



01/29/2017

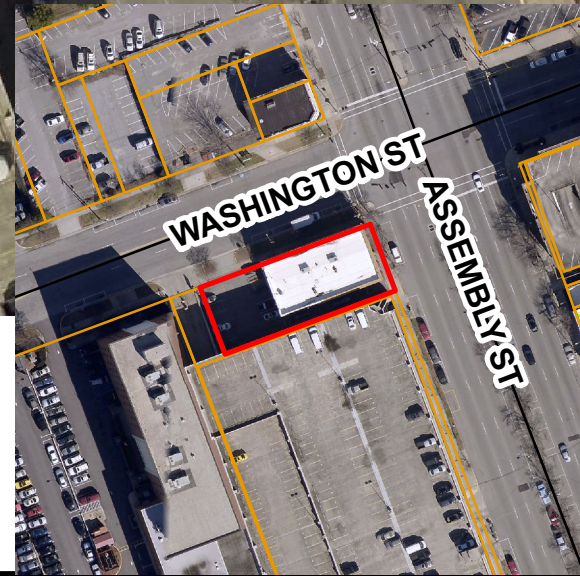


D/DRC Case

1337 Assembly Street

City Center Design/Development District

TMS# 09013-10-06



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
EVALUATION SHEET
Case # 1

ADDRESS: 1337 Assembly Street

APPLICANT: Steve Costell, Lambert Architects

TAX MAP REFERENCE: TMS# 09013-10-06

USE OF PROPERTY: office

REVIEW DISTRICT: City Center Design/Development District

NATURE OF REQUEST: Request for Certificate of Design Approval for rear addition

FINDINGS/COMMENTS:

The application is for the addition of a raised porch on the rear of the building. The building, constructed in 1900, was the originally the Columbia Electric Street Railway, Light & Power Company Substation, and was listed on the National Register of Historic Places in 2011. While the attachment and modification to the existing structure is relatively minimal, the visibility of this addition as well as the removal of original detailing, presents a concern from a precedent standpoint. This proposal originated as a staff-level approval, which is being appealed to the Commission at this time.

Below is a summary of the building's history, from the South Carolina Department of Archives and History's website of National Register Properties in South Carolina.

"The Columbia Electric Street Railway, Light & Power Company Substation, constructed in 1900 with later additions and alterations, is architecturally significant for its distinctive Italian Renaissance Revival characteristics and historically significant for its direct association with Columbia's street railway or trolley system. The building was designed by W. B. Smith Whaley, an architect well-known for his cotton mills throughout the American southeast. The substation, like many of Whaley's designs, is typically Italian Renaissance Revival in many of its defining features. The primary construction material is monochromatic red brick, laid in common or American bond pattern. The primary architectural element is the arcade of rounded compound arches or archivolt springing from broad piers. The massing is heavy, solid, and imposing. This weightiness is further emphasized by the flat roof and the recessed window and door openings. The substation was renovated in 1912 to meet the growing needs of the burgeoning trolley system - the electrical equipment was upgraded, three bays were added to the west end of the building, a second story was added within the volume of the building, the original office space was removed, and the tile floor was replaced with reinforced concrete throughout the building. A monitor roof was also installed (though removed at a later date), and the cornice on the west elevation was removed and reused on the extended north elevation. From its construction in 1900 until 1936, when the trolley system permanently discontinued service, the building served as a power substation (and briefly as the general offices) for the Columbia Electric Street

Railway, Light & Power Company and its successors. The trolley system operated by this company and powered by the substation played an integral part in the creation, growth, and subsequent annexation of Columbia's suburbs during the early twentieth century. These developments are illustrative of the broad pattern of trolley-based public transportation and suburban expansion of many American cities in the late nineteenth and early twentieth centuries. Listed in the National Register February 4, 2011."



Assembly Street façade



View of rear elevation from Washington Street

5.9 Building additions, Renovations, and Demolitions

The renovation/restoration of older structures provides an excellent means of maintaining and reinforcing the historic character of Columbia's traditional City Center and should be encouraged. Renovation and expansion not only increases property values in the area but also serves as an inspiration to other property owners and developers to make similar efforts.

When an existing structure is to be renovated or expanded, care should be taken to complete the work in a manner that respects the original design character of the structure. The appropriate design guidelines in this section are to be implemented whenever a structure is to be renovated or expanded.

In addition, renovation of structures of historic significance should follow applicable City-adopted guidelines for historic landmarks and districts and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, published by the U.S Department of the Interior, National Park Service (see Appendix A).

[from Appendix A] Contemporary design for additions to existing properties shall not be discouraged when such alterations and additions do not destroy historical, architectural, or cultural material, and character of the property, neighborhood, and environment.

5.9.1 Preservation of Traditional Features and Decoration

Sensitive response to existing materials, details, proportions, as well as patterns of materials and openings is strongly recommended when any such work will affect the appearance of an existing building's exterior.

- *Existing historic decoration should be preserved. It reinforces the traditional character of Columbia's City Center and adds a richness of detail which is often irreplaceable at today's costs. At the same time, the details of the decoration lend a unique character to individual buildings and to City Center as a whole.*



While the addition is on the rear of the building, this building has intricate brick corbeling on the back elevation, articulating the pilasters across the back of the building. This level of detail is highly unusual for the rear elevation, but it is a great example of articulating and adding interest to a façade which does not have fenestration, particularly a highly visible rear façade. The proposal does preserve most of this detailing, but does require a penetration through the rear façade at the second level, between the 2 southern-most pilasters.

5.9.10 Additions to Existing Structures

The design of a proposed addition should follow the general scale, proportion, massing, and detailing of the original structure; it should be harmonious, not in stark contrast.

- *New additions should be interpretations of the existing buildings wherein the main characteristics of the existing structure are incorporated using modern construction methods. This may include: the extension of architectural lines from the existing structure to the addition; repetition of window and entrance spacing; use of harmonizing colors and materials; and the inclusion of similar, yet distinct, architectural details (i.e., window/door trim, lighting fixtures, tile/brick decoration, etc.)*

n/a

- *New additions should be designed so that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.*

For the most part, if this porch addition were to be removed, the building would largely be in-tact, with the exception of the penetration through the second floor.

- *Decks, stairs and other minor additions should use similar materials, design, and colors to the original building. These additions should occur in areas not visible from the street.*

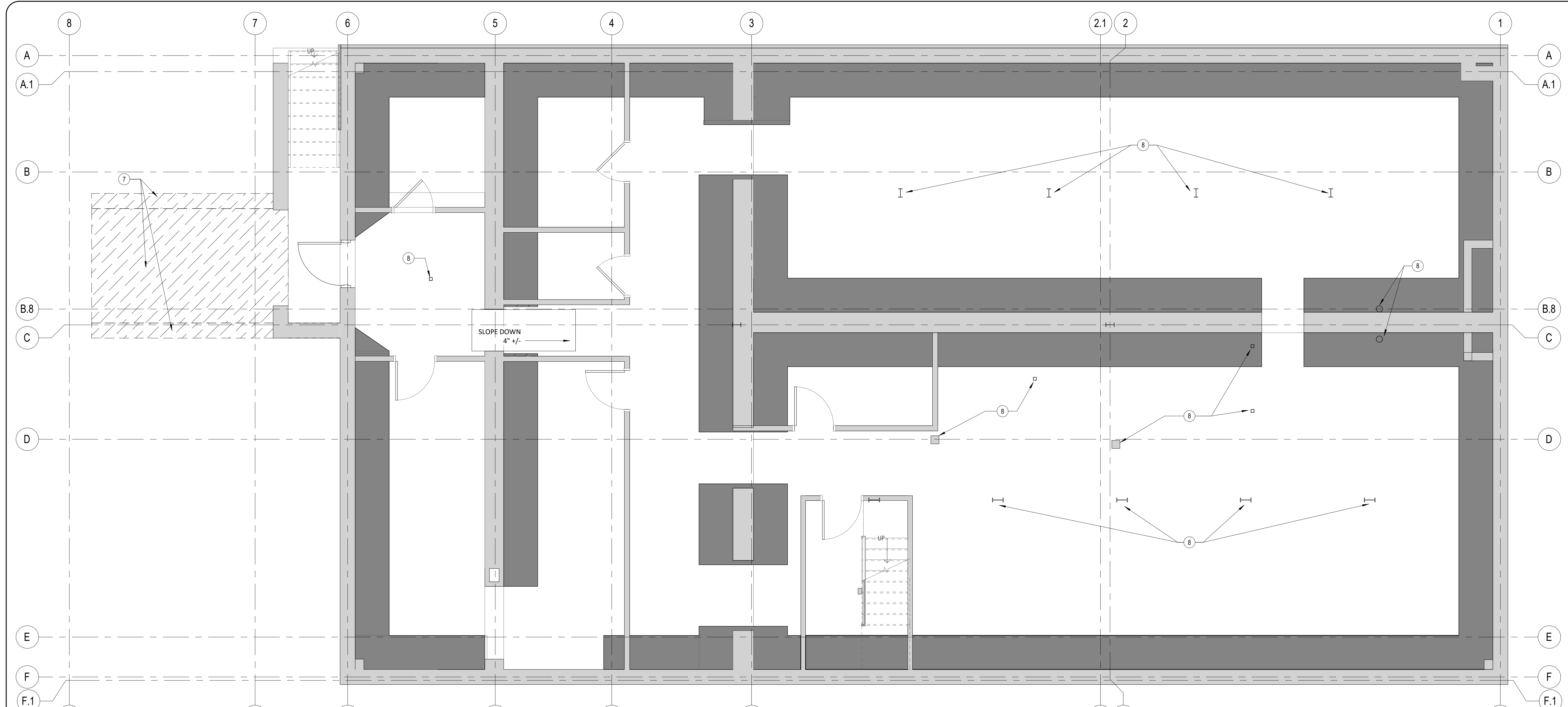
While the deck addition is on the rear of the building, it is a large structure and highly visible from Washington Street. That said, the architects have used streamlined materials to aid to the transparency of the addition as much as possible given the scale of the structure.

STAFF RECOMMENDATIONS:

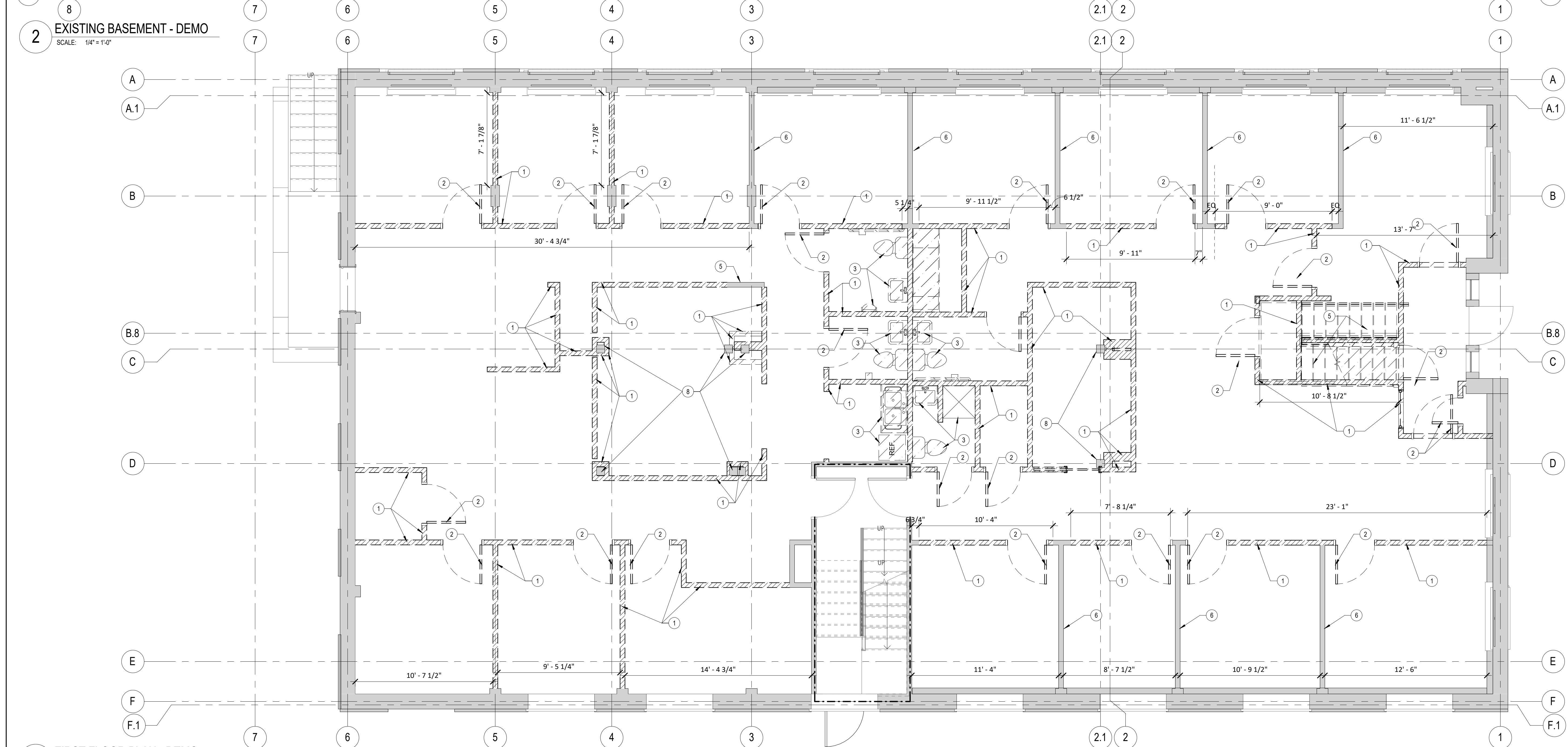
Staff recommended denial of this request in that it was found not to meet the guidelines in Sections 5.9.1 and 5.9.10 of the City Center Design/Development Guidelines.

Typically, a rear addition with minimal physical impact to the original structure would be considered. However the large scale of the addition on the highly visible the back of this building, in addition to the detailed architectural features of this rear elevation make this a unique case. The Commission may decide to grant an exception to the guidelines if they determine that the uniqueness of this request will not set a precedent for future proposals.

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2 EXISTING BASEMENT - DEMO
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND

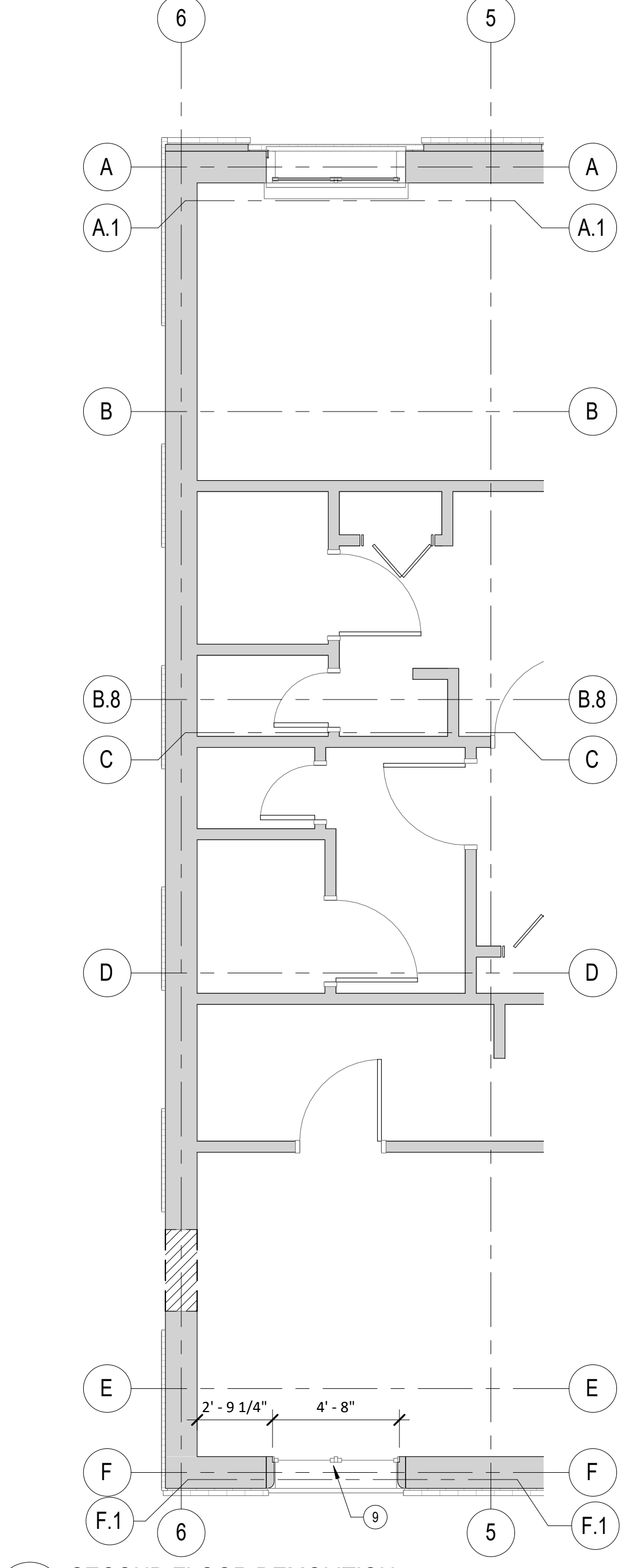
AREA OF "NO WORK" DEMOLITION KEYNOTE

GENERAL DEMOLITION NOTES

- ANY DAMAGE TO EXISTING CONDITIONS CAUSED BY DEMOLITION AND/OR NEW WORK SHALL BE REPAIRED AS DETAILED, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- DIMENSIONS SHOWN ON EXISTING PLANS ARE SHOWN AS A REFERENCE AND SHALL BE CONSIDERED "+", IF EXACT DIMENSIONS ARE REQUIRED, FIELD MEASUREMENTS SHALL BE TAKEN BY THE CONTRACTOR.
- ANY DUCT WORK SHOWN PASSING THROUGH A NEW OR EXISTING WALL CARRYING A FIRE RATING SHALL BE EQUIPPED WITH APPROPRIATE FIRE RATED DAMPERS AT THE POINT OF INTERSECTION WITH THE WALL.
- ANY NEW OR EXISTING PIPING CONDUIT OR WIRING PASSING THROUGH A NEW OR EXISTING WALL CARRYING A FIRE RATING SHALL BE SEALED TIGHT TO THE WALL WITH A UL APPROVED METHOD.
- WHERE NEW DOORS ARE SHOWN TO BE INSTALLED IN EXISTING MASONRY WALLS, NEW MASONRY SHALL BE INSTALLED AT EXISTING HEAD AND JAMBS AS REQUIRED FOR NEW DOOR INSTALLATION.
- ALL PEELING PAINT SHALL BE SCRAPPED FROM EXISTING WALLS AND WALLS SHALL BE CLEANED PRIOR TO REPAINTING.
- ALL HOLES IN MASONRY WALLS, EXISTING OR MADE BY THE REMOVAL OF ANY FIXTURES OR EQUIPMENT, SHALL BE PATCHED WITH MASONRY TO MATCH EXISTING. INSTALL NEW MASONRY FLUSH WITH EXISTING ON BOTH SIDES.
- REMOVE ALL WALL BRACKETS, PLASTIC SHIELDS, HOOKS, CLIPS, NAILS, TAPE AND SCREWS ON EXISTING WALLS IN PREPARATION FOR SMOOTH CLEAN SURFACE (TYPICAL AT SPACES WHERE NEW FINISH IS SCHEDULED).
- ALL DEMOLITION SHALL BE PERFORMED TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH CAN NOT BE PRE-DETERMINED UNTIL DEMOLITION IS STARTED. ALL SUCH DISCOVERIES OF UTILITIES WHICH ARE IN A DIFFERENT LOCATION FROM THAT INDICATED, CHANGE DIRECTION FROM FLOOR-TO-FLOOR, ETC. OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL OR DISTURBANCE.
- REMOVE ALL WALL MOUNTED ACCESSORIES IN AREAS OF DEMOLITION AND RENOVATION. PATCH/REPAIR WALLS TO MAKE SMOOTH AND PREPARE FOR NEW WALL FINISH. REINSTALL ANY NEW WALL ACCESSORIES PER MANUFACTURER'S INSTRUCTIONS.
- SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION ON DEMOLITION AND CONSTRUCTION TO REMAIN.

DEMOLITION KEYNOTE LEGEND

NO.	NOTE DESCRIPTION
1	REMOVE EXISTING WOOD/METAL STUD AND GYP. BD. WALL IN ITS ENTIRETY
2	REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE IN ITS ENTIRETY
3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING
4	NOT USED
5	EXISTING WOOD STAIR TO REMAIN.
6	EXISTING WALLS TO REMAIN.
7	REMOVE EXISTING SITE WALLS AND RAMP IN THEIR ENTIRETY - PATCH AND REPAIR AS REQUIRED
8	EXISTING STRUCTURE TO REMAIN. IF EXISTING STRUCTURAL MEMBER IS NOT NOTED ON DRAWING, NOTIFY ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY
9	REMOVE EXISTING WINDOW AND ASSOCIATED HARDWARE IN ITS ENTIRETY. REMOVE PORTION OF WALL BELOW EXISTING WINDOW TO INSTALL NEW DOORS AND FRAME IN EXISTING WINDOW OPENING. REFER TO PLANS AND DOOR SCHEDULE FOR SIZE AND LOCATION



3 SECOND FLOOR DEMOLITION
SCALE: 1/4" = 1'-0"

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STATE OF SOUTH CAROLINA
JAMES M. LAMBERT
ARCHITECTURE + CONSTRUCTION SERVICES
NO. 110175
LICENSED PROFESSIONAL ARCHITECT
LICENSED PROFESSIONAL CONTRACTOR

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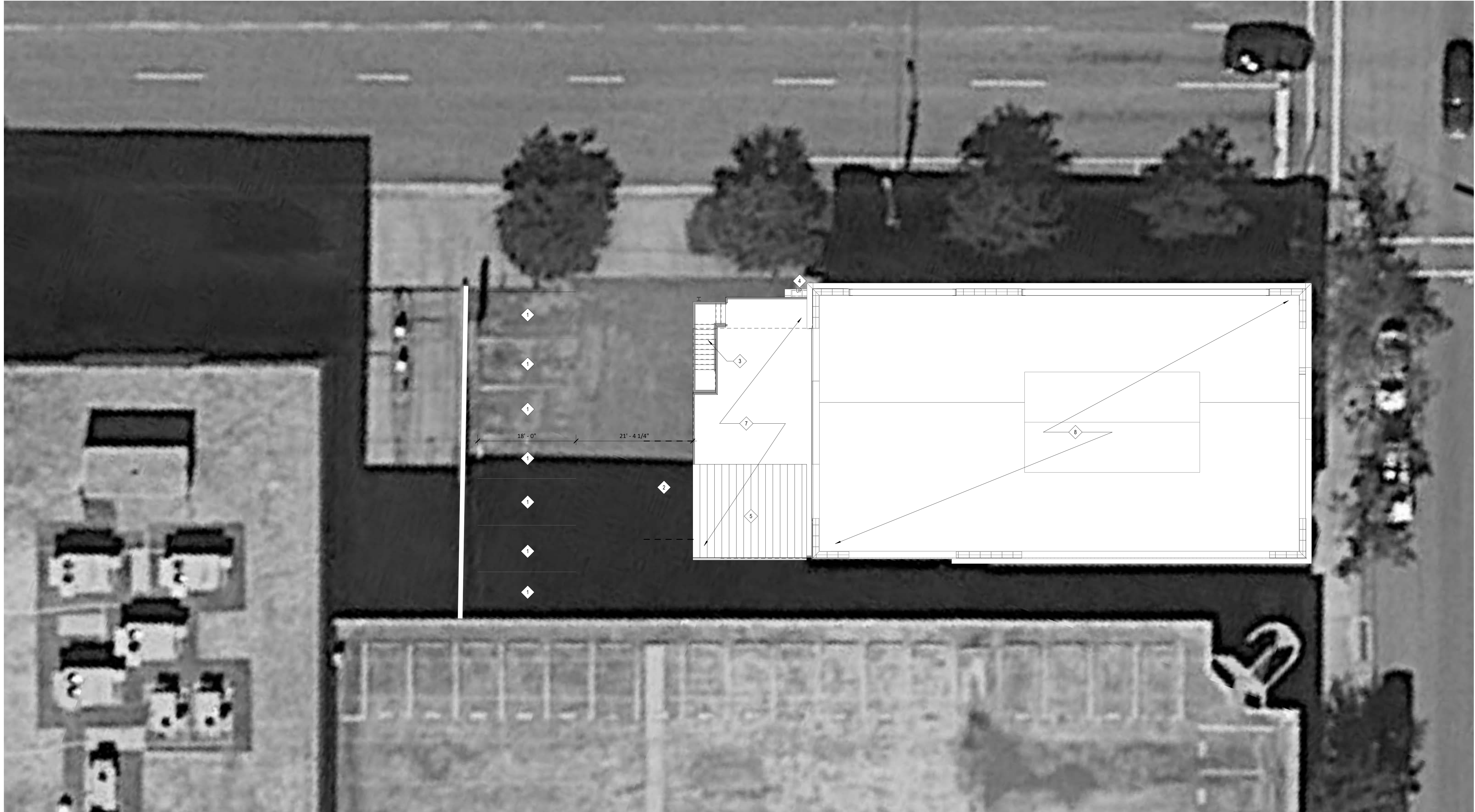
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DATE	DESCRIPTION

FIRST FLOOR & BASEMENT PLAN DEMOLITION

PROJ. NO.: S285.17
DRAWN BY: Author
DATE: 02.08.2018

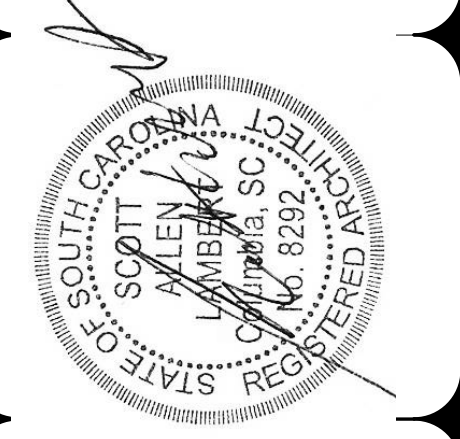
D1.1



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



KEYNOTE SITE PLAN	
Plan Note ID	NOTE DESCRIPTION
1	EXISTING PARKING SPACE
2	NEW PARKING SPACE
3	NEW STAIR
4	EXISTING STAIR TO REMAIN
5	COVERED PORTION OF SECOND LEVEL PATIO
7	SECOND LEVEL PATIO
8	EXISTING BUILDING



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SITE PLAN

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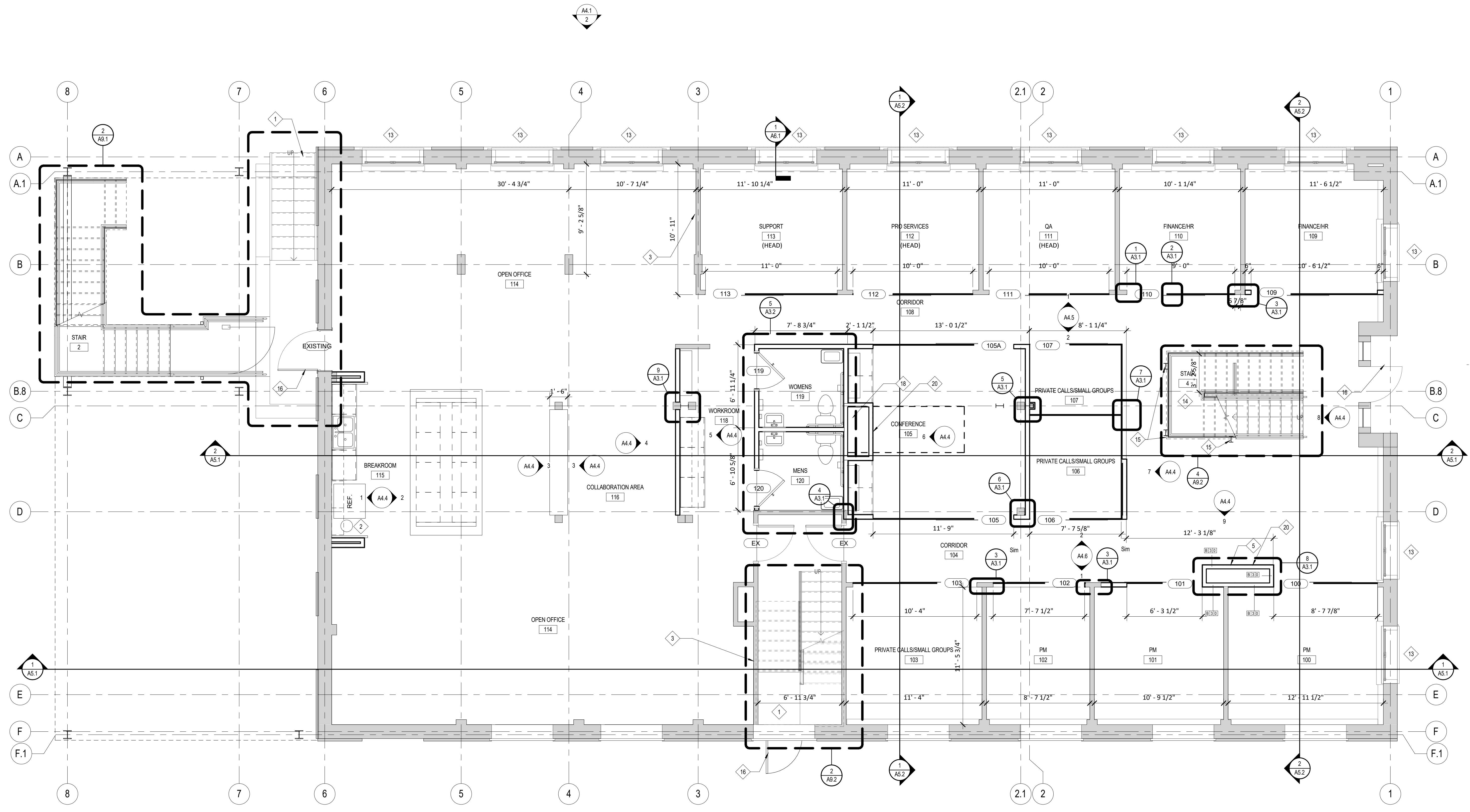
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GENERAL FLOOR PLAN NOTES	
1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.	

KEYNOTE - FLOOR PLAN	
Plan Note ID	NOTE DESCRIPTION
1	EXISTING STAIR TO REMAIN
2	WATER COOLER
3	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING
4	NOT USED
5	POTENTIAL FISH TANK LOCATION
6	EXISTING ROOF ACCESS LADDER
7	EXISTING OPEN OFFICE AREA TO REMAIN
8	EXISTING OFFICE TO REMAIN
9	EXISTING CLERESTORY (ABOVE) TO REMAIN
10	EXISTING DRINKING FOUNTAIN
11	NEW DOOR IN EXISTING WINDOW OPENING
12	NEW PATIO & STAIR
13	EXISTING WINDOW TO REMAIN
14	NEW STEEL STAIR WITH WOOD TREADS
15	NEW STEEL COLUMNS TO SUPPORT BEAMS ABOVE, COORD. EXACT LOCATION WITH EXISTING STRUCTURE
16	EXISTING ENTRY TO REMAIN
17	EXISTING KITCHEN/RESTROOMS TO REMAIN
18	POSSIBLE CHASE LOCATION FOR DUCTS FROM MECH UNITS LOCATED IN THE BASEMENT
19	NOT USED
20	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING

WALL TYPE CONSTRUCTION:	
	EXISTING 2'-0" HIGH FOUNDATION WALL
	EXISTING WALL CONSTRUCTION
	NEW WALL CONSTRUCTION

LEGEND:	
	NO WORK THIS AREA



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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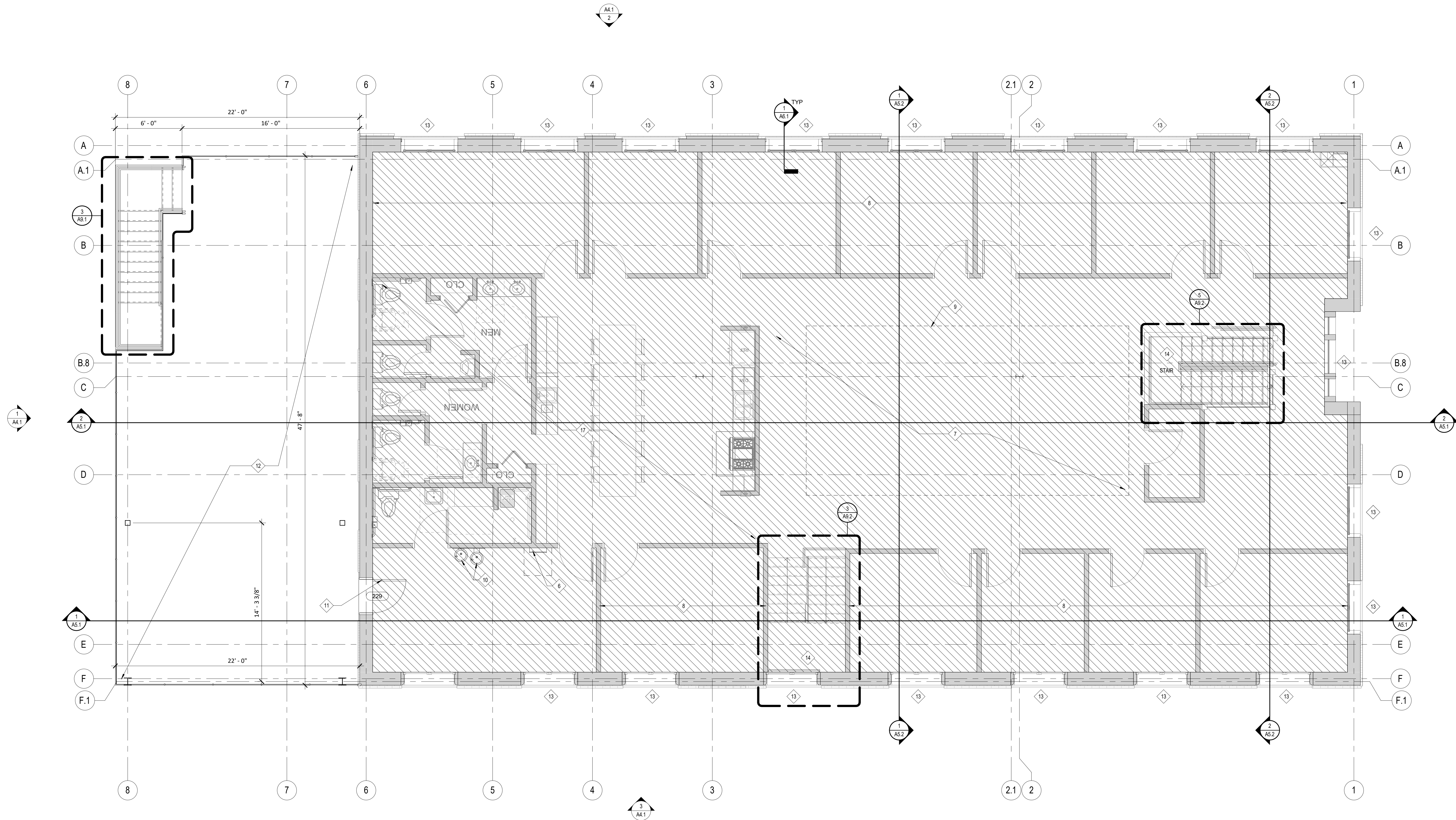
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DATE: 02.08.2018

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1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



KEYNOTE - FLOOR PLAN	
Plan Note ID	NOTE DESCRIPTION
1	EXISTING STAIR TO REMAIN
2	WATER COOLER
3	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING
4	NOT USED
5	POTENTIAL FISH TANK LOCATION
6	EXISTING ROOF ACCESS LADDER
7	EXISTING OPEN OFFICE AREA TO REMAIN
8	EXISTING OFFICE TO REMAIN
9	EXISTING CLERESTORY (ABOVE) TO REMAIN
10	EXISTING DRINKING FOUNTAIN
11	NEW DOOR IN EXISTING WINDOW OPENING
12	NEW PATIO & STAIR
13	EXISTING WINDOW TO REMAIN
14	NEW STEEL STAIR WITH WOOD TREADS
15	NEW STEEL COLUMNS TO SUPPORT BEAMS ABOVE, COORD. EXACT LOCATION WITH EXISTING STRUCTURE
16	EXISTING ENTRY TO REMAIN
17	EXISTING KITCHEN/RESTROOMS TO REMAIN
18	POSSIBLE CHASE LOCATION FOR DUCTS FROM MECH UNITS LOCATED IN THE BASEMENT
19	NOT USED
20	WALL MOUNTED TV - PROVIDE ADEQUATE BLOCKING

GENERAL FLOOR PLAN NOTES

- 1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.

WALL TYPE CONSTRUCTION:

	EXISTING 2' HIGH FOUNDATION WALL
	EXISTING WALL CONSTRUCTION
	NEW WALL CONSTRUCTION

LEGEND:

	NO WORK THIS AREA
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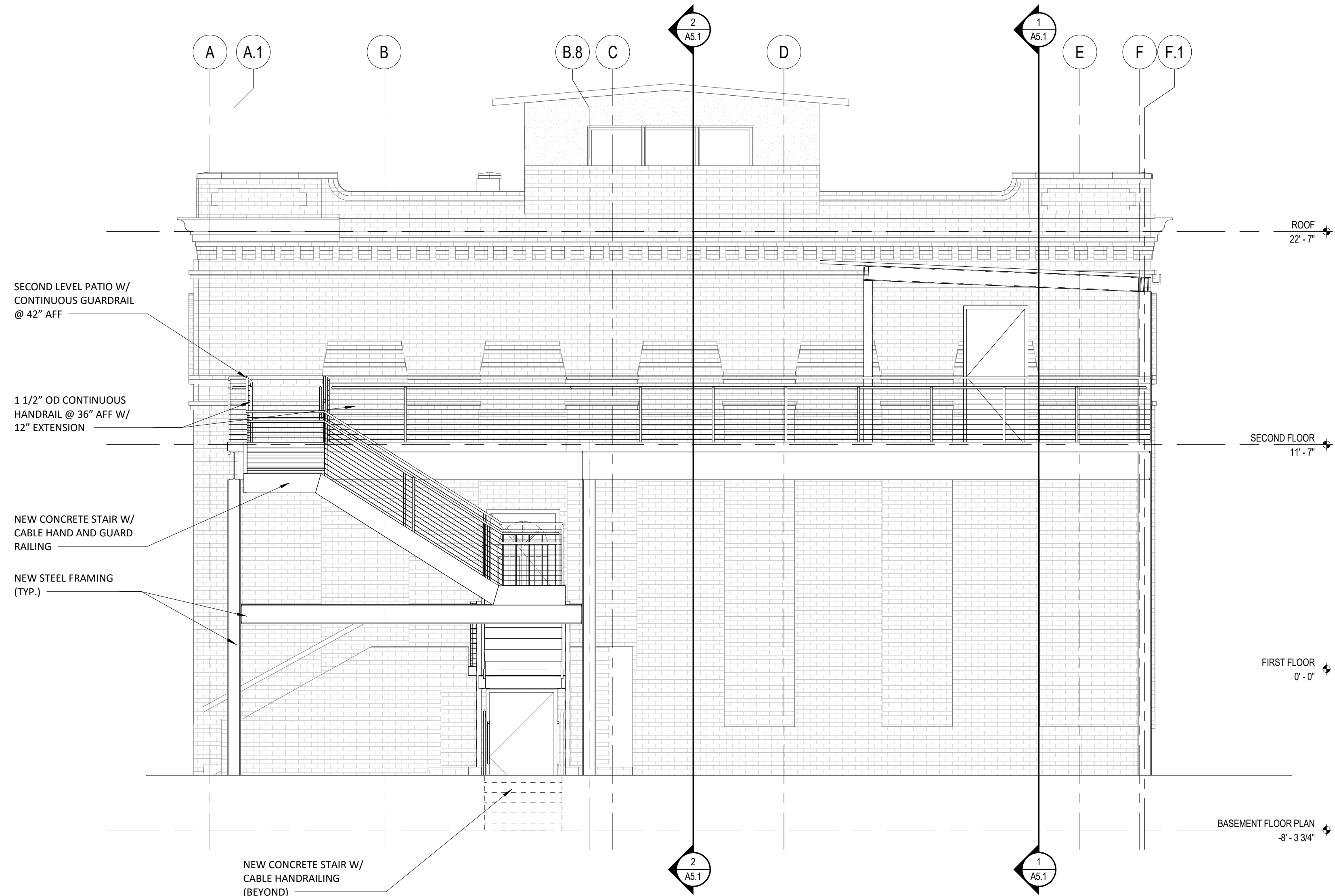
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SECOND FLOOR PLAN

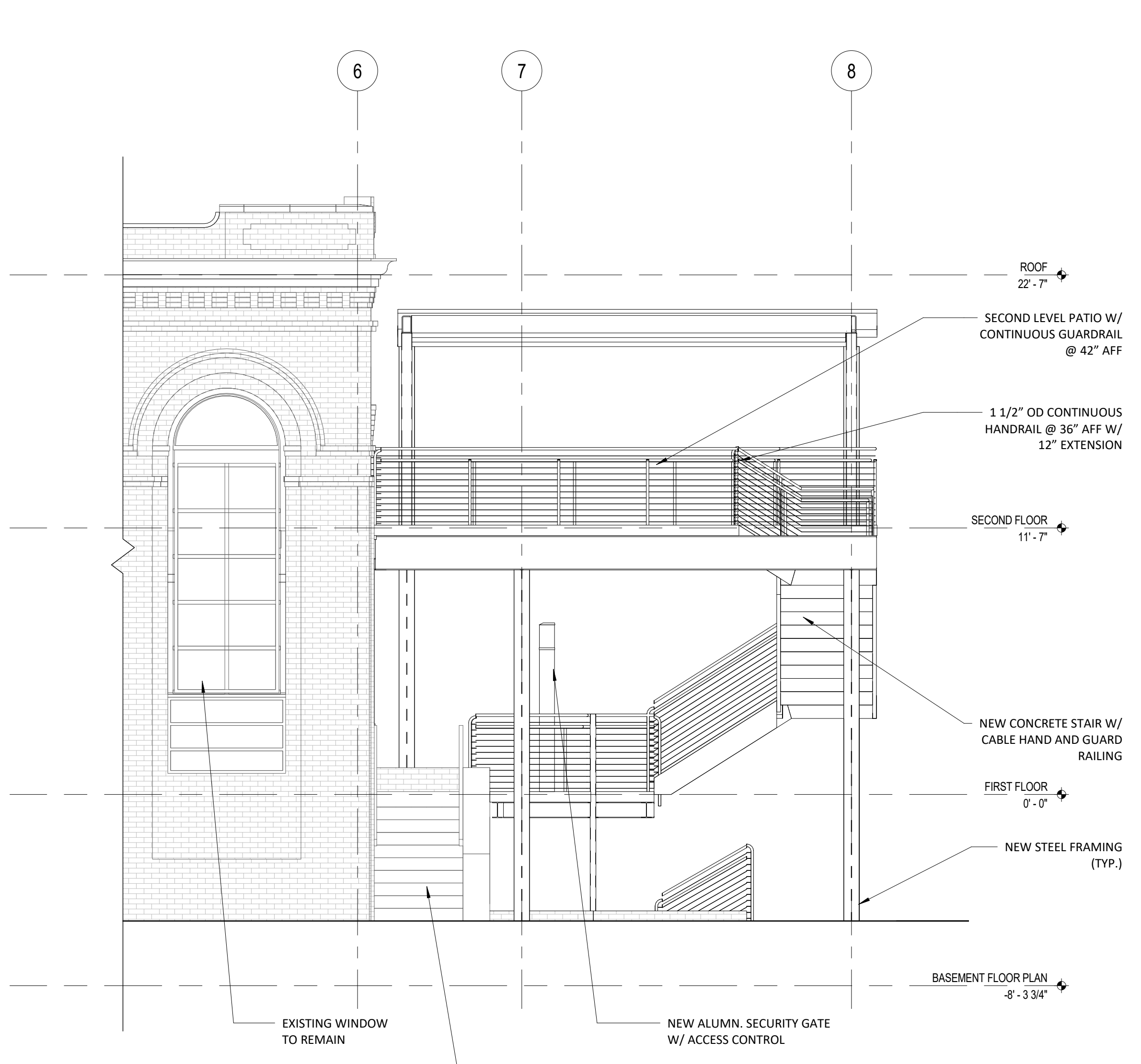
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DATE: 02.08.2018

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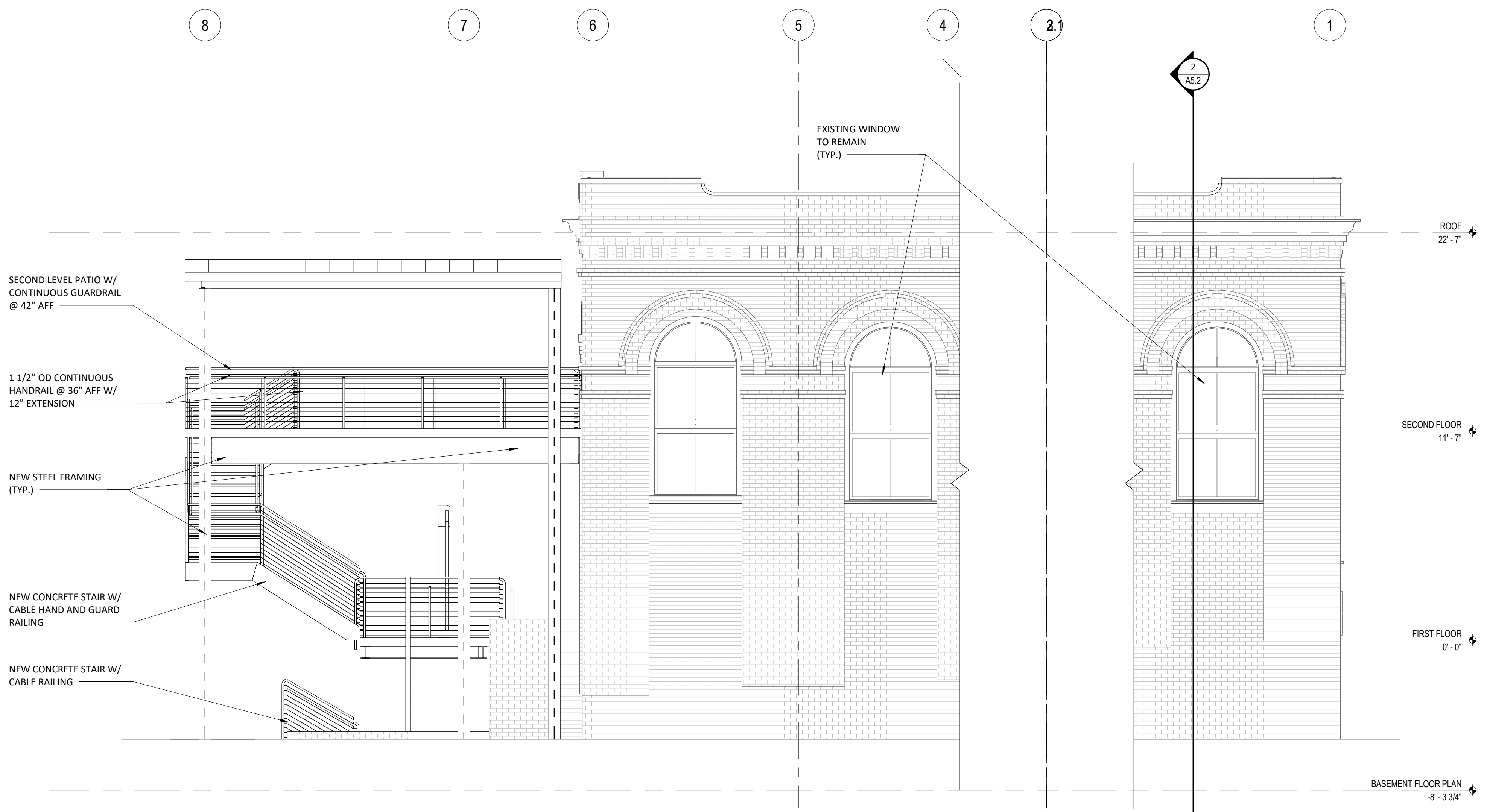
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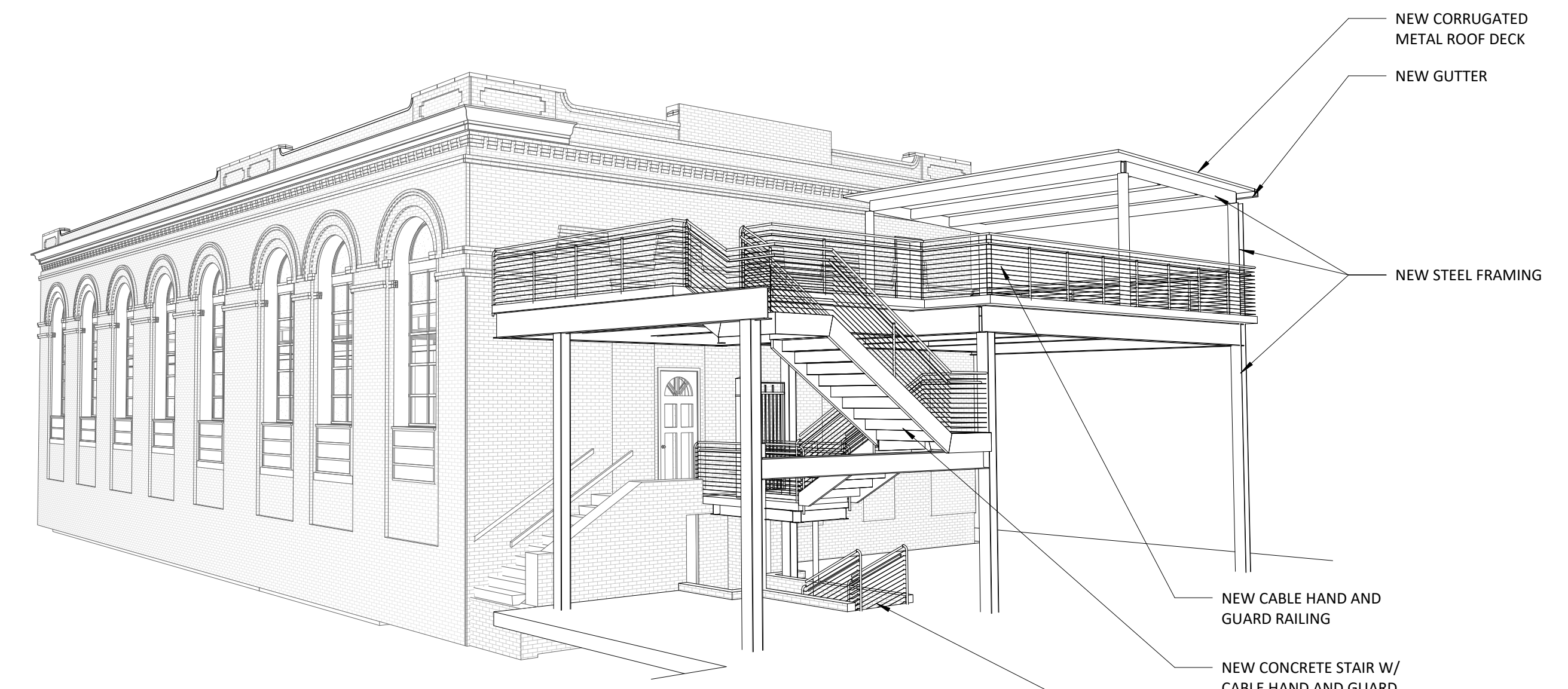
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



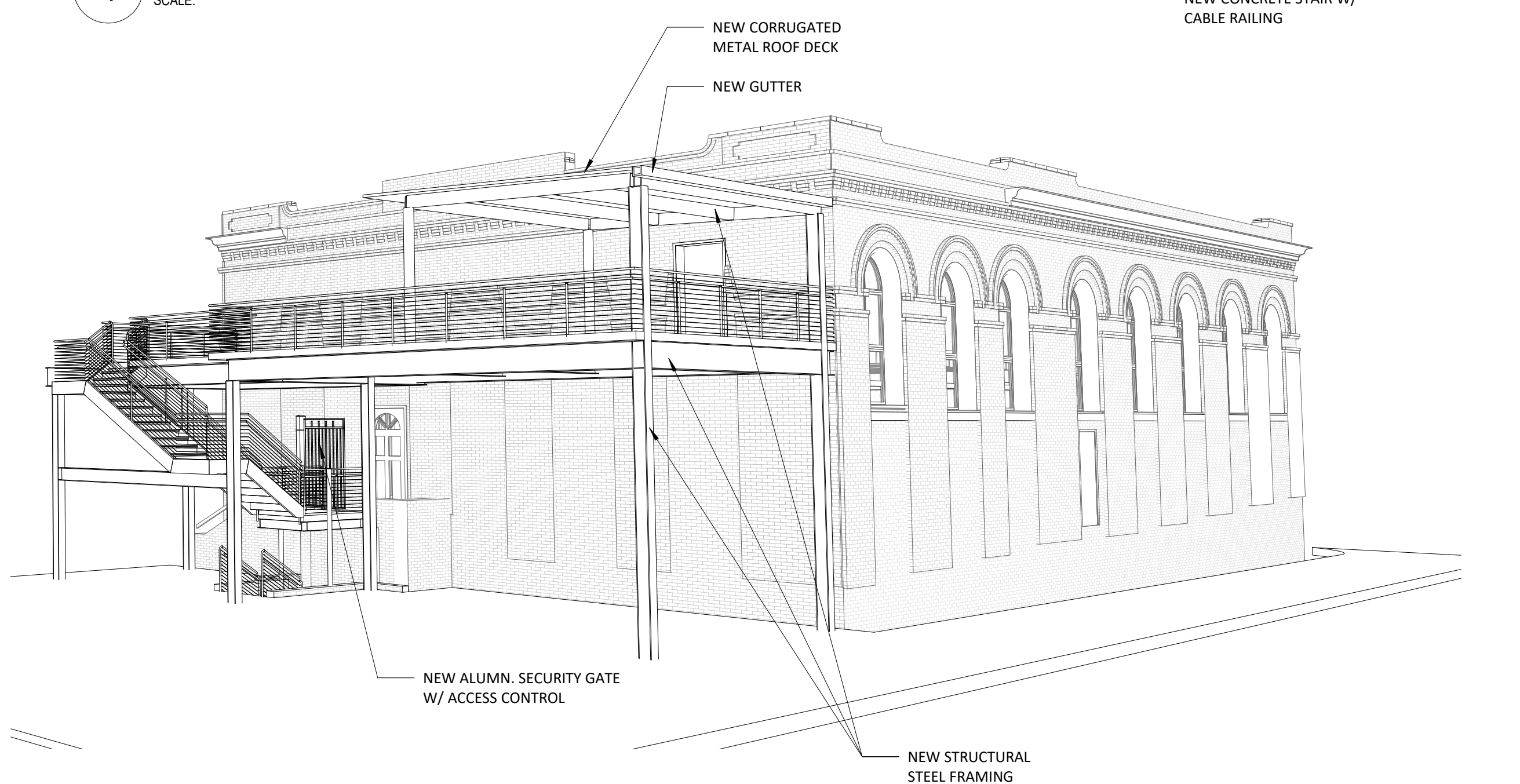
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



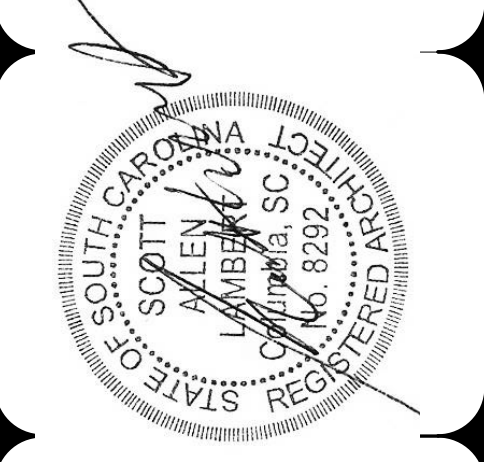
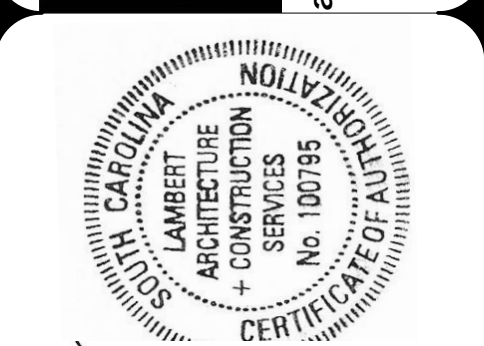
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 VIEW OF BACK DECK FROM WASHINGTON STREET
SCALE:



5 VIEW OF BACK DECK FROM ALLEYWAY
SCALE:



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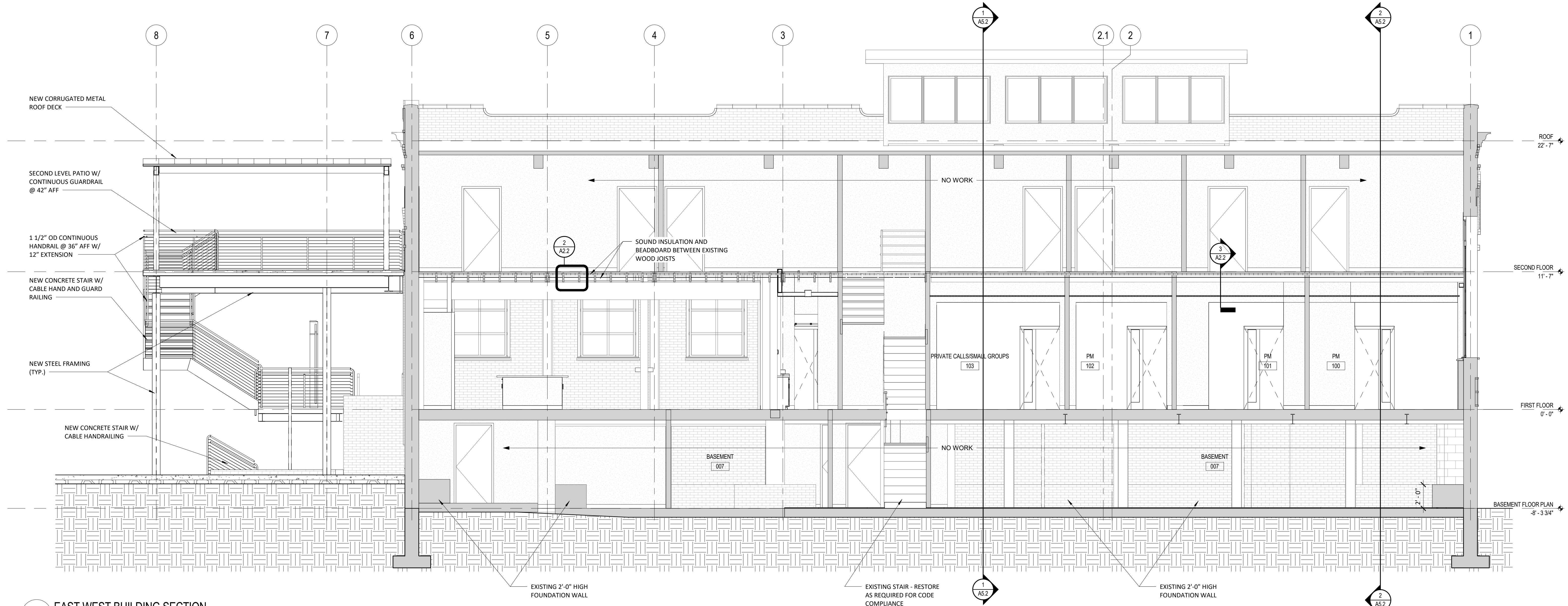
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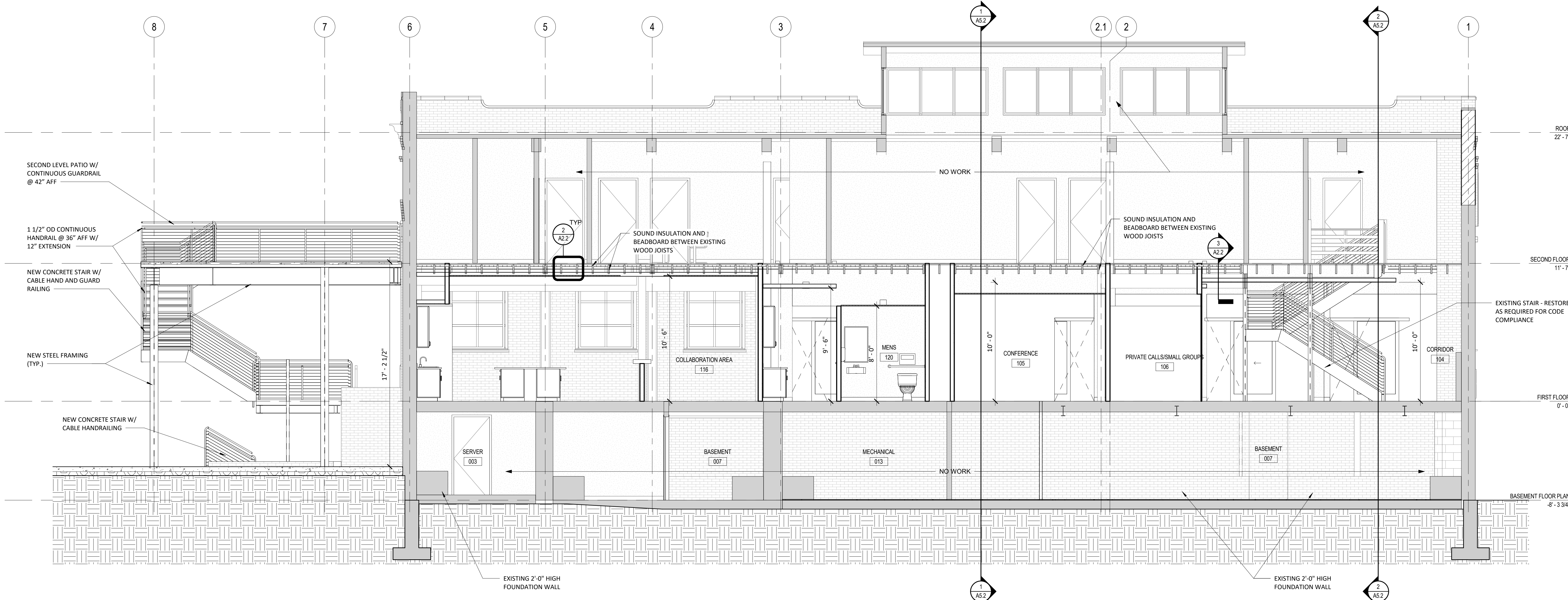
EXTERIOR ELEVATIONS

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1 EAST WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 EAST WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"

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