH DISCOVERIES OF UTILITIES WHICH ARE IN A DIFFERENT LOCATION FROM THAT INDICATED, CHANGE DIRECTION FROM FLOOR-TO-FLOOR, ETC. OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL OR DISTURBANCE.
- REMOVE ALL WALL MOUNTED ACCESSORIES IN AREAS OF DEMOLITION AND RENOVATION. PATCH/REPAIR WALLS TO MAKE SMOOTH AND PREPARE FOR NEW WALL FINISH. REINSTALL ANY NEW WALL ACCESSORIES PER MANUFACTURER'S INSTRUCTIONS.
- SEE CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR MORE INFORMATION ON DEMOLITION AND CONSTRUCTION TO REMAIN.

DEMOLITION KEYNOTE LEGEND

NO.	NOTE DESCRIPTION
1	REMOVE EXISTING WOOD/METAL STUD AND GYP. BD. WALL IN ITS ENTIRETY
2	REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE IN ITS ENTIRETY
3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING
4	AFTER REQUIRED SHORING IS IN PLACE, ALL CONCRETE FLOORING IN BASEMENT TO BE DEMOLISHED AND REMOVED. AFTER REMOVAL, EXCAVATE EXISTING EARTH SO THAT ONCE NEW SLAB IS POURED THE APPROX. HEIGHT IS 9' - SEE STRUCTURAL FOR MORE INFO.
5	EXISTING WOOD STAIR TO BE DEMOLISHED IN ITS ENTIRETY. PATCH AND REPAIR FLOORING AND WALLS TO MATCH EXISTING. PREP FOR NEW STAIR.
6	EXISTING WALLS TO REMAIN.
7	REMOVE EXISTING SITE WALLS AND RAMP IN THEIR ENTIRETY - PATCH AND REPAIR AS REQUIRED
8	EXISTING STRUCTURE TO REMAIN. IF EXISTING STRUCTURAL MEMBER IS NOT NOTED ON DRAWING, NOTIFY ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY
9	NOT USED
10	EXISTING COLUMN TO BE REMOVED SHORING AS REQUIRED DURING CONSTRUCTION - SEE STRUCTURAL
11	REMOVE EXISTING PORTION OF WALL IN ITS ENTIRETY FROM FLOOR TO FLOOR TO EXPOSE EXISTING (ORIGINAL) FIRE RISER
12	NEW OPENING CUT INTO EXISTING MASONRY WALL FOR ACCESS TO RAMP FROM (NEW) BASEMENT LEVEL
13	FIRST FLOOR TO BASEMENT RUN OF EXISTING WOOD STAIR TO BE DEMOLISHED IN ITS ENTIRETY. PATCH AND REPAIR FLOORS AND WALLS AS REQUIRED. PREP FOR NEW STAIR - SEE VERTICAL CIRCULATION SHEETS
14	REMOVE EXISTING FLOORING IN ITS ENTIRETY TO EXTENTS SHOWN. PATCH AND REPAIR FLOORING AND WALLS AS NECESSARY.

LAMBERT ARCHITECTURE + CONSTRUCTION SERVICES
architecture construction services planning historic consulting

P.O. BOX 5200 COLUMBIA, SC 29201
522 LADY DR. COLUMBIA, SC 29204
PHONE 803.451.8339 www.lambertcs.com

STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL ARCHITECT
NO. 100195
EXPIRES 12/31/19

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1337 ASSEMBLY ST.
COLUMBIA, SC 29201

DATE	DESCRIPTION

FIRST FLOOR & BASEMENT PLAN DEMOLITION

PROJ. NO.: S285.17
DRAWN BY: Author
DATE: 04.23.2019

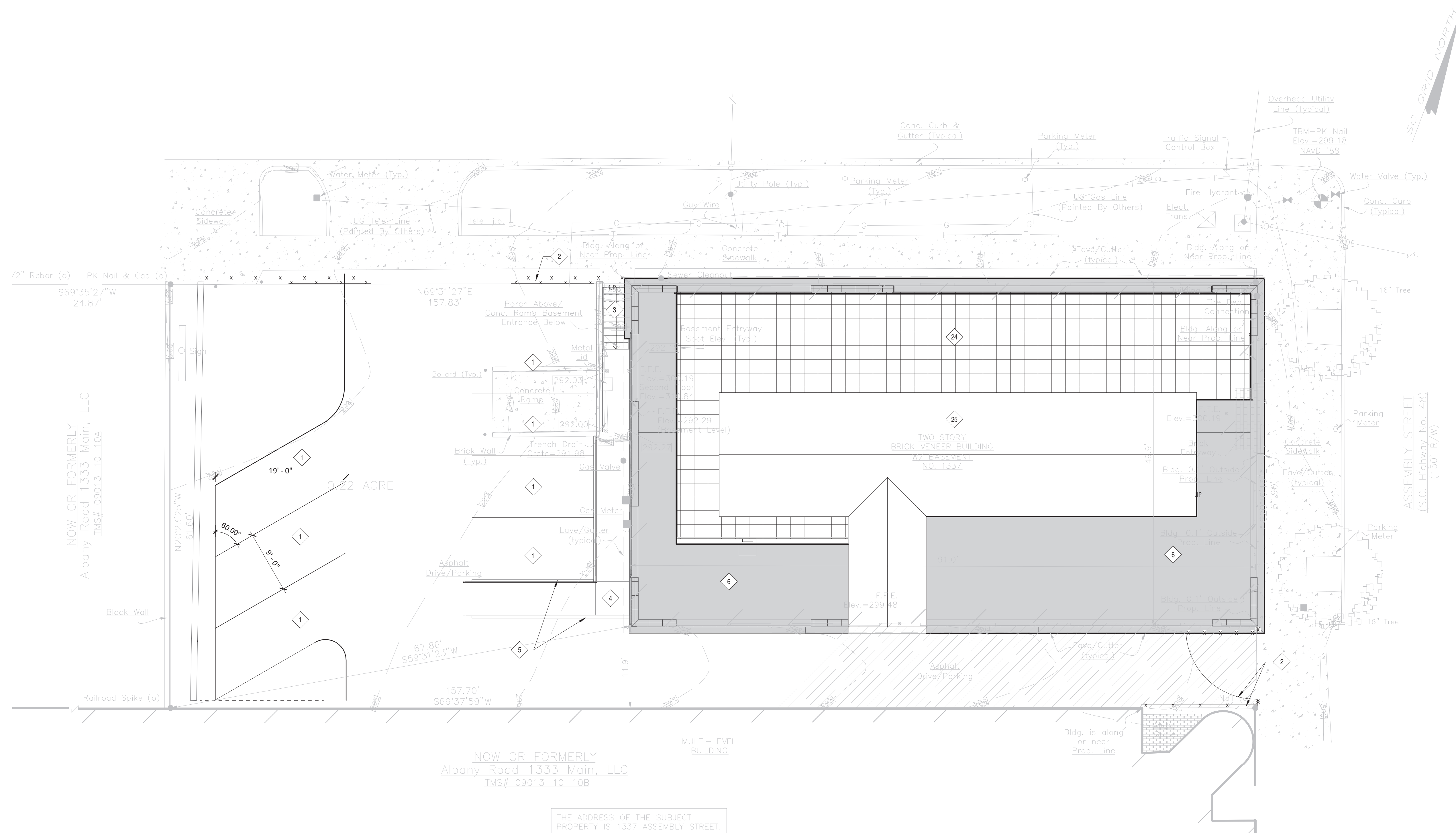
D1.1

WALL TYPE CONSTRUCTION:

	EXISTING CONSTRUCTION
	NEW CONSTRUCTION

KEYNOTE SITE PLAN

Plan Note ID	NOTE DESCRIPTION
1	EXISTING PARKING SPACE
2	NEW ALUMINUM GATE/FENCE
3	EXISTING STAIR TO REMAIN
4	NEW ADA COMPLIANT RAMP
5	NEW RETAINING WALL
6	EXISTING BUILDING
24	NEW ROOFTOP PATIO
25	NEW ROOFTOP PATIO ROOF



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



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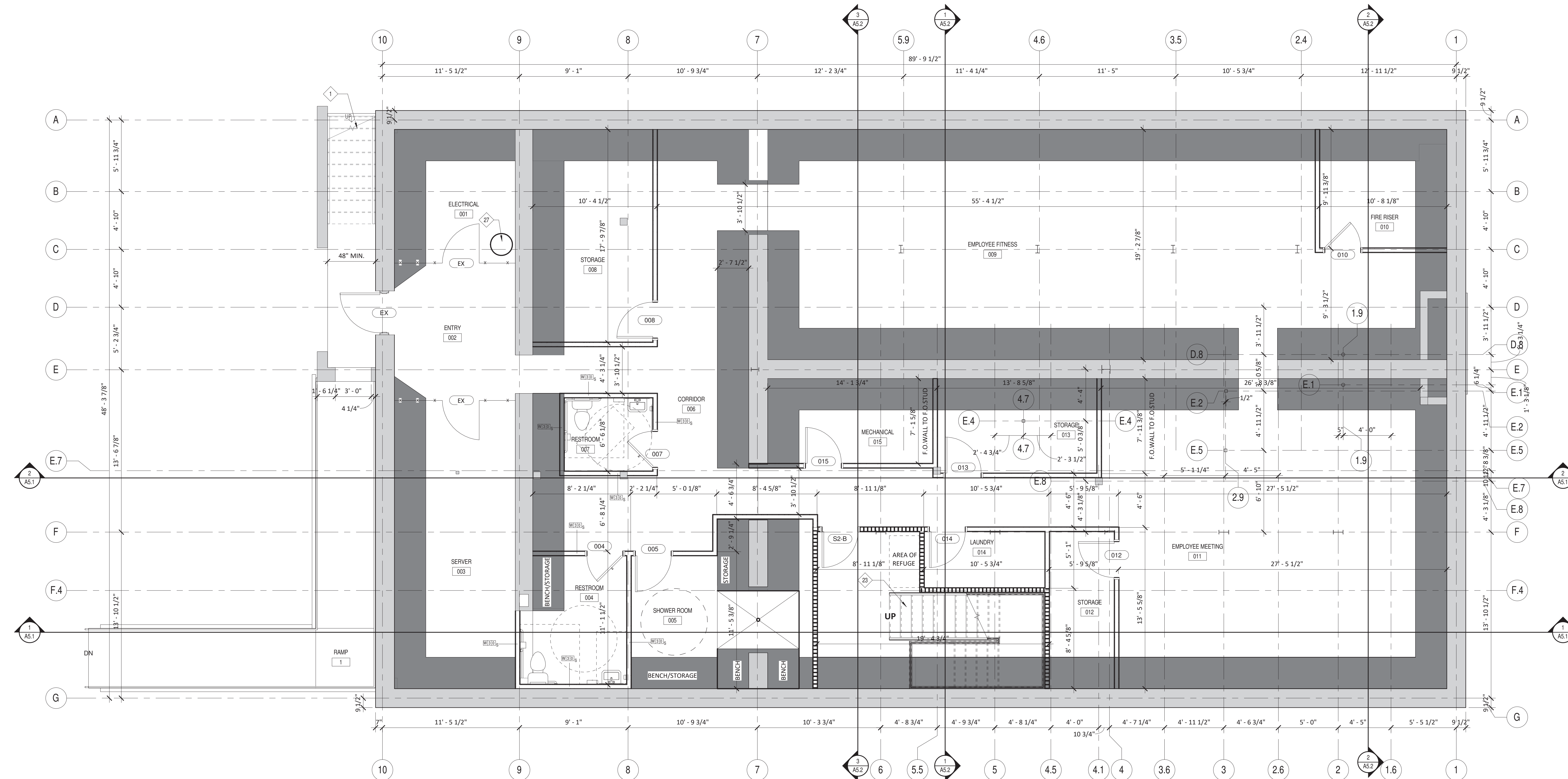
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1337 ASSEMBLY ST.
COLUMBIA, SC 29201

REV #	DESCRIPTION	DATE

SITE PLAN
PROJ. NO.: S285.17
DRAWN BY: Author
DATE: 04.23.2019

A0.1



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

KEYNOTE - FLOOR PLAN	
Plan Note ID	NOTE DESCRIPTION
1	EXISTING STAIR TO REMAIN
2	WATER COOLER
3	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING
4	NEW WOOD STAIR, EXISTING STAIR OPENING TO BE ENLARGED TO ACCOMMODATE NEW STAIR
5	POTENTIAL FISH TANK LOCATION
6	EXISTING ROOF ACCESS LADDER
7	EXISTING OPEN OFFICE AREA TO REMAIN
8	EXISTING OFFICE TO REMAIN
9	EXISTING CLERESTORY (ABOVE) TO REMAIN
10	EXISTING DRINKING FOUNTAIN
11	NOT USED
12	NOT USED
13	EXISTING WINDOW TO REMAIN
14	NEW WOOD STAIR
15	NEW WOOD COLUMNS TO SUPPORT BEAMS ABOVE, COORD. EXACT LOCATION WITH EXISTING STRUCTURE
16	EXISTING DOOR TO REMAIN
17	EXISTING KITCHEN/RESTROOMS TO REMAIN
18	POSSIBLE CHASE LOCATION FOR DUCTS FROM MECH UNITS LOCATED IN THE BASEMENT
19	NEW 42" GUARD RAIL TO MATCH EXISTING
20	3/8" TEMPERED GLASS DRAFT CURTAIN
21	NOT USED
22	NOT USED
23	NEW CODE COMPLIANT WOOD STAIR CONNECTING BASEMENT LEVEL TO FIRST FLOOR LEVEL - SEE VERTICAL CIRCULATION SHEETS FOR MORE INFORMATION. EXISTING STAIR CONNECTING FIRST LEVEL TO SECOND LEVEL TO REMAIN
24	NEW HEAVY TIMBER COLUMN - SEE STRUCTURAL
27	LIFT STATION - SEE PLUMBING
28	ONCE EXISTING STAIR HAS BEEN REMOVED; IN-FILL EXISTING OPENING IN FLOOR (TO EXTENTS SHOWN & V.I.F.) WITH 2X10 FRAMING @ 16" O.C., 3/4" PLYWOOD, AND FLOOR FINISH TO MATCH ADJACENT EXISTING.

GENERAL FLOOR PLAN NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.

WALL TYPE CONSTRUCTION:

- EXISTING 2'-0" HIGH FOUNDATION WALL
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION

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SWAMPFOX

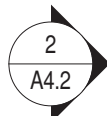
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REV #	DESCRIPTION	DATE

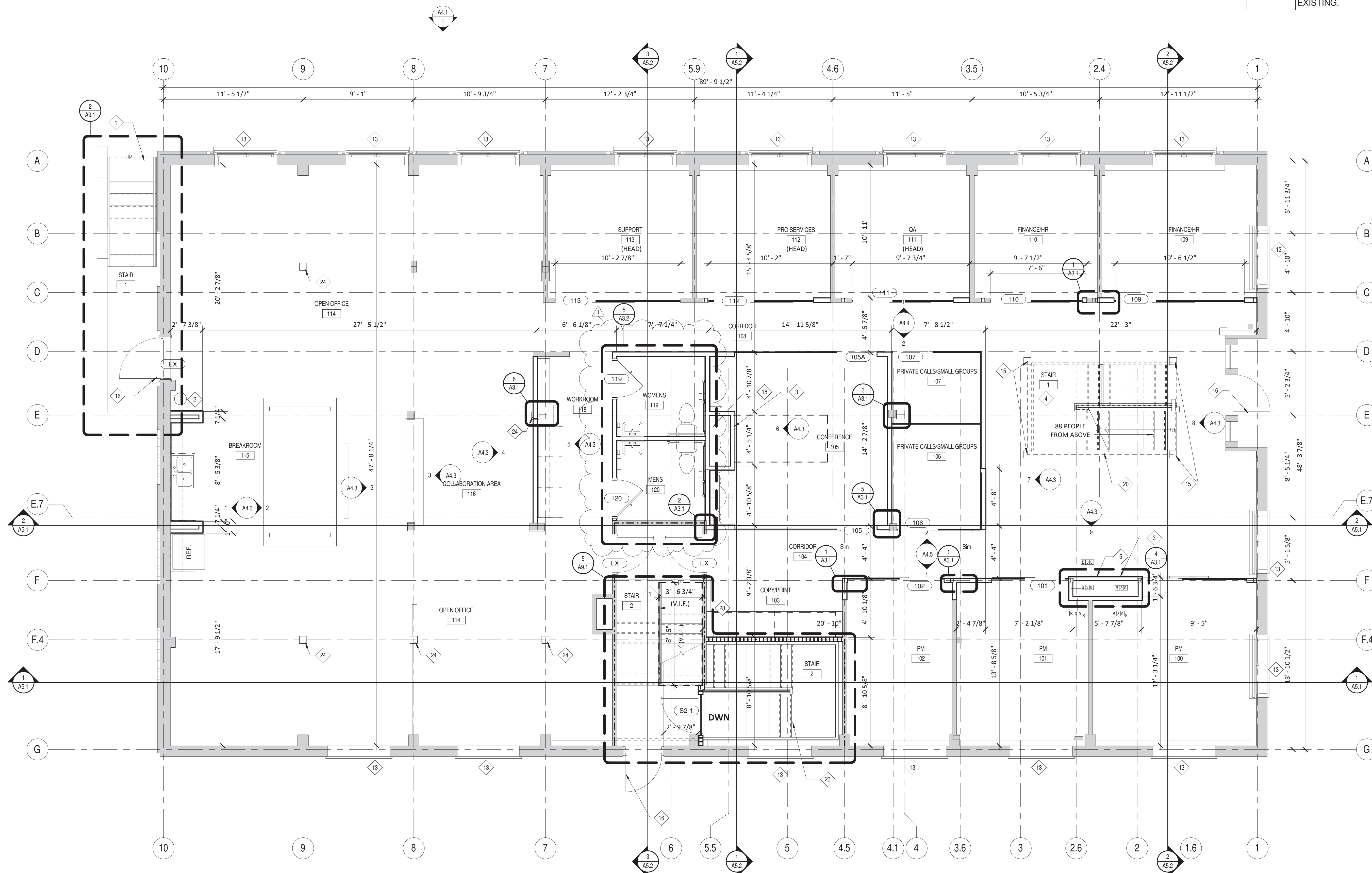
BASEMENT FLOOR PLAN

PROJ. NO.: S285.17
DRAWN BY: Author
DATE: 04.23.2019

A1.0



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES
1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.

WALL TYPE CONSTRUCTION:

	EXISTING 2'-0" HIGH FOUNDATION WALL
	EXISTING WALL CONSTRUCTION
	NEW WALL CONSTRUCTION

KEYNOTE - FLOOR PLAN

Plan Note ID	NOTE DESCRIPTION
1	EXISTING STAIR TO REMAIN
2	WATER COOLER
3	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING
4	NEW WOOD STAIR, EXISTING STAIR OPENING TO BE ENLARGED TO ACCOMMODATE NEW STAIR
5	POTENTIAL FISH TANK LOCATION
6	EXISTING ROOF ACCESS LADDER
7	EXISTING OPEN OFFICE AREA TO REMAIN
8	EXISTING OFFICE TO REMAIN
9	EXISTING CLERESTORY (ABOVE) TO REMAIN
10	EXISTING DRINKING FOUNTAIN
11	NOT USED
12	NOT USED
13	EXISTING WINDOW TO REMAIN
14	NEW WOOD STAIR
15	NEW WOOD COLUMNS TO SUPPORT BEAMS ABOVE, COORD. EXACT LOCATION WITH EXISTING STRUCTURE
16	EXISTING DOOR TO REMAIN
17	EXISTING KITCHEN/RESTROOMS TO REMAIN
18	POSSIBLE CHASE LOCATION FOR DUCTS FROM MECH UNITS LOCATED IN THE BASEMENT
19	NEW 42" GUARD RAIL TO MATCH EXISTING
20	3/8" TEMPERED GLASS DRAFT CURTAIN
21	NOT USED
22	NOT USED
23	NEW CODE COMPLIANT WOOD STAIR CONNECTING BASEMENT LEVEL TO FIRST FLOOR LEVEL - SEE VERTICAL CIRCULATION SHEETS FOR MORE INFORMATION. EXISTING STAIR CONNECTING FIRST LEVEL TO SECOND LEVEL TO REMAIN
24	NEW HEAVY TIMBER COLUMN - SEE STRUCTURAL
27	LIFT STATION - SEE PLUMBING
28	ONCE EXISTING STAIR HAS BEEN REMOVED, IN-FILL EXISTING OPENING IN FLOOR TO EXTENTS SHOWN & V.I.F.) WITH 2X10 FRAMING @ 16" O.C., 3/4" PLYWOOD, AND FLOOR FINISH TO MATCH ADJACENT EXISTING.

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REV #	DESCRIPTION / CODE COMMENTS	DATE
1		03/05/18

FIRST FLOOR PLAN
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A1.1

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KEYNOTE - FLOOR PLAN	
Plan Note ID	NOTE DESCRIPTION
1	EXISTING STAIR TO REMAIN
2	WATER COOLER
3	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING
4	NEW WOOD STAIR, EXISTING STAIR OPENING TO BE ENLARGED TO ACCOMODATE NEW STAIR
5	POTENTIAL FISH TANK LOCATION
6	EXISTING ROOF ACCESS LADDER
7	EXISTING OPEN OFFICE AREA TO REMAIN
8	EXISTING OFFICE TO REMAIN
9	EXISTING CLERESTORY (ABOVE) TO REMAIN
10	EXISTING DRINKING FOUNTAIN
11	NOT USED
12	NOT USED
13	EXISTING WINDOW TO REMAIN
14	NEW WOOD STAIR
15	NEW WOOD COLUMNS TO SUPPORT BEAMS ABOVE, COORD. EXACT LOCATION WITH EXISTING STRUCTURE
16	EXISTING DOOR TO REMAIN
17	EXISTING KITCHEN/RESTROOMS TO REMAIN
18	POSSIBLE CHASE LOCATION FOR DUCTS FROM MECH UNITS LOCATED IN THE BASEMENT
19	NEW 42" GUARD RAIL TO MATCH EXISTING
20	3/8" TEMPERED GLASS DRAFT CURTAIN
21	NOT USED
22	NOT USED
23	NEW CODE COMPLIANT WOOD STAIR CONNECTING BASEMENT LEVEL TO FIRST FLOOR LEVEL - SEE VERTICAL CIRCULATION SHEETS FOR MORE INFORMATION. EXISTING STAIR CONNECTING FIRST LEVEL TO SECOND LEVEL TO REMAIN
24	NEW HEAVY TIMBER COLUMN - SEE STRUCTURAL
27	LIFT STATION - SEE PLUMBING
28	ONCE EXISTING STAIR HAS BEEN REMOVED: IN-FILL EXISTING OPENING IN FLOOR (TO EXTENTS SHOWN & V.I.F.) WITH 2X10 FRAMING @ 16" O.C., 3/4" PLYWOOD, AND FLOOR FINISH TO MATCH ADJACENT EXISTING.

GENERAL FLOOR PLAN NOTES

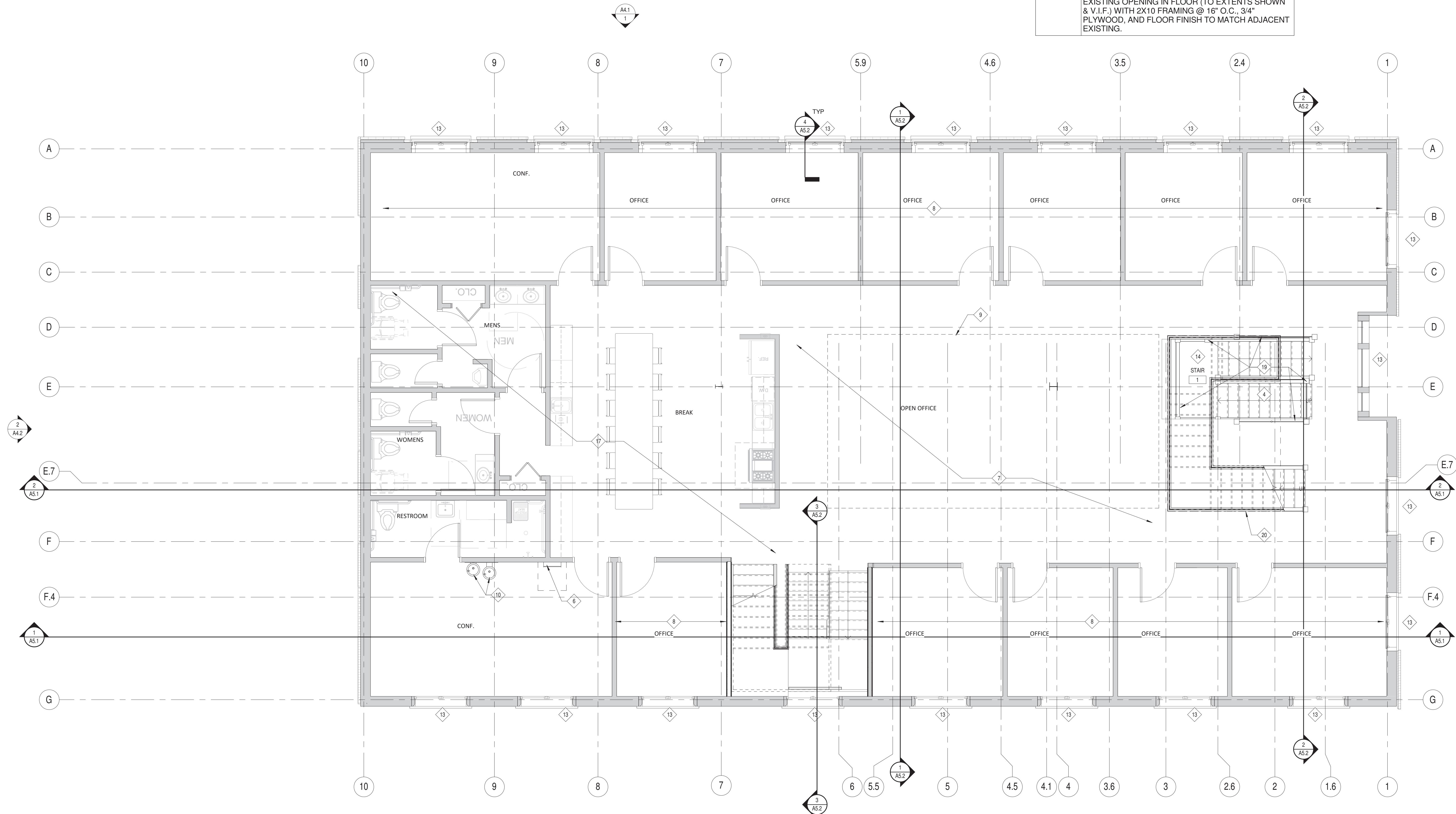
1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.

WALL TYPE CONSTRUCTION:

	EXISTING 2' OR HIGH FOUNDATION WALL
	EXISTING WALL CONSTRUCTION
	NEW WALL CONSTRUCTION

LEGEND:

NO WORK THIS AREA



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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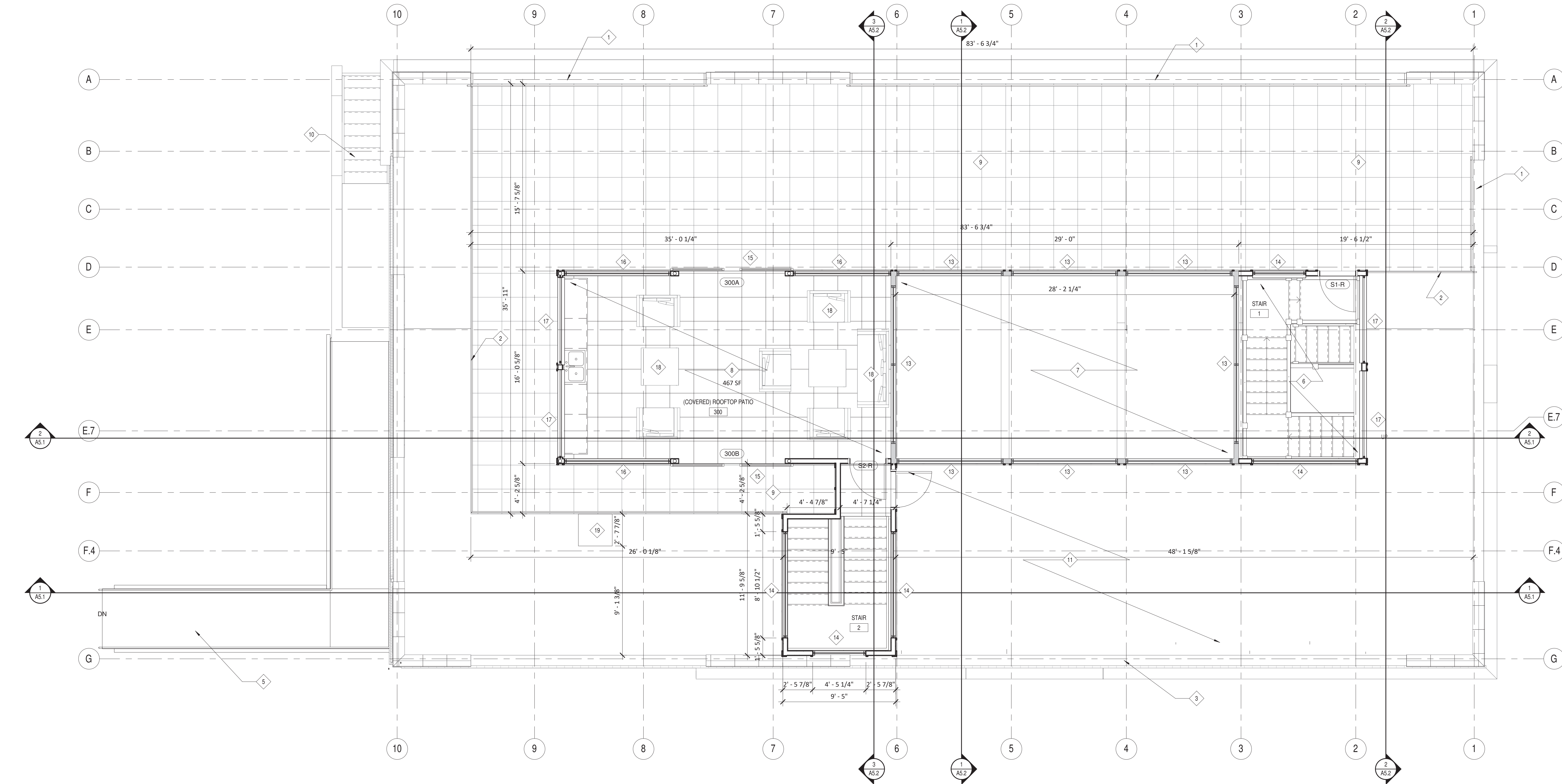
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REV #	DESCRIPTION	DATE

SECOND FLOOR PLAN

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DRAWN BY: Author
DATE: 04.23.2019

A1.2



KEYNOTE - ROOF PLAN	
Plan Note ID	NOTE DESCRIPTION
1	NEW GUARDRAIL IN-FILL BETWEEN PARAPET
2	NEW GUARDRAIL
3	REMOVE PORTION OF PARAPET TO EXTENTS SHOWN
5	NEW ADA COMPLIANT RAMP
6	NEW SKYLIGHT EXTENSION COVERING NEW WOOD STAIR
7	EXISTING SKYLIGHT (OPEN TO BELOW)
8	NEW COVERED ROOFTOP PATIO
9	NEW ROOFTOP PATIO
10	EXISTING STAIR AND LANDING TO REMAIN
11	PROPOSED RELOCATION AREA OF EXISTING ROOFTOP MECHANICAL UNITS
12	PROPOSED RELOCATION AREA FOR EXISTING ROOFTOP SOLAR PANELS
13	EXISTING WINDOW TO REMAIN
14	NEW WINDOW TO MATCH EXISTING
15	NEW SLIDING SCREEN BARN DOOR
16	NEW FRAME WITH SCREEN IN-FILL
17	NEW LOUVER TO MATCH HISTORIC
18	OWNER PROVIDED OUTDOOR FURNITURE (TYP.)
19	EXISTING ROOF ACCESS HATCH TO REMAIN

1 ROOFTOP PATIO FLOOR PLAN
SCALE: 1/4" = 1'-0"



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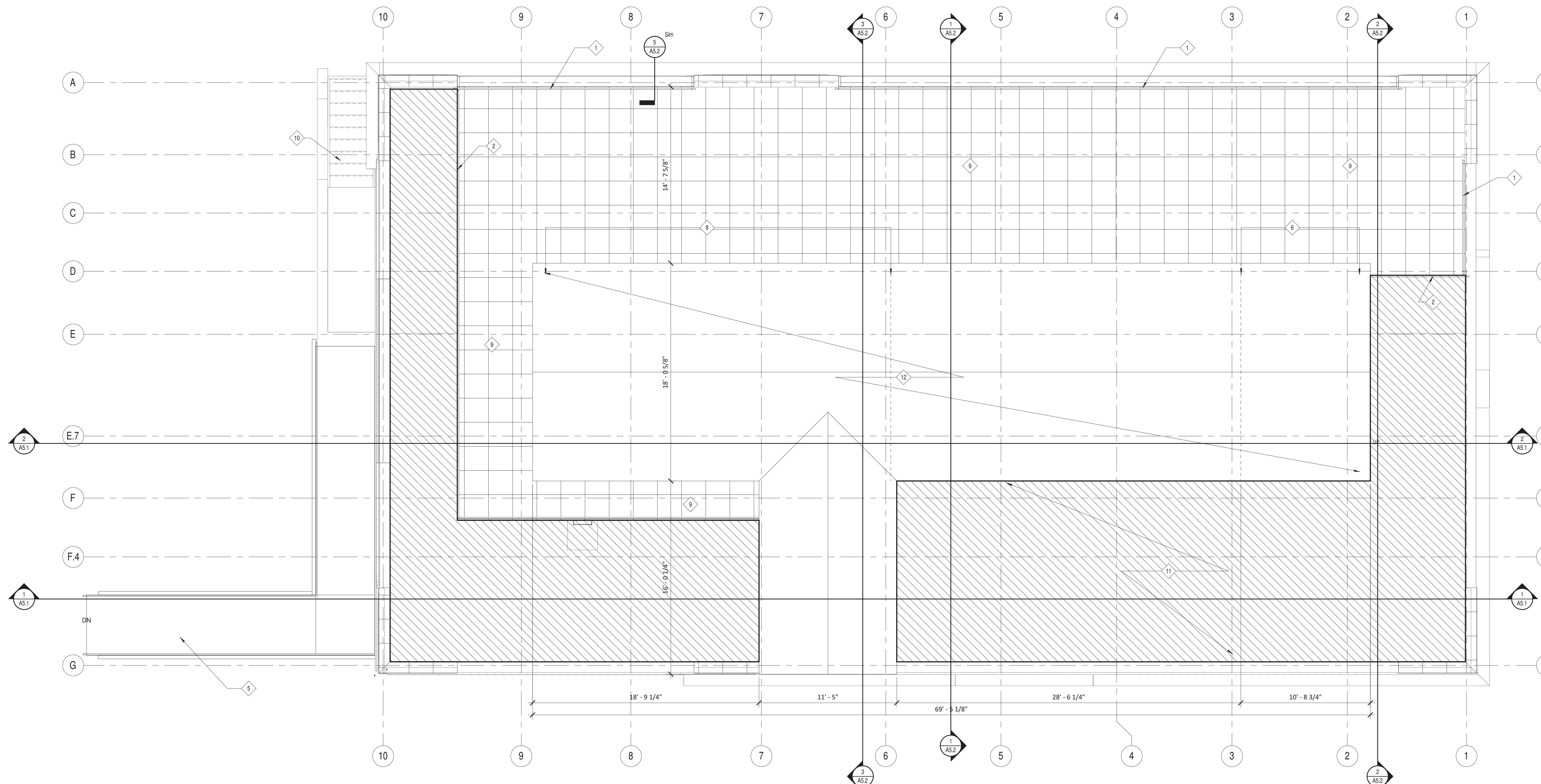
ROOFTOP PATIO FLOOR PLAN
PROJ. NO.: S285.17
DRAWN BY: Author
DATE: 04.23.2019

A1.3

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

KEYNOTE - ROOF PLAN	
Plan Note ID	NOTE DESCRIPTION
1	NEW GUARDRAIL IN-FILL BETWEEN PARAPET
2	NEW GUARDRAIL
3	REMOVE PORTION OF PARAPET TO EXTENTS SHOWN
5	NEW ADA COMPLIANT RAMP
6	NEW SKYLIGHT EXTENSION COVERING NEW WOOD STAIR
7	EXISTING SKYLIGHT (OPEN TO BELOW)
8	NEW COVERED ROOFTOP PATIO
9	NEW ROOFTOP PATIO
10	EXISTING STAIR AND LANDING TO REMAIN
11	PROPOSED RELOCATION AREA OF EXISTING ROOFTOP MECHANICAL UNITS
12	PROPOSED RELOCATION AREA FOR EXISTING ROOFTOP SOLAR PANELS
13	EXISTING WINDOW TO REMAIN
14	NEW WINDOW TO MATCH EXISTING
15	NEW SLIDING SCREEN BARN DOOR
16	NEW FRAME WITH SCREEN IN-FILL
17	NEW LOUVER TO MATCH HISTORIC
18	OWNER PROVIDED OUTDOOR FURNITURE (TYP.)
19	EXISTING ROOF ACCESS HATCH TO REMAIN

ROOF PLAN NOTES
1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR METAL PANEL UNLESS OTHERWISE NOTED.



LEGEND:
 EXISTING ROOF TO REMAIN - NO WORK THIS AREA UNLESS REQUIRED BY MECHANICAL, ELECTRICAL, OR PLUMBING. COORDINATE W/ ARCHITECT AND ENGINEERS

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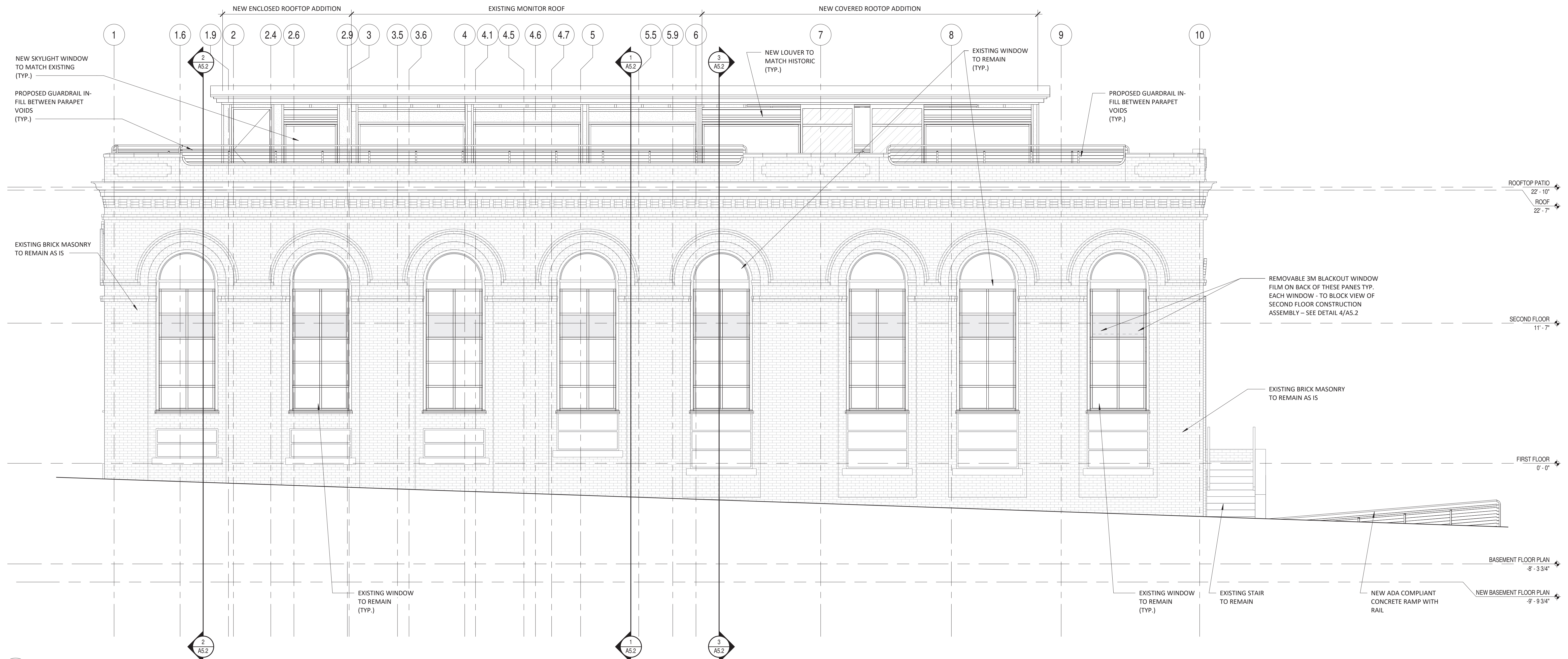
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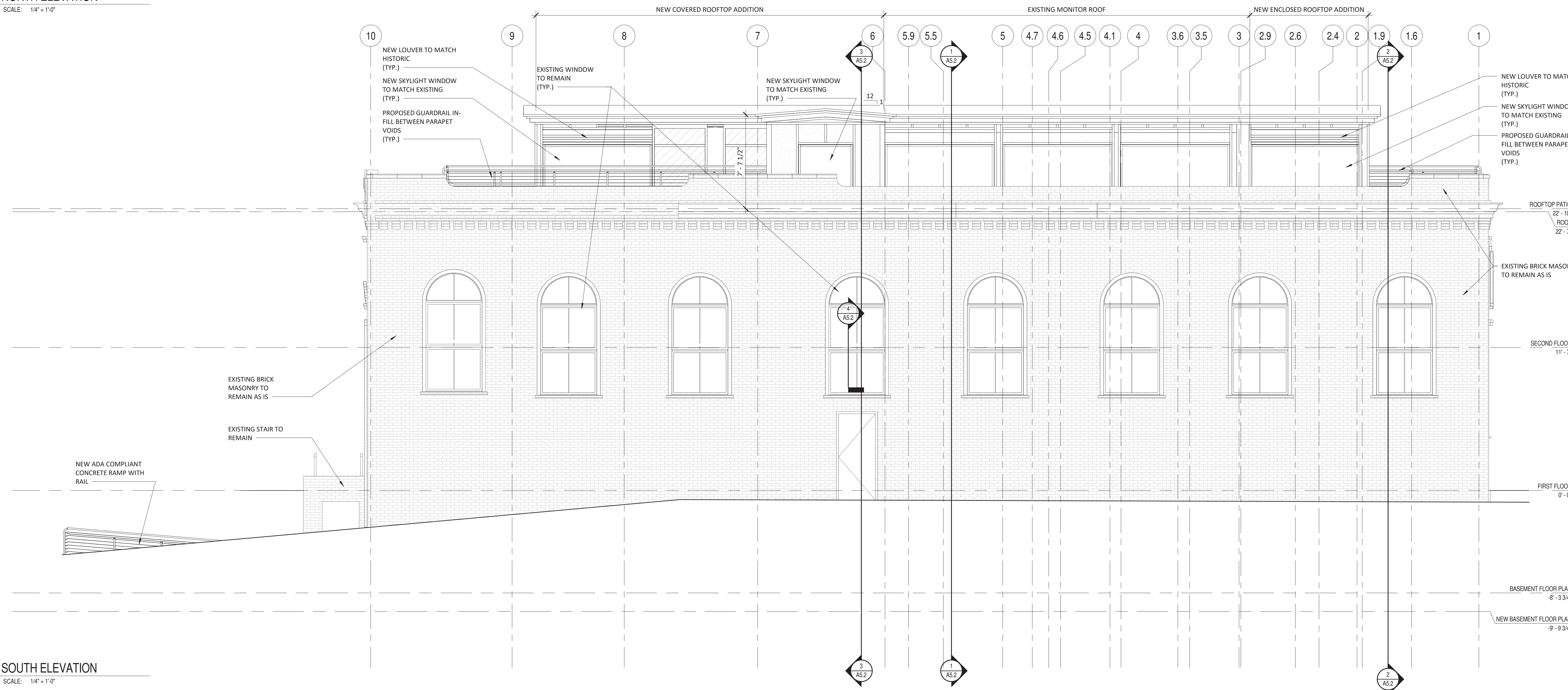
ROOF PLAN
 PROJ. NO.: S285.17
 DRAWN BY: Author
 DATE: 04.23.2019

A1.4

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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



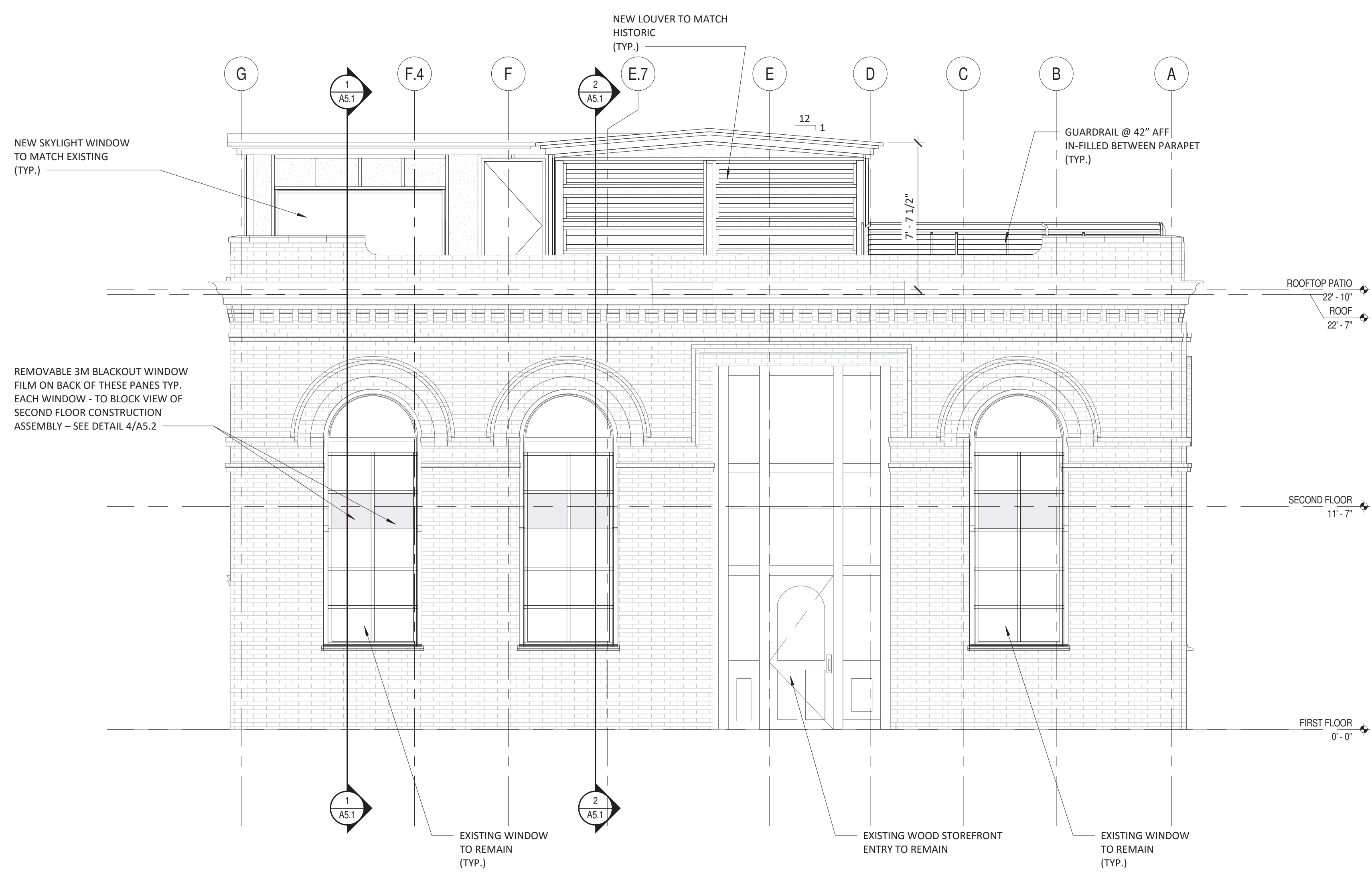
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



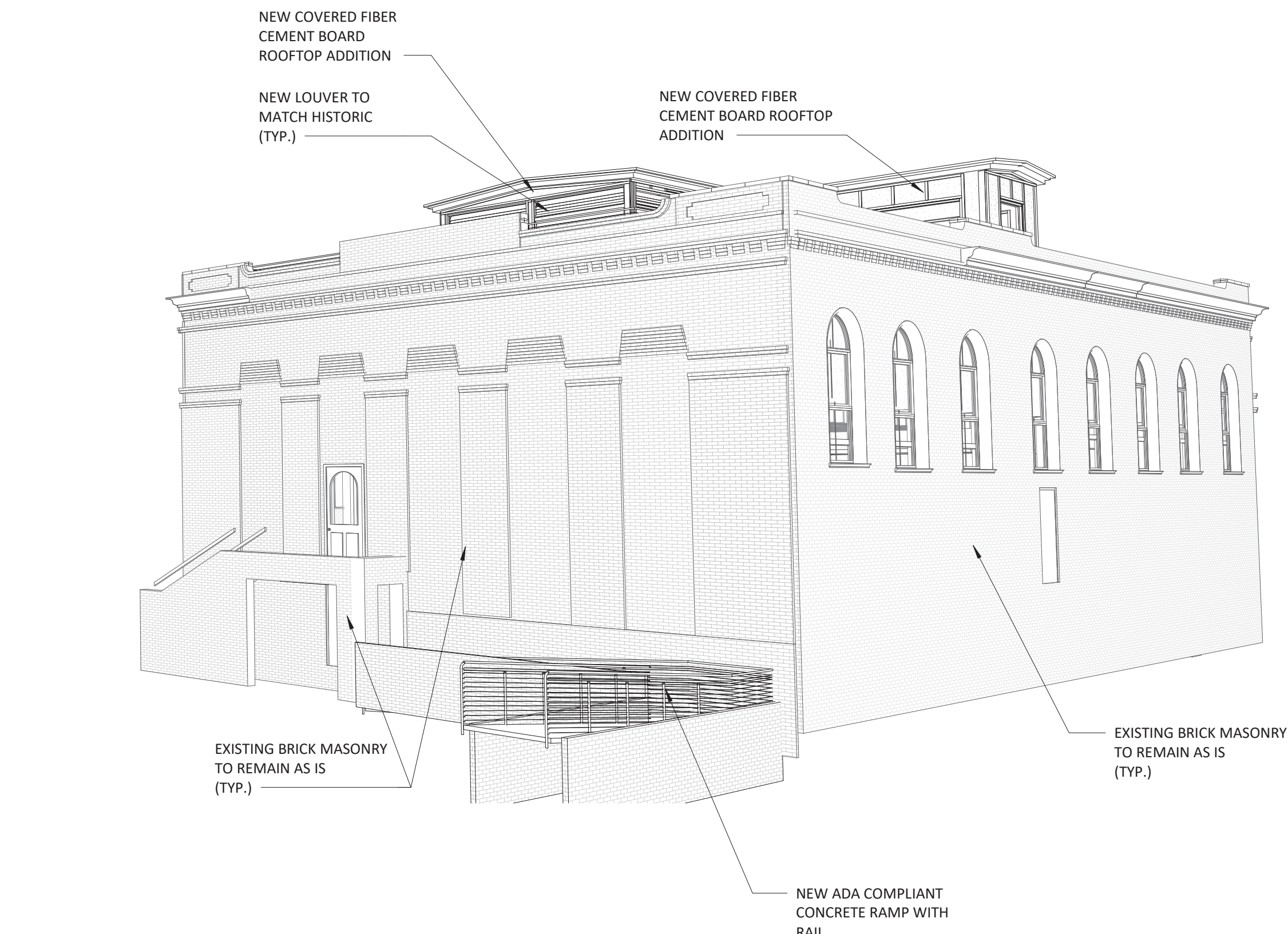
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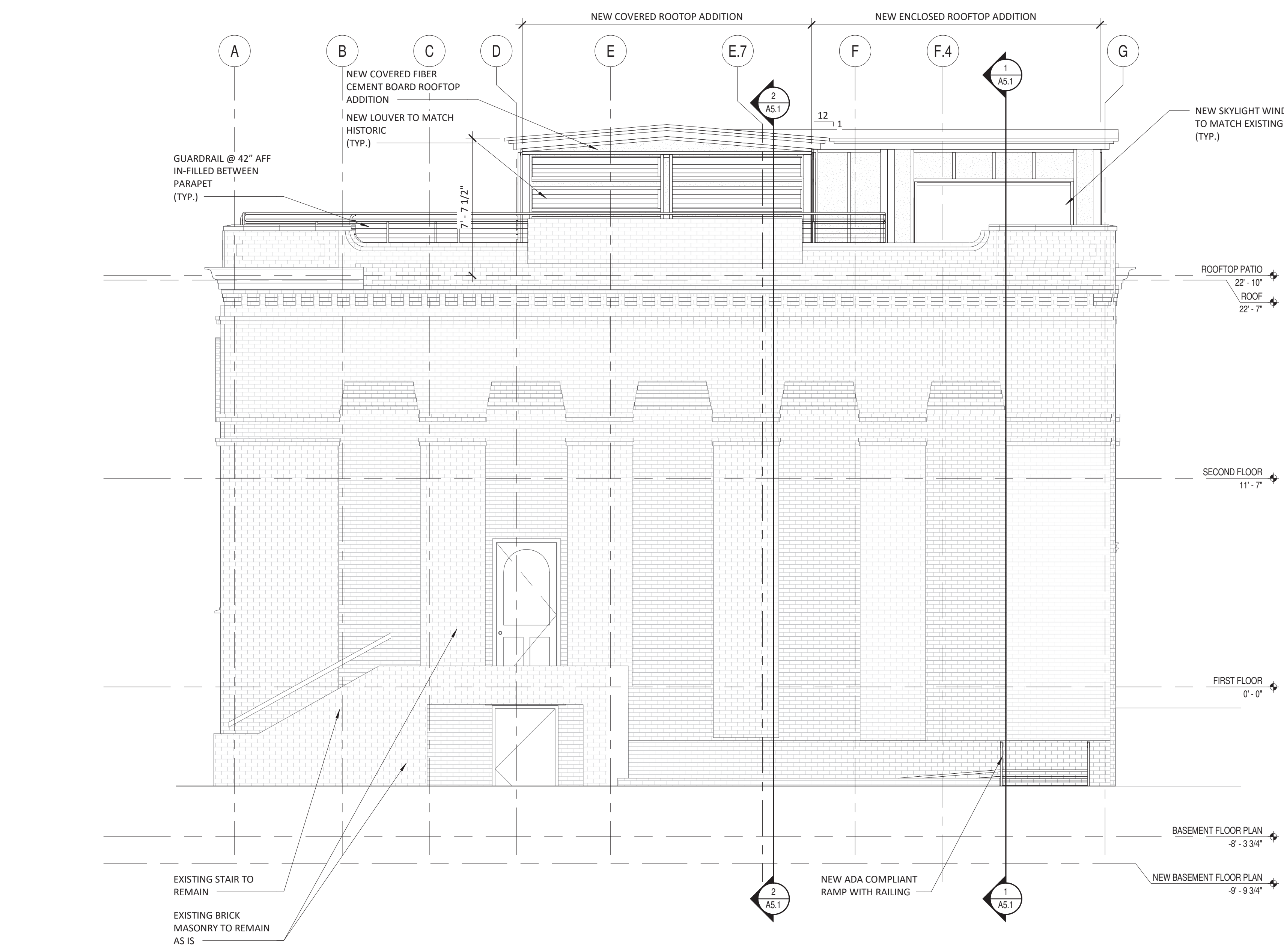
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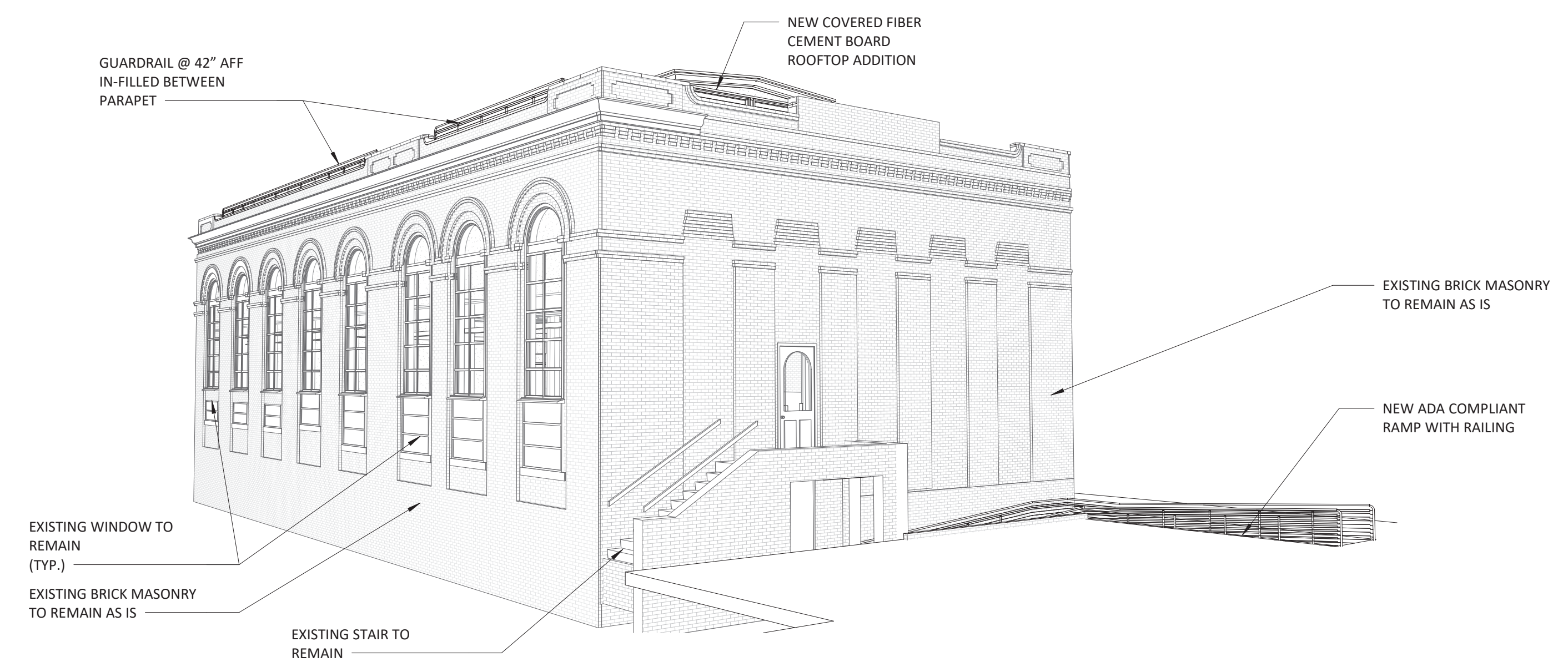
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 VIEW FROM ALLEYWAY
SCALE:



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 VIEW FROM WASHINGTON STREET
SCALE:

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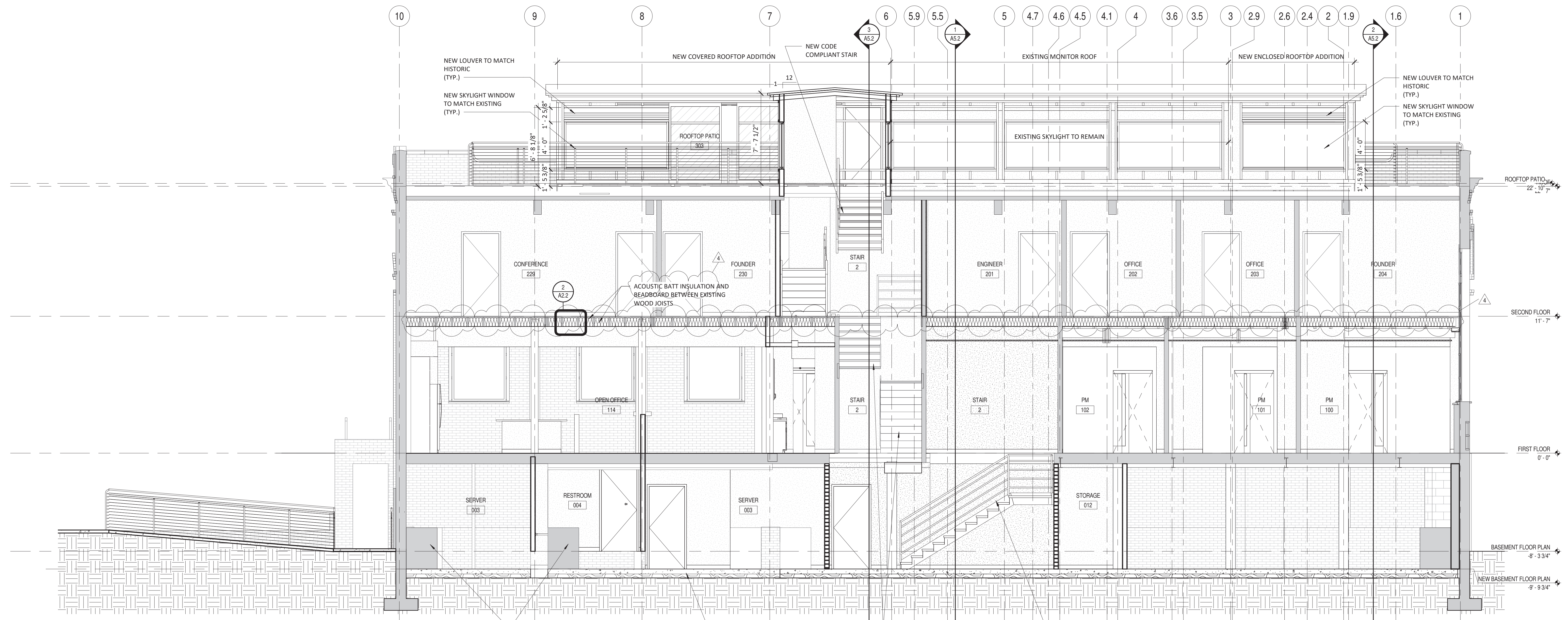
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EXTERIOR ELEVATION - EW

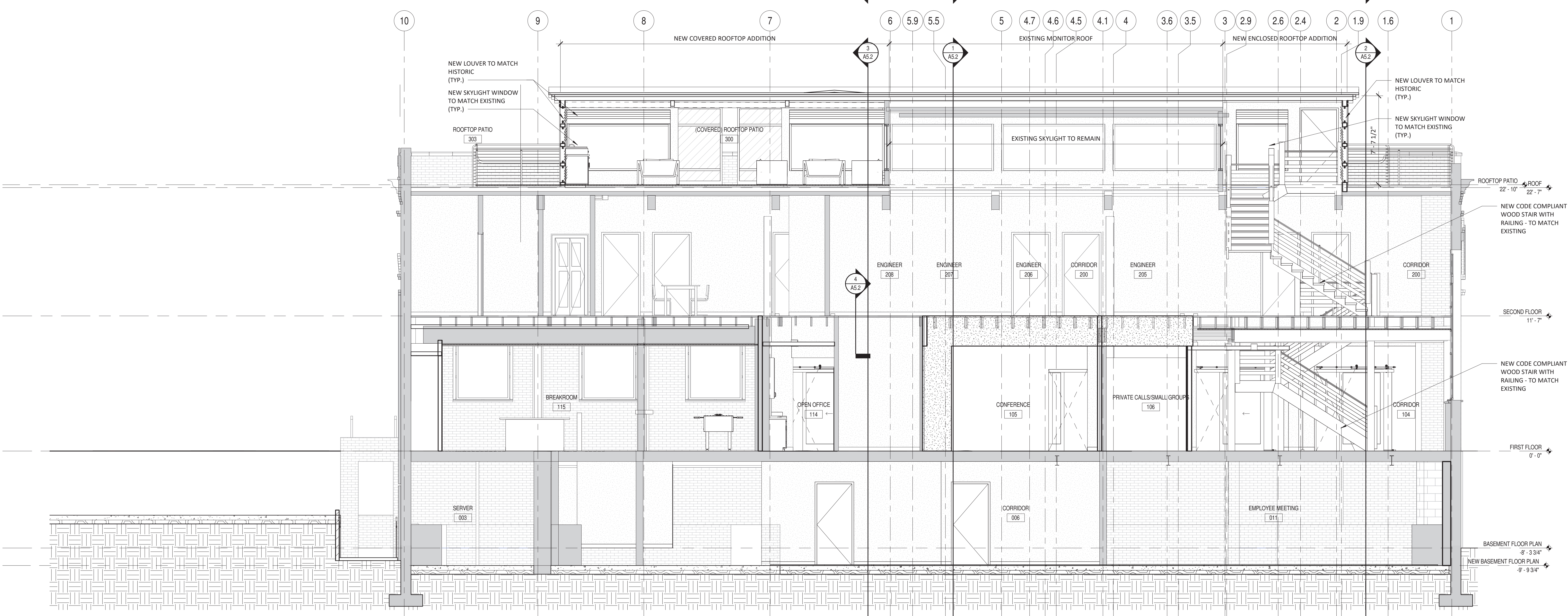
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DATE: 04.23.2019

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1 EAST WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 EAST WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"

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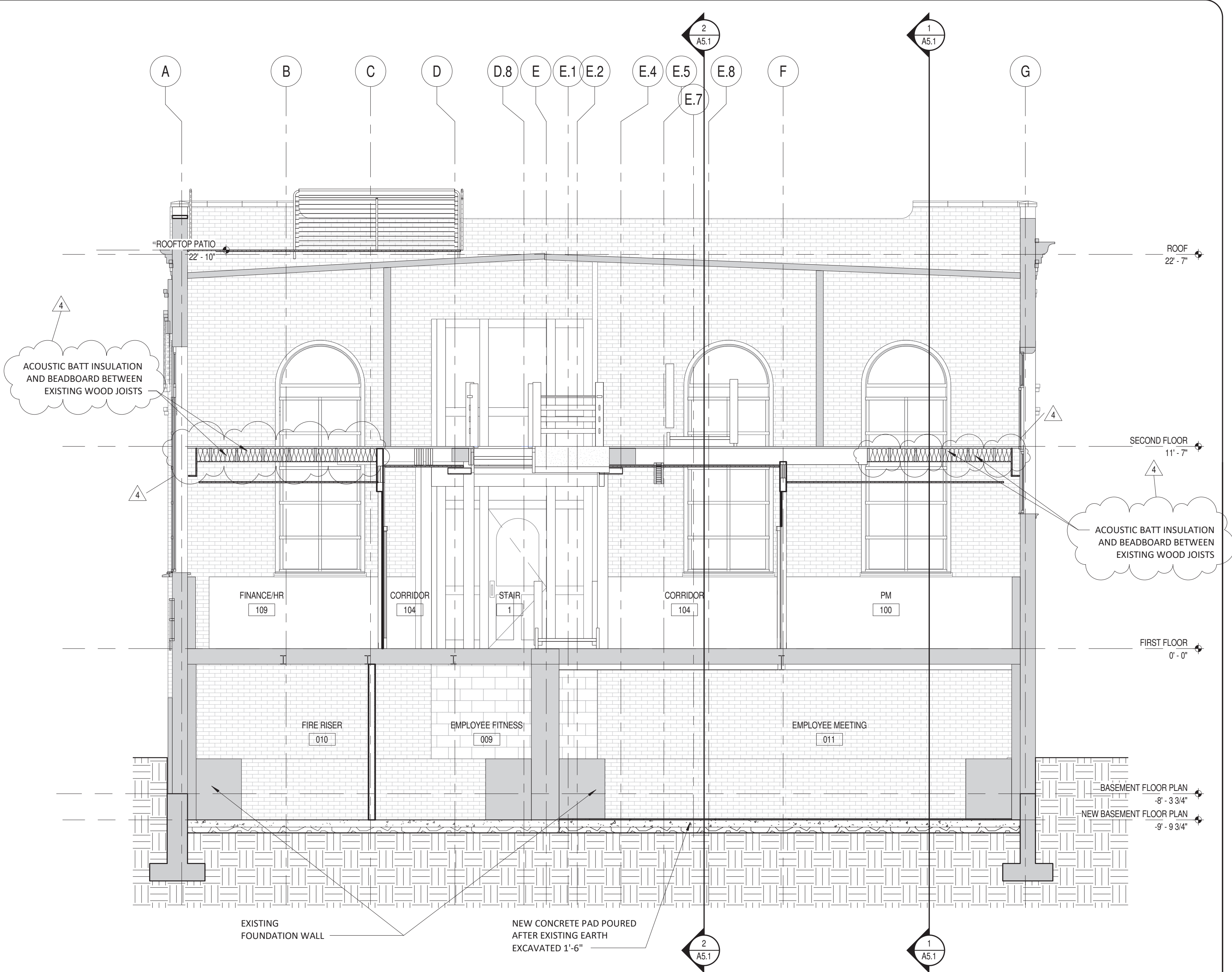
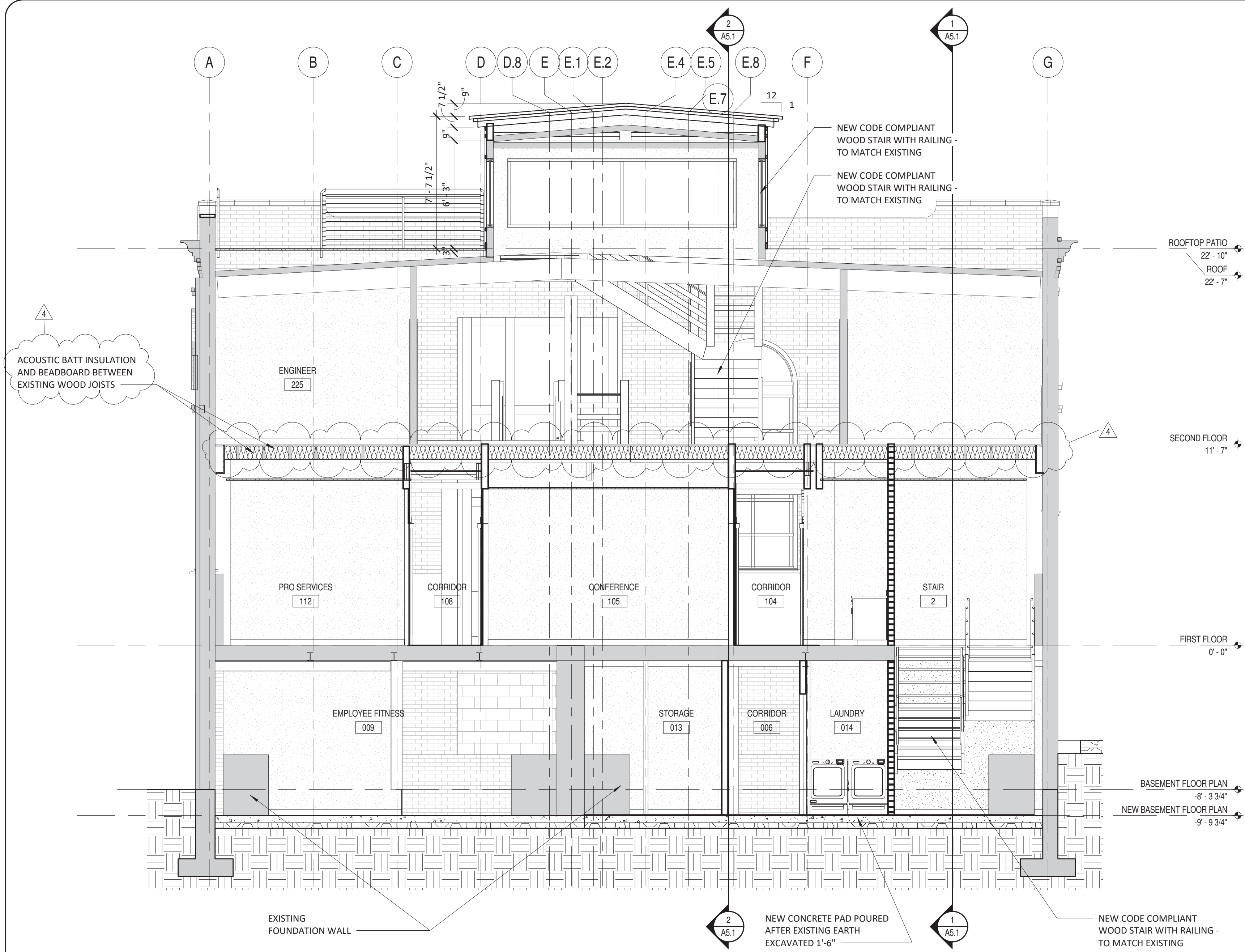
REV #	DESCRIPTION	DATE
4	PART II REVIEW COMMENT	04.16.2019

BUILDING SECTIONS

PROJ. NO.: S285.17
 DRAWN BY: Author
 DATE: 04.23.2019

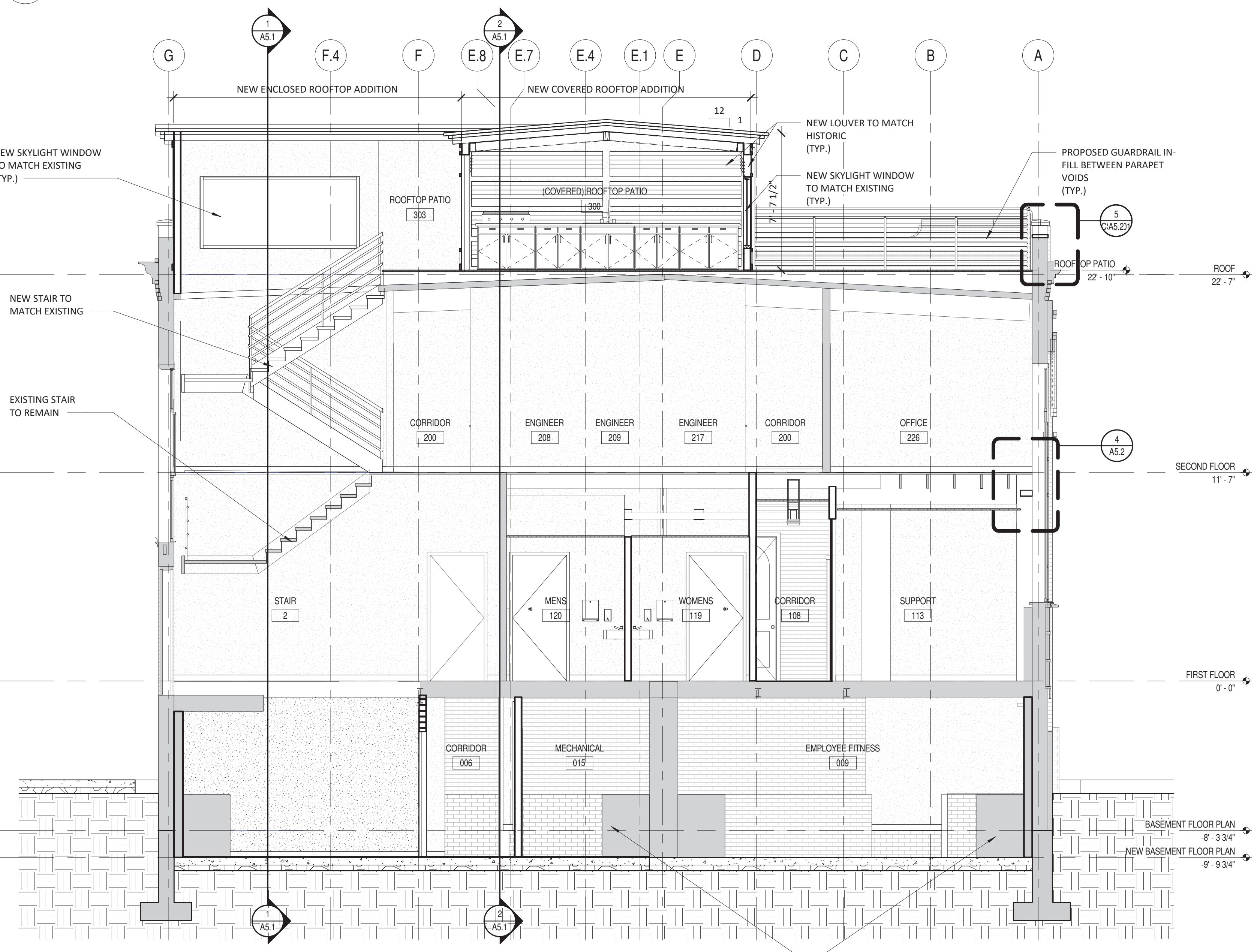
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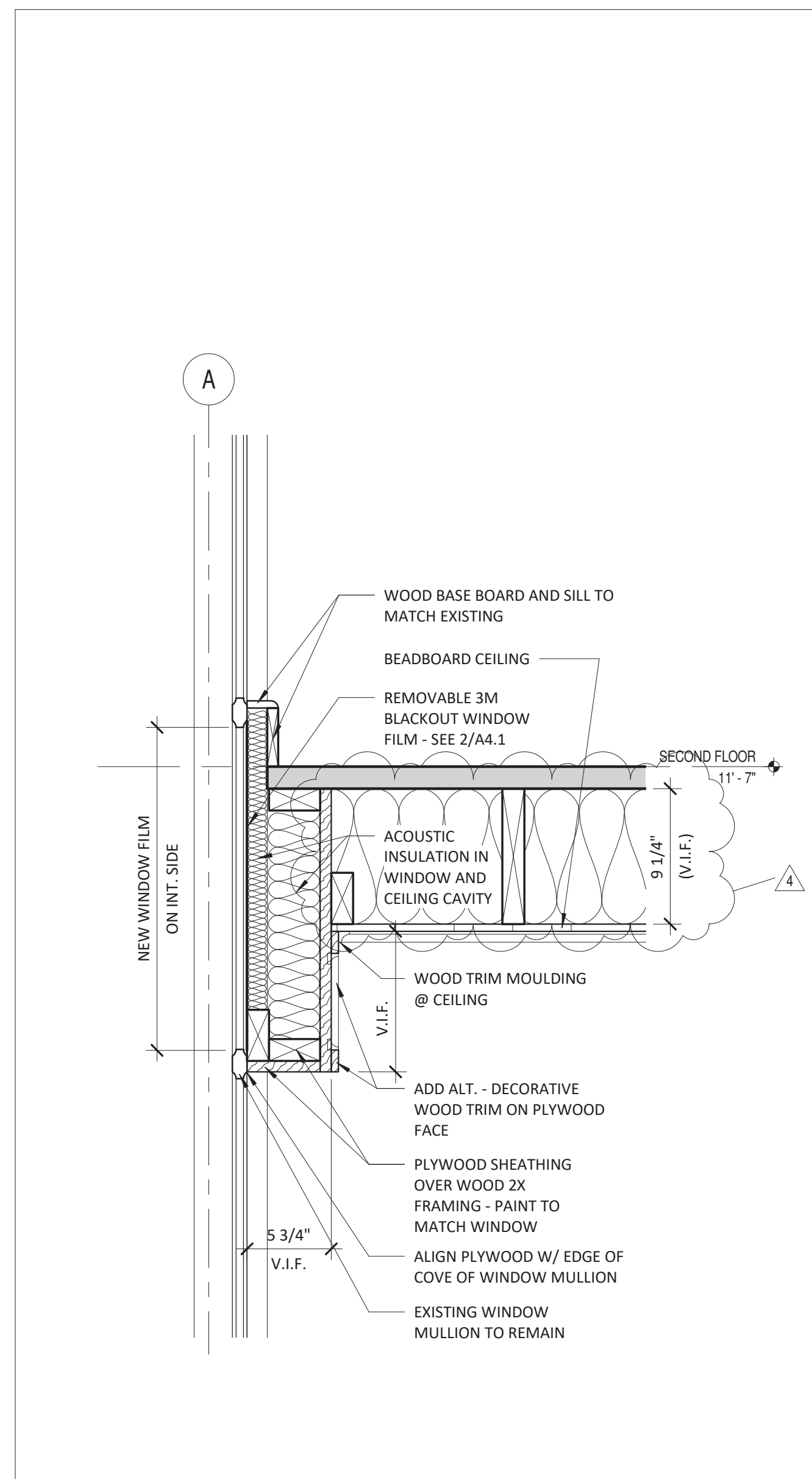


1 NORTH SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

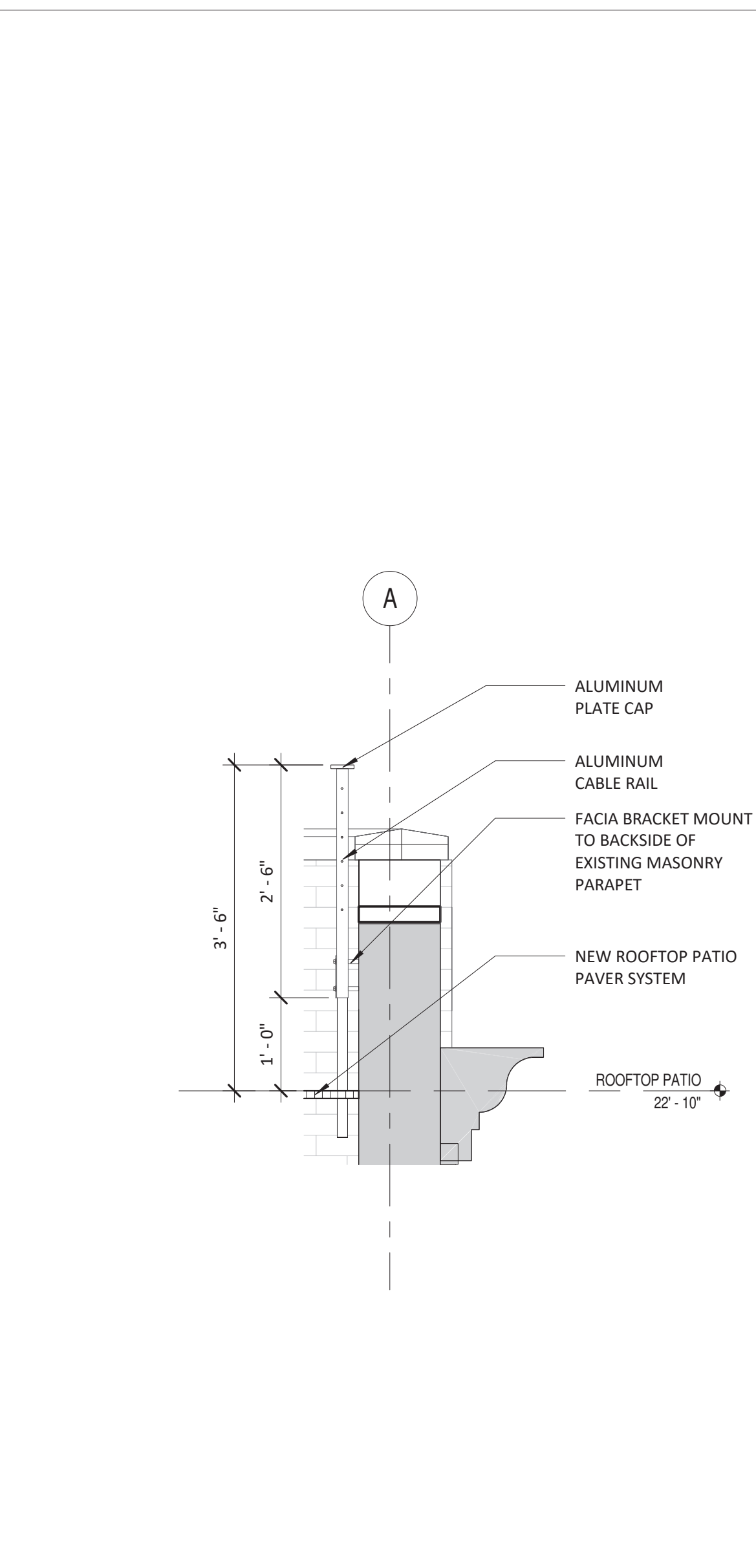
2 NORTH SOUTH BUILDING SECTION 2
SCALE: 1/4" = 1'-0"



3 NORTH SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 SECTION THRU EXISTING WINDOW (TYP.)
SCALE: 1 1/2" = 1'-0"



5 GUARDRAIL DETAIL @ PARAPET (TYP.)
SCALE: 3/4" = 1'-0"

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4	PART II REVIEW COMMENT	04.16.2019

BUILDING SECTIONS & DETAILS

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DATE: 04.23.2019

A5.2