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D/DRC Case

1321 Lady Street

Requested Individual Landmark

TMS: 11401-01-05



DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 2

ADDRESS: 1321 Lady Street, Owen Building

APPLICANT: Tom Prioreshi

TAX MAP REFERENCE: TMS#11401-01-05

USE OF PROPERTY: Formerly office, Proposed apartments

REVIEW DISTRICT: Individual Landmark

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes and preliminary approval for Bailey Bill

FINDINGS/COMMENTS:

This is the ca. 1949 Owen Building that was constructed using “tilt-up” technology, a type of panel system that utilized repetitive pre-cast concrete panels to fill in the framing both quickly and economically. Created for Frank D. Owen Sr. with specifications for major tenant Southern Bell Telegraph and Telephone Company, the eight-story building had some updated technological features, and the smooth, relatively simple and symmetrical concrete exterior ushered in the modern building age in post-war Columbia. Largely intact on the exterior, the building has survived the past half century with almost all of its steel and wire-glass windows, and gained a sleek new brick veneered annex in 1961 that fronts Marion Street. Both the main building and the annex were designed by Lafaye, Fair and Lafaye, a prominent, local architecture firm active during the early to mid-twentieth century, and both buildings are included as a single landmark. Landmarks have the strictest level of review among all of the historic resources that the City oversees.

The key elements of this mid-century structure are its exterior materials, which consist of concrete, steel and glass, or brick veneer, steel and glass in the annex. These three components created an austere, lean building that avoided ornamentation and took on a machine-made appearance on the exterior, with large banks of windows and subtle recesses in the bays to organize the structure both horizontally and vertically. Indeed, the only ornamentation visible was the dramatic metal entryway and the shallow “cornice” at the roofline, a simple series of lines and dots when viewed from eight floors below. The interior appears to have been similarly stark in design, with large open rooms featuring smooth walls and drop ceilings.

The owner is proposing several exterior changes including:

- renovating the main entry back to an original appearance
- changing the storefront back to its original appearance
- cleaning, restoring and painting the concrete exterior throughout the building

- re-establishing a window that is missing on the west side
- adding new doors to the rooftop penthouse
- adding new doors from the 5th floor to the roof of the annex
- add three new windows to the north side of the annex
- replace two missing windows on rear of main building and replace missing one on side
- add a new entrance to the recessed entry of the annex
- replace two vertical aluminum strips along the front of the building that were in original design
- The application also states that the steel windows in the building will have their metal components restored but all of the glass replaced with insulated glass units. Bronze tint is proposed for all of the windows on the west side of the building.

The owner is also applying for the Bailey Bill, which is an incentive program for restoration and renovation projects that hold to a very high standard.

PERTINENT SECTIONS FROM CITY ORDINANCE

17-674(d): Criteria for review of design of structures and sites.

(1) Issuance of a certificate of design approval shall be based upon the requirements set forth in the standards or design guidelines adopted by the city council for each historic district. For individual landmarks, the Governor's Mansion Protection Area, Elmwood Park Architectural Conservation District, and the Landmark District, the Secretary of the Interior's Standards for Rehabilitation, as amended and listed below (the "Standards"), shall serve as guidelines until such time as design guidelines may be written and adopted by City Council for each local historic district. The Standards are to be applied to specific rehabilitation projects, taking into account the designation level of each district.

a. For landmark districts and individual landmarks, the historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Exterior Walls: The proposal is to retain the concrete and brick veneer walls as they are, with gentle cleaning, repointing and repair following best preservation practices. The concrete walls have previously been painted and will be repainted. The brick veneer and cast stone on the annex will be cleaned but will not be painted.

Doors: There are several new doors proposed for the main building on the 5th floor as it opens onto the roof of the annex. This will require removal of a part of one window and the creation of two new openings but it is likely not going to be highly visible from the public right of way. Likewise, new doors on the penthouse will likely not be highly visible or visible at all from the public right of way.

A new door is proposed in the main entry of the annex, along Marion Street. This door is to access a fire control room, but it necessitates the removal of original cast stone along the side wall of the recessed entry. The proposal is for a steel door that will “be painted to match the stone and the height of the door will align with the seam in the stone.” As this will necessitate the removal of the cast stone in the only surviving original street entryway on this building, it does not meet this ordinance. The use of a mass of cast stone in a solid plane is a material juxtaposition against the brick that should remain intact as an original design feature; this is the largest section of cast stone on the annex. The door should be

moved to the interior of the building. If further discussion with the City's Fire Marshal and Plans Examiner reveal this to be the only location of a doorway for the room, details of the door could be worked out with staff.

Roof: The roofs are not visible from the public right of way, although a penthouse on the main building is slightly visible. It is remaining intact from the view from the west.

Windows: The proposal includes the removal of the 1/4" thick security wire glass and clear glass throughout both buildings. The thickness of the security glass is twice the normal thickness of window glass and already provides better sound and insulating qualities than the normal 1/8" glass. The proposal to remove the glass in all of the windows does not meet this ordinance as it generates the "removal of historic materials or alteration of features and spaces that characterize a property." Safety wire glass was a component often found in "skyscrapers," as the Owen Building was called, although it is used in the four-story annex as well. This glass is found throughout the side and rear walls of the buildings although over the years there are some panes that have been replaced and much of the glass was covered in a film. The facades of both buildings feature clear glass, but as the main building was built before the invention of float glass in the 1950s, which is the very flat and smooth glass we still use today, this glass is part of a previous era of glass manufacturing that may have lent some distinctive qualities to the material such as distortion. If the tint were removed from this glass some inherent characteristics might become visible.

At present there are no drawings provided by the applicant regarding the proposal to use a half inch thick insulated glass unit in the windows. The historic steel frames compose two flanges that hold in the glass. The flanges are screwed into a frame. It appears to staff that if the flanges are pushed out to accommodate a thicker glass the flanges will project past their framing. See attached rendering by staff for more information.

b. In architectural conservation districts and protection areas, the historic character of a district shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.

Not applicable.

c. For individual landmarks and the landmark district, each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Windows: The proposal calls for a bronze tint to the windows along the west side of the building, perhaps the most visible side and the one that catches the afternoon sun. A bronze tint is not a feature that would have been present at the time of construction. Likewise, the tinted glass proposed for the remainder of the building could be considered conjectural. If a new tinted film is desired for the original glass, it would need to be approved after a sample is submitted to the City to ensure that it looks as clear as possible to avoid altering the original appearance of the windows, which is a large, character-defining feature of the exterior of these buildings.

d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The major alterations to the building include the replacement of the main entrance and storefront, believed to have been done in the 1980s. This has not gained historic significance in its own right.

e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

The majority of the exterior features on the building will be preserved. The concrete exterior on the original building and a majority of the brick veneer and cast stone on the annex will remain intact. The brick veneer and cast stone will not be painted or coated on the annex.

The steel window framings will be restored, but the current proposal is to remove all of the glass in these windows in both the main building and the annex. There is a large degree of ¼" thick security wire glass throughout two sides and rear of the original building, although over the years some of it has clearly been replaced with clear glass or a diagonal pattern wire glass, which is the same glass found in all of the windows of the annex except those on the facade. The thickness of the security glass is twice the normal thickness of window glass.

A lot of the original wire glass has been coated in a film, although there are some areas where this is failing. This suggests it may be possible to remove the film and use the existing glass. The use of clear glass on the front of the building is also distinctive, as this was the side of the building not near another structure and therefore not needing the security glass in the windows.

The clear glass on most of the floors of the façade as well as the safety glass is likely an original feature of both the main building and the annex and is distinct in both; the main building has a hexagonal "chicken wire" shape while the 1961 annex has a much more streamlined diamond pattern wire embedded in the glass. This glass is a "distinctive feature" of the building and as such should be preserved to meet this ordinance.

f. Deteriorated historic features shall be repaired rather than replaced. Where severe deterioration or complete loss requires replacement of a distinctive feature, the new feature shall match the old in design, color, finish, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, and character-defining features that have been lost due to intentional damage, removal or neglect shall be rebuilt.

Windows: There are some broken glass panes throughout the building and the metal frames have rust in many locations. The proposal is to restore the metal framing. Also proposed are replacement glass units insulated with a low-emissivity tinted coating. In historic images of the Owen building the windows appear very clear and it is likely they had no tinting. In areas where the steel windows have deteriorated the steel should be repaired. If the deterioration and rust has made a piece of the window framing lose its structural integrity and it cannot be repaired, then that section of the steel window should be replaced with a matching piece to meet this guideline.

Likewise, where the original glass is missing or broken, it should be replaced in kind in order to meet this guideline. In windows that originally had wire glass it should be replaced with the same.

Missing Windows: Two windows are proposed on the rear wall of the original building to replace two windows that were removed. There is evidence in this wall, which is painted brick, of two large windows. Window matching the original configurations of 8 panes will be placed in these locations as well as in a hole on the west side where a window was removed.

Aluminum strip: In the original plans there were two vertical aluminum strips going up the length of the façade, flanking the entry. These appear as simple grooves today, as perhaps the aluminum has been painted or removed.

Entrance: The main entrance on Lady Street will be replaced in kind with the design and materials that were originally on the building, according to the plans submitted. This is substantiated by photographs and the original drawings of the building.

Storefronts: Originally the building had two banks of storefront type windows on the façade, in the left and right bays. The original configuration will be installed along with the same type of door that originally existed in the right bay, with marble bulkheads below the glass windows. This feature will be built back as it was originally.

g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Gentle cleaning methods are proposed.

b. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

There are three new windows proposed for the north side of the annex on the first floor. They will be differentiated from original windows in that they will have six panes instead of the eight panes found on original windows, according to the drawings supplied. This is a long blank wall but is secondary in that it is on the same plane as the rear of the main building and is already somewhat hidden by cars that park immediately adjacent to the building. It does not characterize the property as much as the blank wall of the façade, and the proposed windows are compatible with the massing, size, scale and other features of the annex.

i. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Not applicable.

BAILEY BILL ORDINANCE

Sec. 17-698. Eligible rehabilitation.

Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

1. The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

Exterior Walls: The proposal is to retain the concrete and brick veneer walls as they are, with gentle cleaning, repointing and repair following best preservation practices. The concrete walls have previously been painted and will be repainted. The brick veneer and cast stone on the annex will be cleaned but will not be painted.

Doors: There are several new doors proposed for the main building on the 5th floor as it opens onto the roof of the annex. This will require removal of a part of one window and the creation of two new openings but it is likely not going to be highly visible from the public right of way. Likewise, new doors on the penthouse will likely not be highly visible or visible at all from the public right of way.

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Roof: The roofs are not visible from the public right of way, although a penthouse on the main building is slightly visible. It is remaining intact from the view from the west.

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At present there are no drawings provided by the applicant regarding the proposal to use a half inch thick insulated glass unit in the windows. The historic steel frames compose two flanges that hold in the glass. The flanges are screwed into a frame. It appears to staff that if the flanges are pushed out to accommodate a thicker glass the flanges will project past their framing. See attached rendering by staff for more information.

2. Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of

historical development shall not be undertaken.

Windows: The proposal calls for a bronze tint to the windows along the west side of the building, perhaps the most visible side and the one that catches the afternoon sun. A bronze tint is not a feature that would have been present at the time of construction. Likewise, the tinted glass proposed for the remainder of the building could be considered conjectural. If a new tinted film is desired for the original glass, it would need to be approved after a sample is submitted to the City to ensure that it looks as clear as possible to avoid altering a large, character-defining feature of the exterior of these buildings, which is the windows.

3. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

The major alterations to the building include the replacement of the main entrance and storefront, believed to have been done in the 1980s. This has not gained historic significance in its own right.

4. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

The majority of the exterior features on the building will be preserved. The concrete exterior on the original building and a majority of the brick veneer and cast stone on the annex will remain intact. The brick veneer and cast stone will not be painted or coated on the annex.

The steel window framings will be restored, but the current proposal is to remove all of the glass in these windows in both the main building and the annex. There is a large degree of ¼" thick security wire glass throughout two sides and rear of the original building, although over the years some of it has clearly been replaced with clear glass or a diagonal pattern wire glass, which is the same glass found in all of the windows of the annex except those on the facade. The thickness of the security glass is twice the normal thickness of window glass.

A lot of the original wire glass has been coated in a film, although there are some areas where this is failing. This suggests it may be possible to remove the film and use the existing glass. The use of clear glass on the front of the building is also distinctive, as this was the side of the building not near another structure and therefore not needing the security glass in the windows.

The clear glass on most of the floors of the façade as well as the safety glass is likely an original feature of both the main building and the annex and is distinct in both; the main building has a hexagonal "chicken wire" shape while the 1961 annex has a much more streamlined diamond pattern wire embedded in the glass. This glass is a "distinctive feature" of the building and as such should be preserved to meet this ordinance.

5. Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Windows: There are some broken glass panes throughout the building and the metal frames have rust in many locations. The proposal is to restore the metal framing. Also proposed

are replacement glass units insulated with a low-emissivity tinted coating. In historic images of the Owen building the windows appear very clear and it is likely they had no tinting. In areas where the steel windows have deteriorated the steel should be repaired. If the deterioration and rust has made a piece of the window framing lose its structural integrity and it cannot be repaired, then that section of the steel window should be replaced with a matching piece to meet this guideline.

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Storefronts: Originally the building had two banks of storefront type windows on the façade, in the left and right bays. The original configuration will be installed along with the same type of door that originally existed in the right bay, with marble bulkheads below the glass windows. This feature will be built back as it was originally.

6. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Gentle cleaning methods are proposed.

7. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

There are three new windows proposed for the north side of the annex on the first floor. They will be differentiated from original windows in that they will have six panes instead of the eight panes found on original windows, according to the drawings supplied. This is a long blank wall but is secondary in that it is on the same plane as the rear of the main building and is already somewhat hidden by cars that park immediately adjacent to the building. It does not characterize the property as much as the blank wall of the façade, and the proposed windows are compatible with the massing, size, scale and other features of the annex.

8. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Not applicable.

STAFF RECOMMENDATIONS:

Staff finds that the proposal generally meets Section 17-674(d) of the City Ordinance and recommends a Certificate of Design Approval with the conditions that:

- the original glass in the windows be retained and that missing glass be replaced in kind where visible to the public right of way, with clear glass or clear security glass
- that the window frames be restored and repaired in kind with matching materials and profiles
- that the proposed door in the recessed entry on Marion Street be removed
- all details deferred to staff

Staff finds that the proposal generally meets the requirements of the Bailey Bill in Section 17-698 and suggests preliminary approval for the Bailey Bill with the following conditions:

- the original glass in the windows be retained and that missing glass be replaced in kind where visible to the public right of way, with clear glass or clear security glass
- that the window frames be restored and repaired in kind with matching materials and profiles
- that the proposed door in the recessed entry on Marion Street be removed
- all details deferred to staff



John Hensel collection, c. 1950 photos







West side wall and window





Close up of security glass

Rear of main building
Two replacement windows will go here

Side wall of annex
Three new windows will be placed on the first story

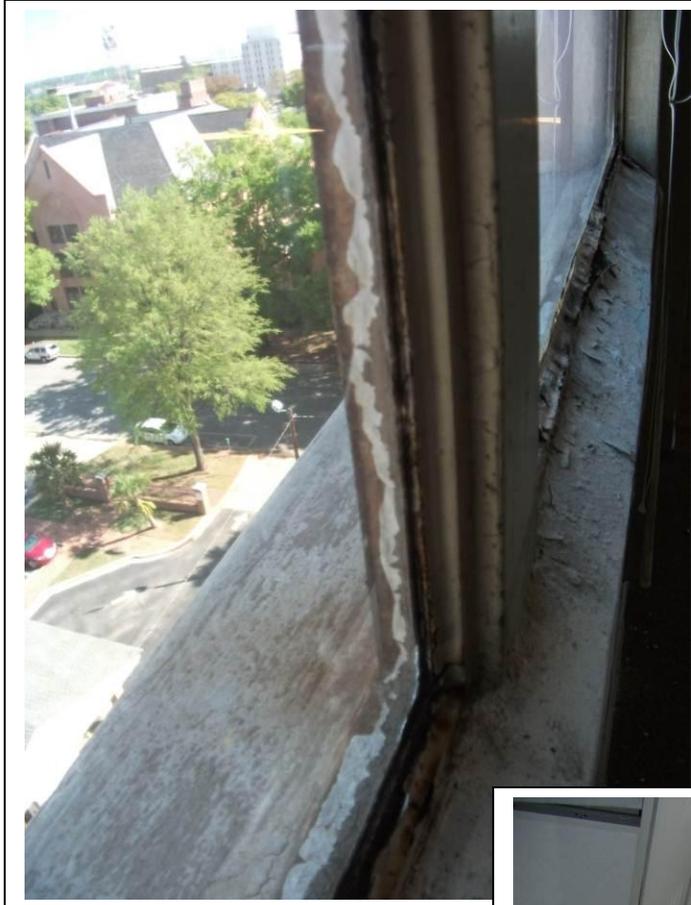




Staff photos above and left, proposed door is in right side of entry above

Google view at right, three new windows will be on first floor on right side, starting in second bay

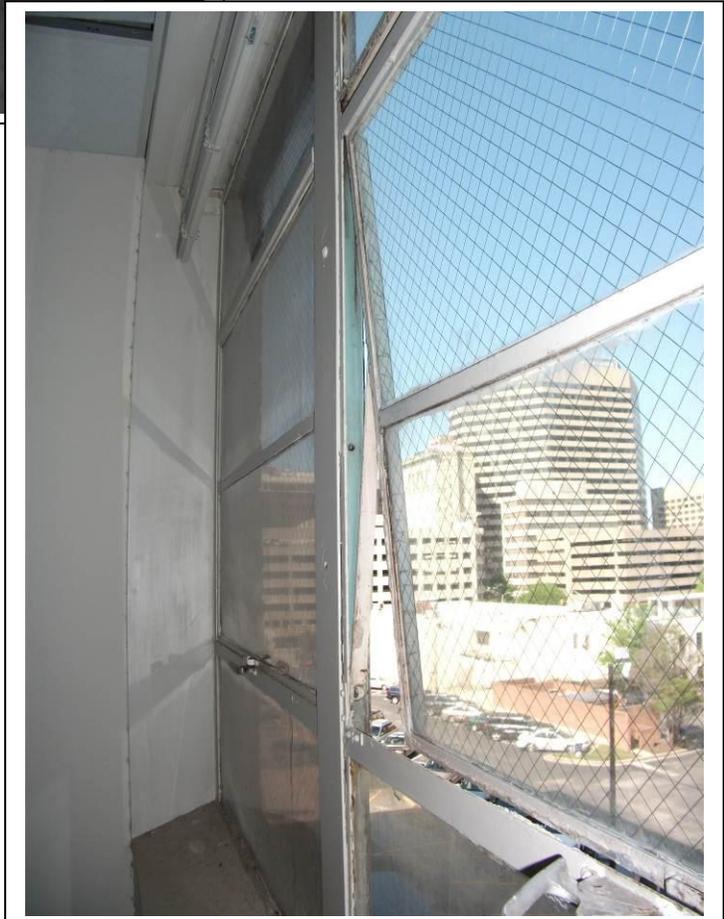




Above: exterior view looking down at window in original building

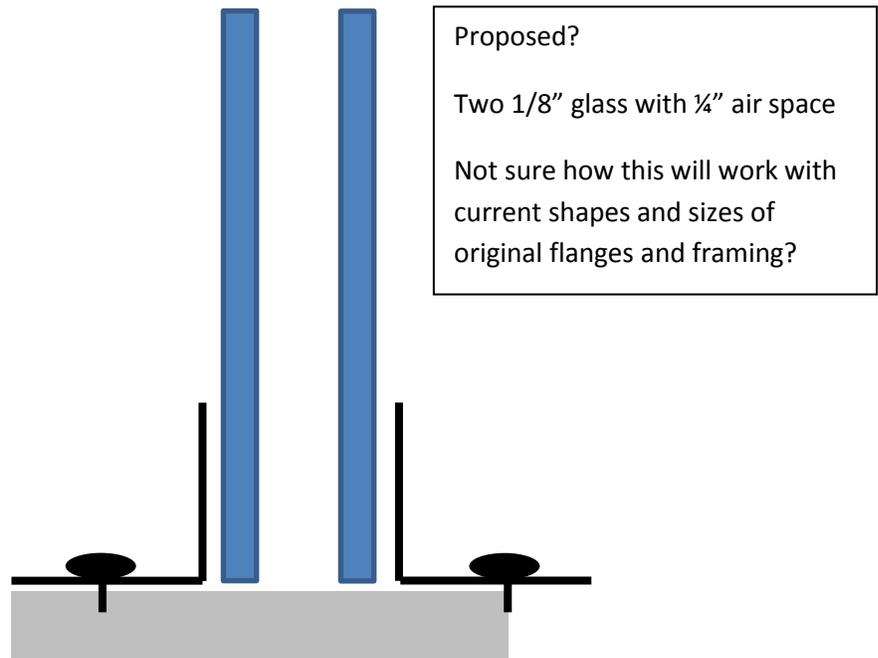
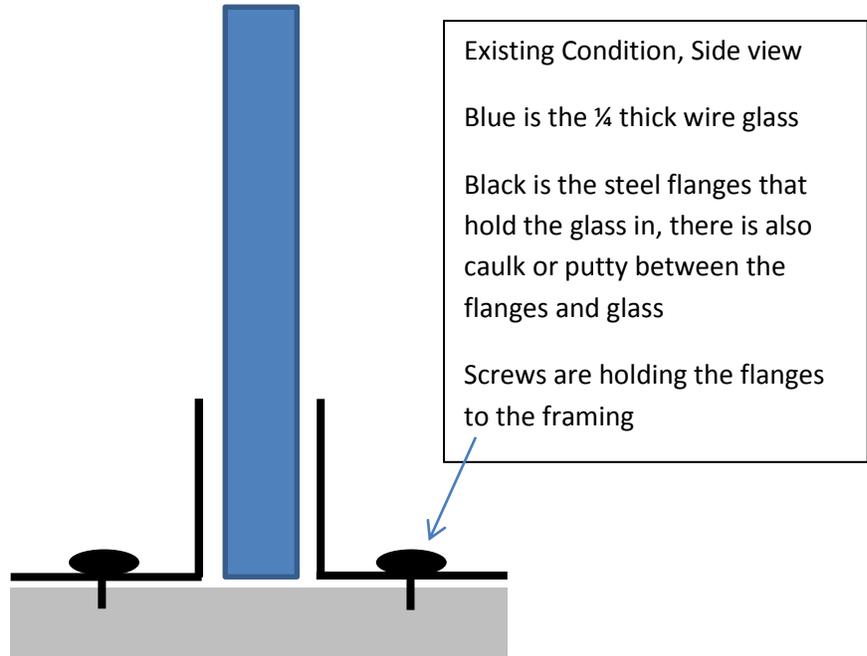
Left: interior view looking at window from side, showing metal flanges, original building

Below: Annex window with diamond-shaped wire in glass



1321 Lady Street Windows

City of Columbia Staff Drawings



CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature _____ _____
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition _____ Photograph No. _____ Drawing No. _____	Describe work and impact on feature _____ _____
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PLEASE SEE
 FULL SUBMISSION AS
 S.C. SAPO
 SUBMITTED TO NATIONAL
 OFFICE FOR REGISTER PART II
 REGISTER FOR APPROVAL BY
 NATIONAL SERVICE PARK
 J. P. Fuzesshi



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

NPS Project Number

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. **Property Name** Owen Building and Annex

Street 1321 Lady Street

City Columbia County Richland State SC Zip 29201-3319

Name of Historic District _____

Listed individually in the National Register of Historic Places; date of listing June 14 2013

Located in a Registered Historic District; name of district _____

Part 1 – Evaluation of Significance submitted? _____ Date submitted _____ Date of certification _____

2. **Project Data**

Date of building 1947 Estimated rehabilitation costs (QRE) \$17,005,558

Number of buildings in project 1 Floor area before / after rehabilitation 112,000 / 112,000 sq ft

Start date (estimated) 09/01/2006 Use(s) before / after rehabilitation vacant / apts.

Completion date (estimated) 12/31/2015 Number of housing units before / after rehabilitation 0 / 123

Number of phases in project 3 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. **Project Contact (if different from applicant)**

Name Tom Prioreshi Company Capitol Places VI Owner, LLC

Street 1530 Main St City Columbia State SC

Zip 29201-5812 Telephone (803) 779-5171 Email Address tmprior@aol.com

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Tom Prioreshi Signature _____ Date _____

Applicant Entity Capitol Places VI Owner, LLC SSN _____ or TIN 46-4126534

Street 1530 Main Street City Columbia State SC

Zip 29201-5812 Telephone (803) 779-5171 Email Address tmprior@aol.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

- The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:
- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
 - the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
 - the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature _____

NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Property name Owen Building and Annex NPS Project Number _____
Property address 1321 Lady Street Columbia Richland SC 29201-3319

5. Detailed description of rehabilitation work Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number <u>1</u>	Feature <u>Owen Building & Annex</u>	Date of Feature <u>1947-49; 1961</u>
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Describe existing feature and its condition

The Owen Building & Annex was constructed in 1947-49 using the innovative tilt-up panel system, which involved inserting exterior wall panels within a grid created by the concrete structural system. The original steel awning style windows are in fair condition with some signs of rust. In 1961, an addition was constructed creating an L-shaped plan; the addition fronts on Marion Street, and is differentiated with brick veneer cladding. The addition is designed in a compatible modern style, it is brick veneer with concrete detailing and matching steel frame sash to link it to the original building. The interior of the Owen Building & Annex has been altered as a result of tenant improvements; alterations appear to post-date 1980 when the original owner, SBT&T, vacated the property. The building was then converted for use as medical offices; those offices moved out and the building has been vacant for years.

Photo numbers All Drawing numbers All

Describe work and impact on feature

As a result of this project, the applicant proposes to retain the historic and character defining concrete, glass and steel construction. Intact historic interior features, including the stair, elevators, and corridors will also be retained. Modern drywall partitions will be removed, and new residential units will be inserted. Impact will be to rehabilitate the building for continued use while preserving historic and character defining features.

Number <u>2</u>	Feature <u>Roof</u>	Date of Feature <u>1947; 1961; 1980</u>
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Describe existing feature and its condition

The concrete roof deck on the main building is augmented with tar and gravel roofing material. There is a mechanical penthouse, as well. The roof of the addition is also clad in tar and gravel material; it has limited exposed mechanical equipment and roof vents. Both roofs are surrounded by a parapet wall; the main building parapet is continuous concrete material while the annex has concrete coping atop the brick veneer exterior walls.

Photo numbers 1,10-16,160-166, rooftop mockup Drawing numbers Aerial,A116,A119,A125,A129,A200-A203

Describe work and impact on feature

As a result of this project, the applicant proposes to replace the existing tar and gravel roof with a new TPO roof. Concrete paver decking and simple metal rails will be inserted to accommodate two small ADA accessible roof decks on the addition and two larger roof decks on the original building. All improvements will be carefully situated to minimize visibility from the street (please see the attached rooftop mockup). Two penthouse level living areas (for units 802 and 807) will be housed entirely within the existing rooftop mechanical structure and will be accessible via contemporary stairs. Existing louvered windows will be retained and the existing door will be pinned open and replaced with a full light glass and metal door to admit light while retaining the historic door and opening. Two new metal and glass doors will be inserted to provide additional light to the penthouses and access to the proposed rooftop decks. A metal door, painted to match the exterior walls, will be inserted on the west elevation of the penthouse to connect the stair to the roof. Impact will be to replace the deteriorated roofing material with appropriate modern material, retain historic coping, introduce two penthouse units within existing mechanical space, and insert contemporary mechanical equipment and rooftop decks in a manner that does not detract from the historic building.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Number 3	Feature Exterior Walls	Date of Feature 1947; 1961
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Describe existing feature and its condition

The exterior walls on the main building consist of painted concrete; they are generally in good condition though one panel on the side elevation was removed and extraneous abandoned utilities are evident on the building. Two windows on the first floor rear elevation were also enclosed by the previous tenant. The 8th floor rooftop penthouse possesses a stucco finish. The addition is clad in brick veneer with concrete detailing; these walls are also in good condition. In the addition, there are no windows on the first floor elevation abutting the rear alley.

Photo numbers 1-17, note #12-14

Drawing numbers A200-A203, A205-A208

Describe work and impact on feature

The applicant proposes to thoroughly inspect the exterior walls. Extraneous and abandoned utilities will be removed. Cast concrete and tilt-in panels will be repaired; the precise nature of repairs will be determined once the concrete has been fully inspected, but the restorers will use Preservation Brief No.15- the Preservation of Historic Concrete- as their guide. Further information will be provided in an amendment. The penthouse stucco will be retained and repainted. Repointing on the addition will be accomplished in accordance with Preservation Brief No. 2, Repointing Mortar Joints in Historic Masonry Buildings. New mortar will match the historic blend in color, strength, texture, composition, and tooling pattern. The applicant proposes to reestablish previously sealed rear windows; custom fabricated sash which exactly match historic sash will be inserted to replace these missing units. In order to admit light and natural ventilation into proposed units on the first floor of the rear addition, the applicant proposes to insert three new windows. New openings will be set back from the street by one bay; they will be compatible with, yet differentiated from, the historic windows as described in Number 5, Windows, below. Exterior walls will be gently cleaned using a mild detergent. Impact will be to retain and restore historic exterior walls.

Number 4	Feature Exterior Doors	Date of Feature 1947;1961;modern-unk
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Describe existing feature and its condition

Currently, there is a primary entry comprised of a storefront glass system which was modified with a modern arched panel; the historic projecting door surround which was aluminum was removed. A historic street entry on the east (right) retail bay was previously removed, but shows in historic plans and photos. In 1961, a Marion Street entrance was installed as part of an addition to the building; it is a single leaf metal door with a single sidelight. More recently, a modern door was inserted in a historic opening on the rear of the original building; it has a modern vinyl awning and provides direct access to the parking lot.

Photo numbers 2,3,7,8,12,15,16,18,38,163

Drawing numbers A121,A125,A129,A200-A208, hist. plans

Describe work and impact on feature

As a result of this project, the applicant proposes to retain the existing door locations. The applicant proposes to restore the historic aluminum grille and door surround accenting the original front entry. The applicant proposes to retain the 1961 entry, as well. The historic rear door opening in the original building will be retained, as will the awning; the opening will receive a new metal security door which will provide direct access to the rear parking lot. In order to provide direct access to the fire control room proposed for the first floor Marion Street end of the addition, the applicant proposes a metal slab door on the side wall of the covered entry. The new door will be painted to match the stone and the height of the door will align with the seam in the stone. An existing penthouse door opening will receive a new door with full light glass and a painted metal surround. Three new doors will be added to the 8th floor penthouse to provide additional natural light and facilitate access to the building stair and rooftop decks. Three metal and glass doors will also be inserted on the 5th floor, east elevation to provide access to the addition roof; one will modify an existing double

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

window as shown on A202. A new exterior concrete stair, descending into the ground, will be constructed against the rear (north) elevation to provide access to the basement; the new door will be metal. Impact will be to retain and restore historic exterior doors where feasible within the project budget, insert new doors for rooftop and basement access, and to replace the existing new door on the rear elevation of the original building.

Number 5	Feature <u>Windows</u>	Date of Feature <u>1947;1961</u>
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Describe existing feature and its condition

The existing windows are steel frame awning style sash; they are the same in both the original building and addition. The window frames are in fair condition, though they are rusted. The first floor windows have chicken wire style glass, which appears to be a later replacement as it appears in very few locations on upper floors. All windows have been treated with a modern reflective film. There are modern storefront sash on the primary elevation; the sash appear similar to the original configuration, though the east side historically had a retail entry door and the west a large central glass pane. On the rear elevation, two window openings were infilled by a previous owner. On the addition, there is storefront glass with spandrel panels accenting the interior stair. There are no windows along the rear alley abutting the addition at the first floor level. Windows are in fair to good condition; glazing and glass are deteriorated, modified and broken.

Photo numbers 1-17,25-158

Drawing numbers A121, A200-A208,A604, historic plans

Describe work and impact on feature

The applicant proposes to inspect the upper floor windows; they will be repaired and restored. The applicant proposes to remove modern chicken wire glass, as well as modern reflective film. Broken and missing glass will be replaced with clear glass. Windows situated on the west elevation will receive a bronze tint to mitigate for the significant exposure on that elevation; the owner will deliver a sample of the proposed tinted glass to the South Carolina State Historic Preservation Office for assessment alongside this application. The two, previously sealed rear window openings will receive new steel sash units to exactly match the materials, appearance, and configuration of the historic units. At the first floor level, the existing storefront will be replaced to match the historic configuration as drawn in the 1948 building plans. New windows will be required for first floor residential units along the rear alley of the addition. The windows will be compatible with but differentiated from historic windows; they will match in proportion, and will be steel sash with fixed upper and lower panes and a central operable opening. The new windows will be required in 3 bays along the first floor; they will be set back one bay from the Marion Street elevation. Impact will be to restore historic windows, and insert a limited number of contemporary compatible windows to accommodate residential tenants without detracting from the historic building.

Number 6	Feature <u>Plan</u>	Date of Feature <u>1947;1961;c1980</u>
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Describe existing feature and its condition

The existing plan retains fragments of the original layout, including the entry vestibule, elevator and stairs, a dumb waiter, gang restrooms, and the original circulation corridor. The addition was historically an open plan space with a small mechanical room adjacent to the Marion Street entry. A medical office tenant reconfigured the building by modifying, deleting and adding modern partition walls as required to suit their purposes.

Photo numbers 18-159, note 18,66,69,72,77,80,116,139

Drawing numbers A111-A129

Describe work and impact on feature

The applicant has analyzed the remaining interior walls to determine which are historic and which are modern. Based on their findings, the applicant proposes to retain the historic entry vestibule; the modern storefront air lock enclosure will be removed. In the remainder of the original building, the applicant will retain the central corridor; a side loaded corridor will be inserted in the addition. Gang restrooms will be removed,

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

as they are non-character defining and serve no purpose in the proposed plan. New residential units will be laid out along the column grid. The apartment demising walls will be constructed so that the historic structural columns are visible, set flush against the unit walls rather than halved by the new partitions. The historic stairs and elevator will be retained and restored; the cabs will be replaced. The dumb waiter will also be retained. In order to meet egress requirements, a new stair will be inserted near the junction of the original building and addition; the stair will be constructed from the 4th floor to the roof for access and will feature fire doors to meet the code requirement for a two-hour rated, pressurized hallway. The applicant will use the mechanical penthouse for a second level living area for units 802 and 807, accessible via contemporary stairs, and will retain the historic stairs for rooftop mechanical access; the existing windows and doors will be retained in order to minimize alteration to the historic building. The basement will receive a fitness room, amenity space, and mechanical equipment; a new concrete exterior stair will be surreptitiously inserted at the building's rear (north) elevation for access to the basement. Impact will be to retain the remaining historic and character defining features of the plan, and to insert residential units & tenant amenities in a compatible manner.

Number 7	Feature Floors	Date of Feature 1947;1961;modern-unkn
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Describe existing feature and its condition

The existing floors are a combination of historic and modern material. Original plans call for asbestos laden asphalt floor tiles; many of these remain in place. Modern occupants have overlaid the tile with a carpet. Carpeting is in poor condition. Asphalt tile is in fair to poor condition, but it is hazardous.

On the second floor, the western portion of the building possesses floors that are lower than the central corridor.

Photo numbers 18-162

Drawing numbers A121, A603

Describe work and impact on feature

As a result of this project, the applicant proposes to remove the modern carpet and remove or encapsulate the asbestos laden asphalt tile. Asbestos will be properly abated. In an effort to replicate the historic building finishes, the applicant proposes to insert VCT tile and carpet. To level the uneven 2nd floor, western apartments will receive a layer of gyp crete, as well as a ramp, to bring the floor level closer to that of the central corridor; modern finishes will be overlaid atop this material. The basement will possess a combination of sealed concrete and resilient tile flooring. Bedrooms and corridors will receive carpet, while other spaces will receive LVL tile compatible in appearance with the historic asbestos tile treatment. In the penthouse, carpet will be installed in the bedrooms. Penthouse living areas will feature carpet or polished concrete, pending the condition of the floors after removal of mechanical equipment. Impact will be to remove or encapsulate deteriorated and hazardous material, and insert contemporary compatible material which is in keeping with the historic finishes.

Number 8	Feature Walls	Date of Feature 1947;1961;modern-unkn
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Describe existing feature and its condition

The existing walls include concrete along the exterior, some of which is painted and some is treated with wallpaper. Historic interior walls are masonry clad in wallpaper. The majority of the interior walls, which are modern, are a combination of paint and wallpaper applied to drywall over wood and metal stud framing. The walls in the entry area have been treated with a modern wood wainscoting; there is also a modern storefront partition which creates an air lock. There is a mail box and chute mounted to the wall adjacent to the elevators.

Photo numbers 18-165,169

Drawing numbers A111-A129

Describe work and impact on feature

As a result of this project, the applicant proposes to remove modern wallpaper and modern

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PART 2 – DESCRIPTION OF REHABILITATION**

partition walls. Historic painted concrete perimeter walls, the central corridor, stair, and elevator walls will be retained as will the entry lobby, including the mailbox and chute. The modern storefront style air lock will be removed. New walls required to accomplish the proposed plan will be contemporary yet compatible smooth drywall. The modern wood wainscoting, which is incompatible with the modern style of the mid-century design, will be removed and replaced with smooth drywall. All wall surfaces will be gently cleaned, primed and painted. Impact will be to retain historic walls which remain in place and define circulation, remove modern partition walls, and insert contemporary compatible new walls as necessary to accomplish the proposed plan.

Number 9	Feature Ceilings	Date of Feature 1947;1961;modern-unkn
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Describe existing feature and its condition

The original ceilings in the primary building and addition were smooth plaster below structural members; there are original soffits to extend utilities below the structural beams. In some areas, ceilings were augmented with direct applied accoustical tile, and later, with suspended acoustical tile. The acoustical tile is in poor condition; direct adhered tile is applied with glue containing asbestos.

Photo numbers 18-165,170-176,178

Drawing numbers A130-A139

Describe work and impact on feature

As a result of this project, the applicant proposes to remove suspended accoustical tile and encapsulate the direct adhered acoustical tile. Historic plaster ceilings are contaminated with asbestos and damaged from acoustical tile adhesive and suspension wires. Therefore, and in order to conceal utilities, smooth finish drywall will be inserted at the maximum height possible in public spaces, living rooms and bedrooms. This will allow the owner to conceal systems and replicate the historic smooth surface. Ceilings will be dropped a limited amount so that beams will remain visible as they were historically. In order to conceal mechanical units and duct, the applicant proposes to drop ceilings over kitchens, bathrooms, and closets. In a single unit type (Unit 8), the a ceiling will be lowered over a bedroom to accommodate duct. Finished soffits will be utilized in limited locations; these will be carefully located for minimum visibility. Please see the enclosed reflected ceiling plans (drawings A1.30-A1.39). The architect has carefully configured the mechanical as sensitively as possible under the stringent fresh air makeup and return requirements mandated by the international building code. Wherever possible, the volume of the original ceiling heights will be maintained. ACT will be installed in the first floor theater room and lounge for noise control. The basement will possess a combination of GWB ceilings and exposed existing structure. Impact will be to replicate smooth finish ceilings while incorporating modern utilities.

Number 10	Feature Interior Woodwork	Date of Feature 1947;1961;mod-unkn
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Describe existing feature and its condition

The building possesses a combination of modern and historic doors; however, the building's historic wood slab doors have been irreversibly altered with large modern louvers and cannot be restored. Historic baseboards are mid-century vinyl; wood wainscoting in the entry area is modern.

Photo numbers 19-162

Drawing numbers Door cut sheets

Describe work and impact on feature

Historic baseboards will be retained. Modern and damaged doors will be replaced with environmentally friendly 1 panel wood doors with a particleboard core; doors to the public corridor will possess an environmentally friendly solid mineral core (please see attached cut sheets). Modern wainscoting will be removed. All woodwork inserted as a result of this renovation will be contemporary compatible in nature. The impact will be to remove modern woodwork and to replace damaged doors with an appropriate contemporary

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

compatible substitute.

Number 11	Feature Systems	Date of Feature modern- varied
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Describe existing feature and its condition

The existing systems are modern yet have not been used in quite a while; they are no longer functional. Plumbing, electrical and mechanical ducts are concealed within existing walls, ceilings and soffits in limited locations. Asbestos wrapped pipes are evident in the building.

Photo numbers 164,165	Drawing numbers A130-A139
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Describe work and impact on feature

Modern systems are outdated and will be replaced. The applicant proposes traditional air handlers with condensers to circulate HVAC within each residential unit; the distribution will be located in dropped ceilings above closets, bathrooms, and kitchens wherever feasible. The electrical and plumbing systems will be abandoned. New electrical and plumbing will be run within existing and proposed walls and ceilings to accommodate the new proposed plan. A sprinkler system will be direct-mounted in the corridors and in units will run in a dropped ceiling. Asbestos will be either abated or encapsulated as necessary. Impact will be to update systems to meet modern code and energy efficiency requirements in a manner which minimizes alteration to the historic building.

Number 12	Feature Site	Date of Feature 1947;1961;mod-unknown
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Describe existing feature and its condition

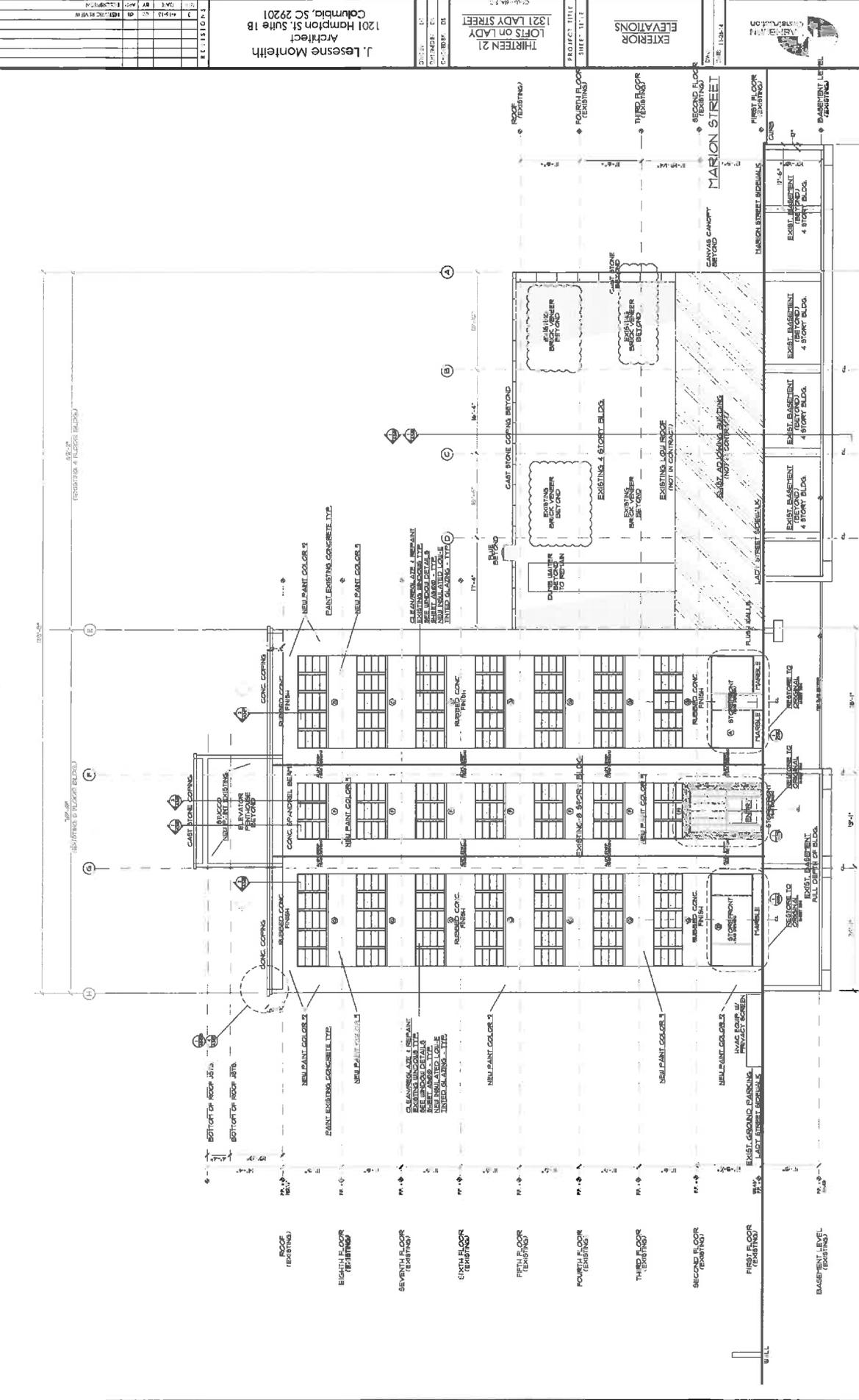
The building is constructed to the property line on the street facing sides; there is an L-shaped asphalt parking lot which wraps the building. It is in poor condition.

Photo numbers 1-17	Drawing numbers Aerial, C2
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Describe work and impact on feature

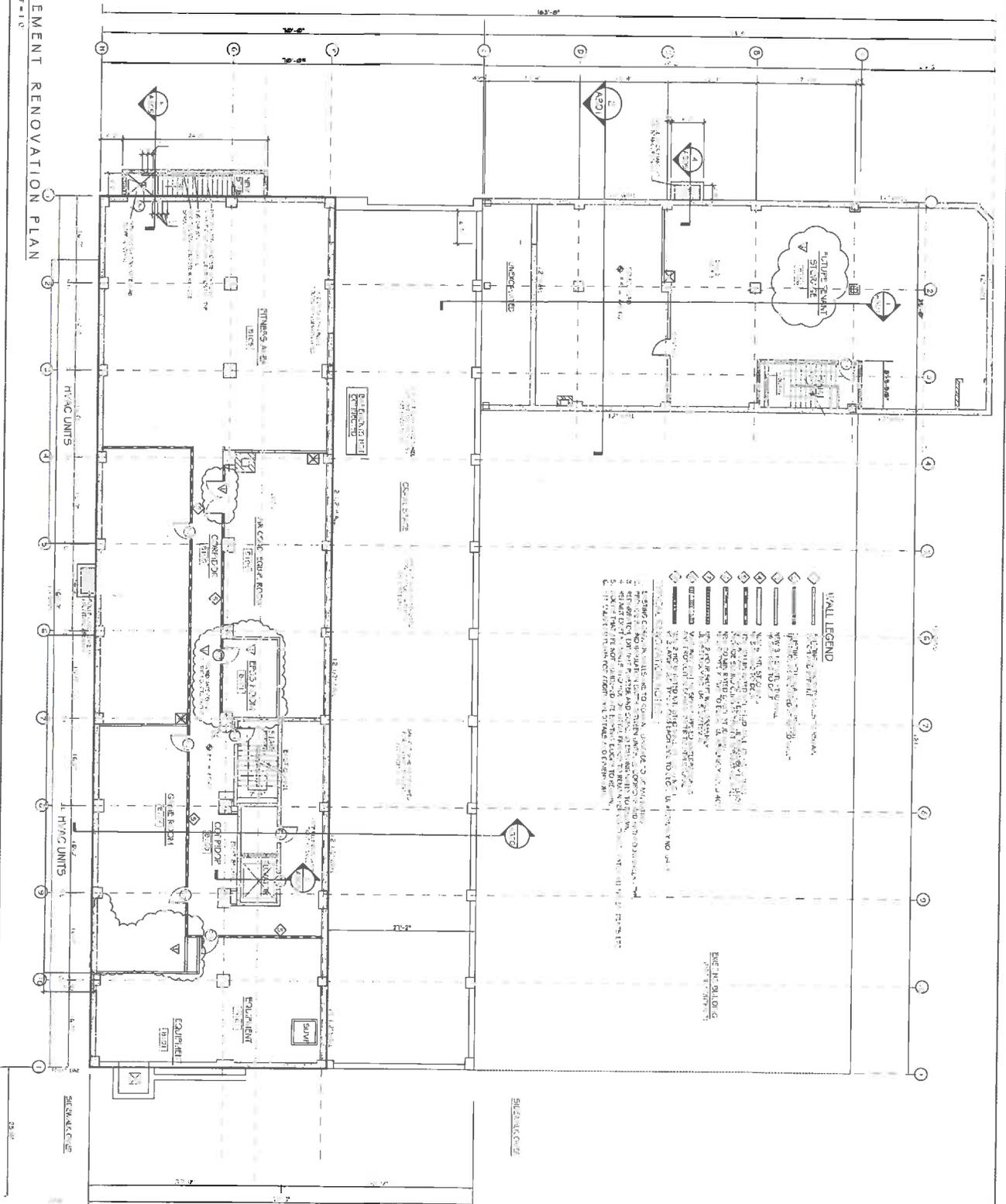
The applicant proposes to repave and restripe the parking lot in asphalt. A low fence with natural plantings will be inserted to shield parking. HVAC units placed alongside the building will be concealed with a contemporary compatible wire mesh fence (see C2). A pool will be inserted for tenant usage; this will possess contemporary compatible brick decking as well as a pressure-treated wood fence for bathing privacy, since the pool will be located alongside a heavily traversed public street. The same style of fence will conceal the property's pool equipment and generator. The impact of the site renovation will be to replace the deteriorating parking lot and install a pool.

Add Item



BASEMENT RENOVATION PLAN

SCALE: 1/8" = 1'-0"



WALL LEGEND

- 1. 1/2" GYPSUM BOARD ON 2x4 STUDS
- 2. 5/8" GYPSUM BOARD ON 2x4 STUDS
- 3. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION
- 4. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP
- 5. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD
- 6. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD
- 7. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD
- 8. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD
- 9. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD
- 10. 5/8" GYPSUM BOARD ON 2x4 STUDS WITH 1/2" FIBERGLASS INSULATION AND 1/2" AIR GAP AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD AND 1/2" GYPSUM BOARD

LADY STREET



A120



BASEMENT RENOVATION PLAN

BUILDING RENOVATIONS TO 1321 LOFTS ON LADY

J. Lesesne Monteith Architect
1201 Hampton Street Suite 1B
Columbia, SC 29201

NO.	DATE	DESCRIPTION
1	10/1/20	ISSUED FOR PERMITS
2	10/15/20	ISSUED FOR CONSTRUCTION
3	10/30/20	ISSUED FOR FINAL REVIEW

GROUND LEVEL RENOVATION PLAN

SEE SHEET 101 FOR UNIT 1

SEE SHEET 102 FOR UNIT 2

SEE SHEET 103 FOR UNIT 3



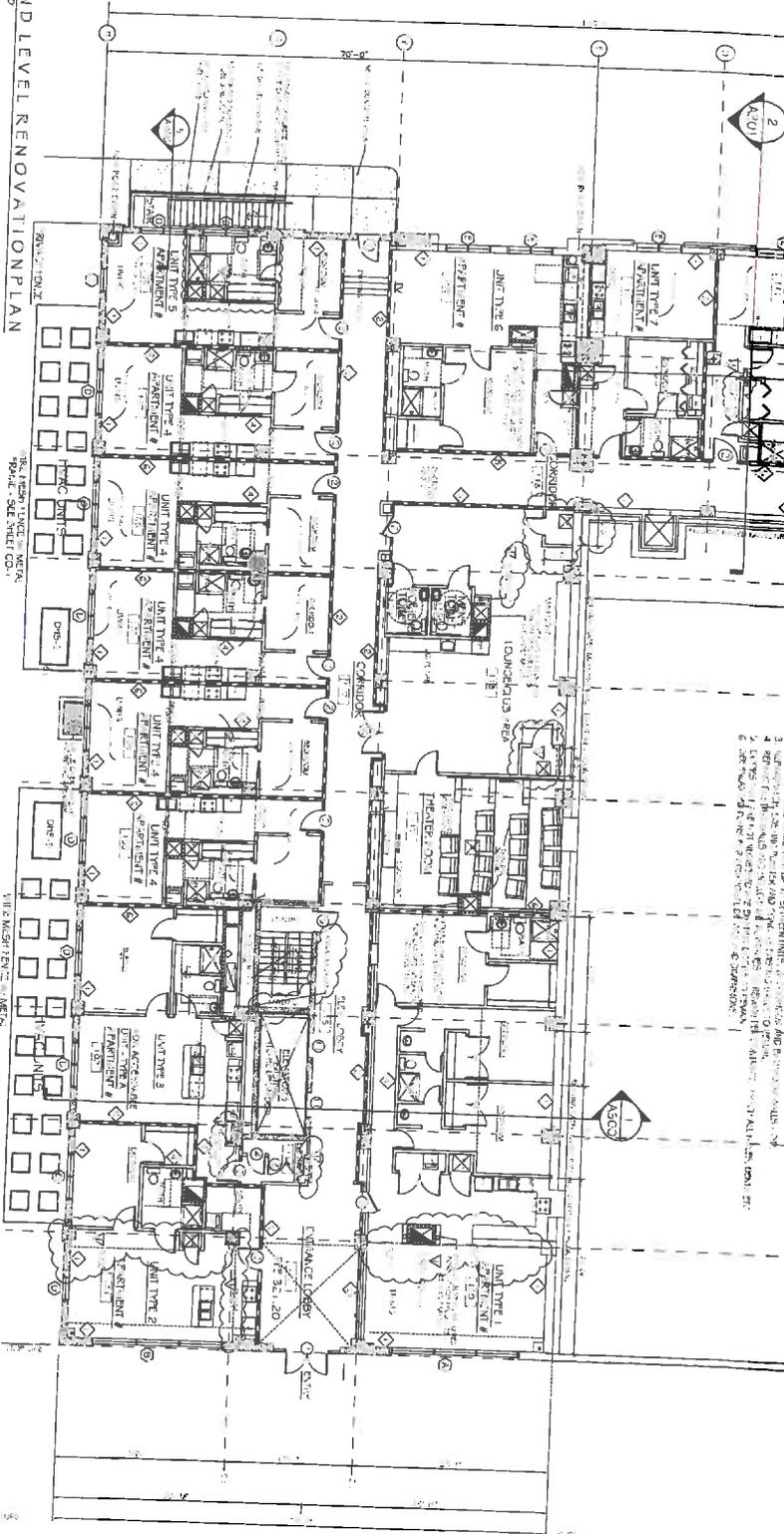
A121



GROUND LEVEL RENOVATION PLAN

THIRTEEN 21 LOFTS on LADY
1321 LADY STREET

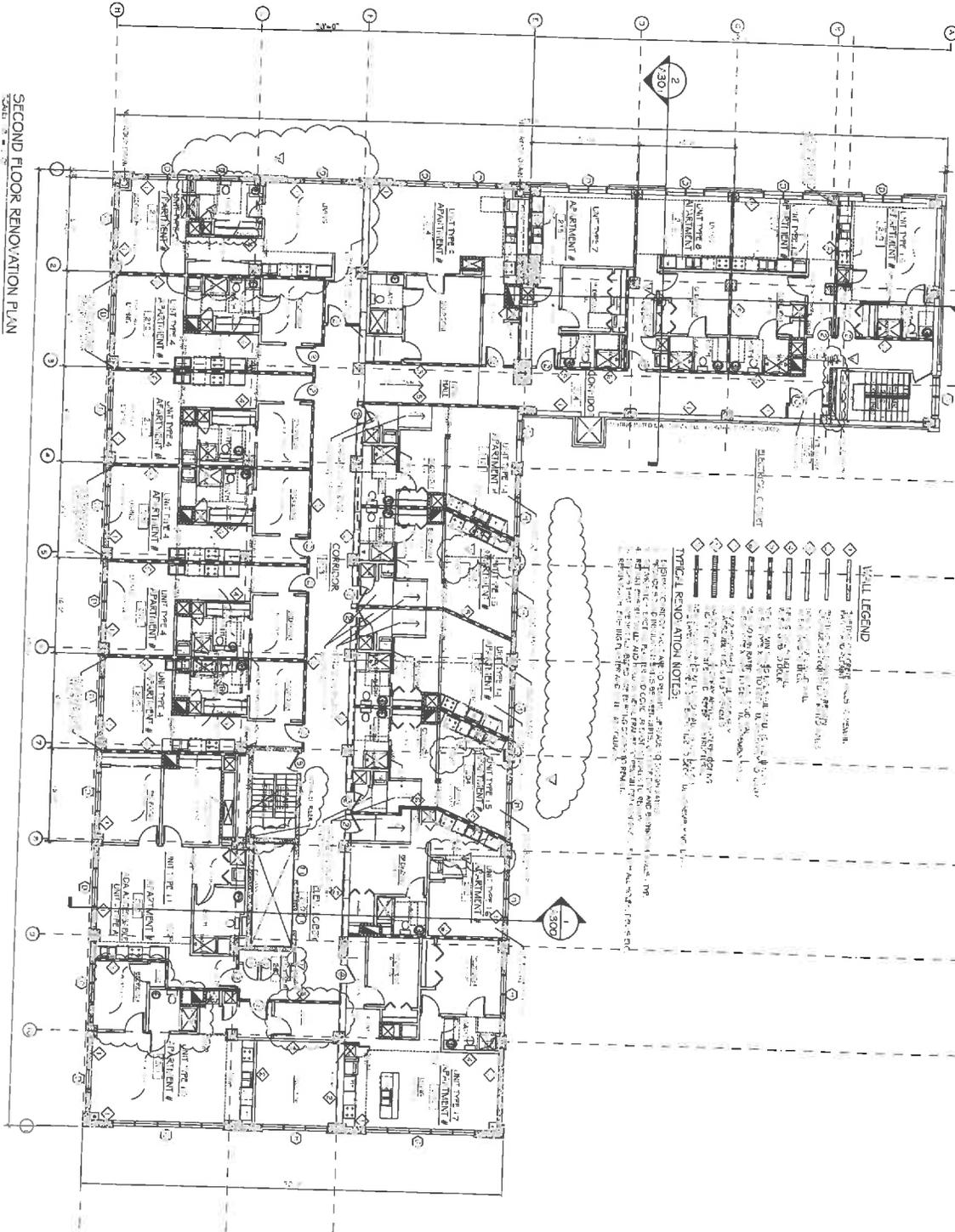
J. Lesene
Architect
1201 Hampton Street
Columbia, SC



1. FINISH TO INTERIOR WALLS AND CEILING.
2. FINISH TO INTERIOR FLOOR.
3. FINISH TO INTERIOR DOORS AND WINDOWS.
4. FINISH TO INTERIOR CABINETS AND BATHS.
5. FINISH TO INTERIOR LIGHTING.
6. FINISH TO INTERIOR PAINT.

LADY STREET

SECOND FLOOR RENOVATION PLAN
Scale: 1/8" = 1'-0"



- WALL LEGEND**
- ◆ 1/2" CMU
 - ◆ 1/2" CMU with 2" EPS
 - ◆ 1/2" CMU with 4" EPS
 - ◆ 1/2" CMU with 6" EPS
 - ◆ 1/2" CMU with 8" EPS
 - ◆ 1/2" CMU with 10" EPS
 - ◆ 1/2" CMU with 12" EPS
 - ◆ 1/2" CMU with 14" EPS
 - ◆ 1/2" CMU with 16" EPS
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 - ◆ 1/2" CMU with 94" EPS
 - ◆ 1/2" CMU with 96" EPS
 - ◆ 1/2" CMU with 98" EPS
 - ◆ 1/2" CMU with 100" EPS
- TYPICAL RENOVATION NOTES:**
1. REMOVE EXISTING WALLS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 2. REMOVE EXISTING PARTITION WALLS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 3. REMOVE EXISTING CEILING AND RECONSTRUCT WITH 5/8" Gypsum Board.
 4. REMOVE EXISTING FLOOR AND RECONSTRUCT WITH 4" EPS INSULATION AND 1/2" CONCRETE.
 5. REMOVE EXISTING DOORS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 6. REMOVE EXISTING WINDOWS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 7. REMOVE EXISTING STAIRS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 8. REMOVE EXISTING CORRIDORS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 9. REMOVE EXISTING BATHS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 10. REMOVE EXISTING KITCHENS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 11. REMOVE EXISTING HALLS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 12. REMOVE EXISTING LIVING AREAS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 13. REMOVE EXISTING BEDROOMS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 14. REMOVE EXISTING BROWNS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 15. REMOVE EXISTING LOBBY AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 16. REMOVE EXISTING STAIRS AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.
 17. REMOVE EXISTING ELEVATOR AND RECONSTRUCT WITH 1/2" CMU WITH EPS INSULATION.

LADY STREET



SECOND FLOOR RENOVATION PLAN

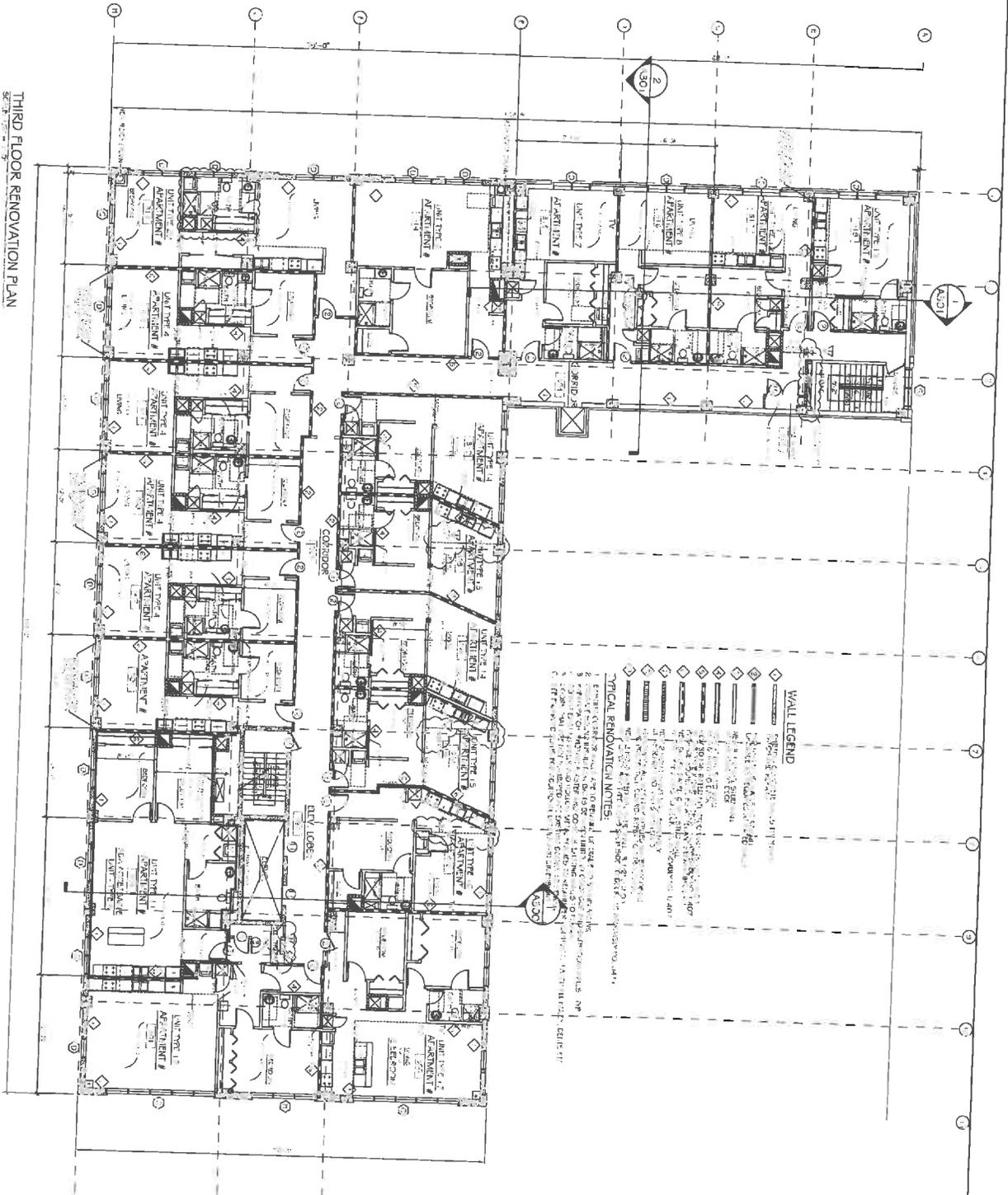
BUILDING RENOVATIONS TO THIRTEEN 21 LOFTS ON LADY

J. Lesesne Monteth
Architect
1201 Hampton Street Suite 1B
Columbia, SC 29201

NO.	DATE	DESCRIPTION
1	10/15/13	ISSUED FOR PERMITS
2	11/01/13	ISSUED FOR CONSTRUCTION
3	11/15/13	ISSUED FOR CORRECTIONS
4	12/01/13	ISSUED FOR CORRECTIONS
5	12/15/13	ISSUED FOR CORRECTIONS
6	01/01/14	ISSUED FOR CORRECTIONS
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54	01/01/16	ISSUED FOR CORRECTIONS
55	01/15/16	ISSUED FOR CORRECTIONS
56	02/01/16	ISSUED FOR CORRECTIONS
57	02/15/16	ISSUED FOR CORRECTIONS
58	03/01/16	ISSUED FOR CORRECTIONS
59	03/15/16	ISSUED FOR CORRECTIONS
60	04/01/16	ISSUED FOR CORRECTIONS
61	04/15/16	ISSUED FOR CORRECTIONS
62	05/01/16	ISSUED FOR CORRECTIONS
63	05/15/16	ISSUED FOR CORRECTIONS
64	06/01/16	ISSUED FOR CORRECTIONS
65	06/15/16	ISSUED FOR CORRECTIONS
66	07/01/16	ISSUED FOR CORRECTIONS
67	07/15/16	ISSUED FOR CORRECTIONS
68	08/01/16	ISSUED FOR CORRECTIONS
69	08/15/16	ISSUED FOR CORRECTIONS
70	09/01/16	ISSUED FOR CORRECTIONS
71	09/15/16	ISSUED FOR CORRECTIONS
72	10/01/16	ISSUED FOR CORRECTIONS
73	10/15/16	ISSUED FOR CORRECTIONS
74	11/01/16	ISSUED FOR CORRECTIONS
75	11/15/16	ISSUED FOR CORRECTIONS
76	12/01/16	ISSUED FOR CORRECTIONS
77	12/15/16	ISSUED FOR CORRECTIONS
78	01/01/17	ISSUED FOR CORRECTIONS
79	01/15/17	ISSUED FOR CORRECTIONS
80	02/01/17	ISSUED FOR CORRECTIONS
81	02/15/17	ISSUED FOR CORRECTIONS
82	03/01/17	ISSUED FOR CORRECTIONS
83	03/15/17	ISSUED FOR CORRECTIONS
84	04/01/17	ISSUED FOR CORRECTIONS
85	04/15/17	ISSUED FOR CORRECTIONS
86	05/01/17	ISSUED FOR CORRECTIONS
87	05/15/17	ISSUED FOR CORRECTIONS
88	06/01/17	ISSUED FOR CORRECTIONS
89	06/15/17	ISSUED FOR CORRECTIONS
90	07/01/17	ISSUED FOR CORRECTIONS
91	07/15/17	ISSUED FOR CORRECTIONS
92	08/01/17	ISSUED FOR CORRECTIONS
93	08/15/17	ISSUED FOR CORRECTIONS
94	09/01/17	ISSUED FOR CORRECTIONS
95	09/15/17	ISSUED FOR CORRECTIONS
96	10/01/17	ISSUED FOR CORRECTIONS
97	10/15/17	ISSUED FOR CORRECTIONS
98	11/01/17	ISSUED FOR CORRECTIONS
99	11/15/17	ISSUED FOR CORRECTIONS
100	12/01/17	ISSUED FOR CORRECTIONS

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THIRD FLOOR RENOVATION PLAN



WALL LEGEND

- ◆ Existing wall
- ◆ New wall
- ◆ Existing wall to be removed
- ◆ New wall to be removed
- ◆ Existing wall to be replaced
- ◆ New wall to be replaced
- ◆ Existing wall to be repaired
- ◆ New wall to be repaired
- ◆ Existing wall to be finished
- ◆ New wall to be finished
- ◆ Existing wall to be painted
- ◆ New wall to be painted
- ◆ Existing wall to be stained
- ◆ New wall to be stained
- ◆ Existing wall to be glazed
- ◆ New wall to be glazed
- ◆ Existing wall to be insulated
- ◆ New wall to be insulated
- ◆ Existing wall to be waterproofed
- ◆ New wall to be waterproofed
- ◆ Existing wall to be fireproofed
- ◆ New wall to be fireproofed
- ◆ Existing wall to be soundproofed
- ◆ New wall to be soundproofed
- ◆ Existing wall to be acoustically treated
- ◆ New wall to be acoustically treated
- ◆ Existing wall to be fire-rated
- ◆ New wall to be fire-rated
- ◆ Existing wall to be sound-rated
- ◆ New wall to be sound-rated
- ◆ Existing wall to be acoustically rated
- ◆ New wall to be acoustically rated

TYPICAL RENOVATION NOTES:

1. ALL EXISTING WALLS TO BE REMOVED AND RECONSTRUCTED PER THE WALL LEGEND.
2. ALL NEW WALLS TO BE CONSTRUCTED PER THE WALL LEGEND.
3. ALL WALLS TO BE FINISHED PER THE WALL LEGEND.
4. ALL WALLS TO BE PAINTED PER THE WALL LEGEND.
5. ALL WALLS TO BE STAINED PER THE WALL LEGEND.
6. ALL WALLS TO BE GLAZED PER THE WALL LEGEND.
7. ALL WALLS TO BE INSULATED PER THE WALL LEGEND.
8. ALL WALLS TO BE WATERPROOFED PER THE WALL LEGEND.
9. ALL WALLS TO BE FIREPROOFED PER THE WALL LEGEND.
10. ALL WALLS TO BE SOUNDPROOFED PER THE WALL LEGEND.
11. ALL WALLS TO BE ACOUSTICALLY TREATED PER THE WALL LEGEND.
12. ALL WALLS TO BE FIRE-RATED PER THE WALL LEGEND.
13. ALL WALLS TO BE SOUND-RATED PER THE WALL LEGEND.
14. ALL WALLS TO BE ACOUSTICALLY RATED PER THE WALL LEGEND.

LADY STREET



A123



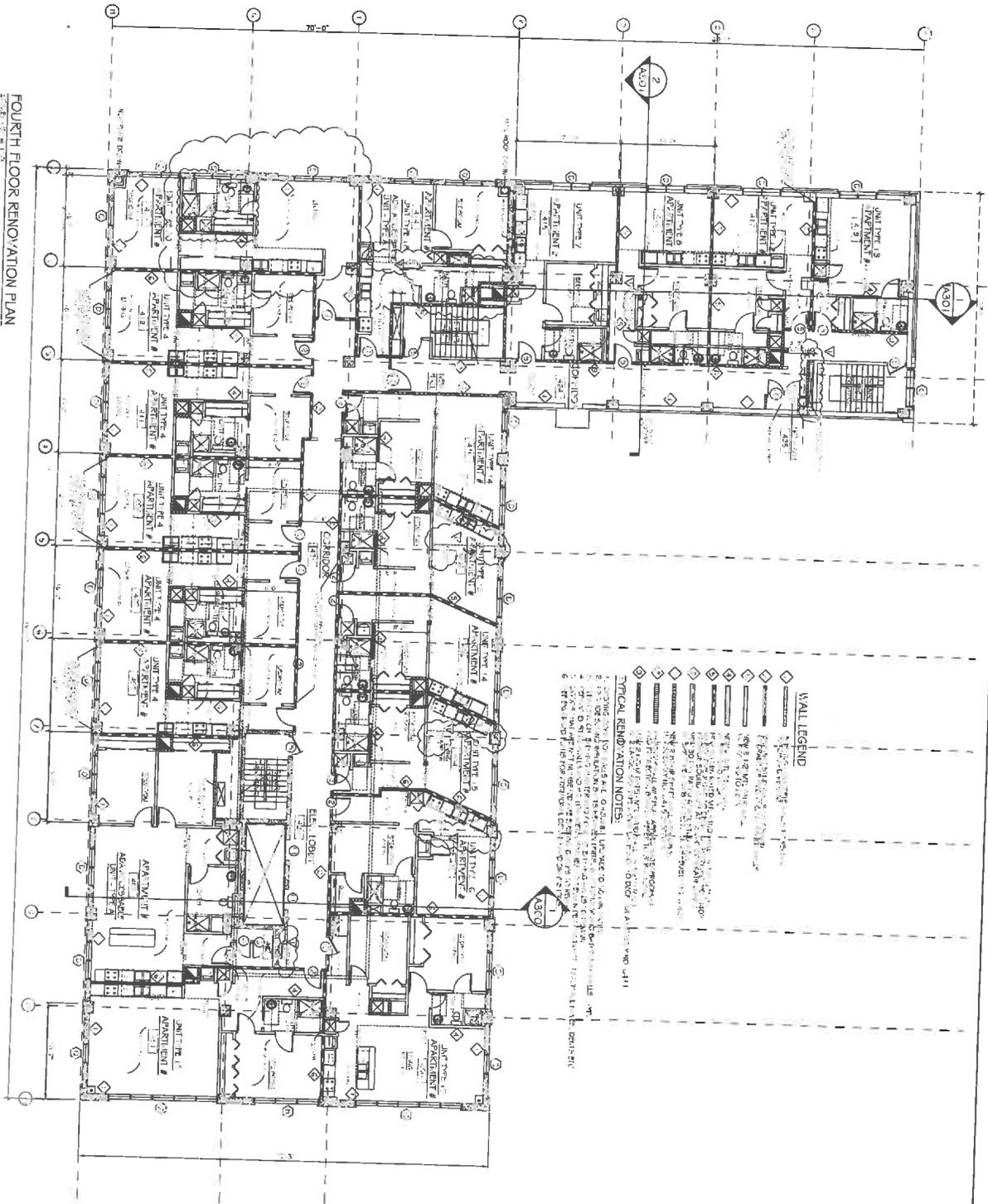
THIRD FLOOR RENOVATION PLAN

BUILDING RENOVATIONS TO THIRTEEN 21 LOFTS ON LADY

J. Lesosne Monteith
architect
1201 Hampton Street Suite 1B
Columbia, SC 29201

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
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14			
15			
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20			

FOURTH FLOOR RENOVATION PLAN



WALL LEGEND

- ◆ Existing walls to remain
 - ◆ Existing walls to be removed
 - ◆ New walls to be added
 - ◆ New walls to be added with insulation
 - ◆ New walls to be added with insulation and exterior finish
 - ◆ New walls to be added with insulation and exterior finish and masonry
 - ◆ New walls to be added with insulation and exterior finish and masonry and stone veneer
 - ◆ New walls to be added with insulation and exterior finish and masonry and stone veneer and brick
 - ◆ New walls to be added with insulation and exterior finish and masonry and stone veneer and brick and stone veneer
 - ◆ New walls to be added with insulation and exterior finish and masonry and stone veneer and brick and stone veneer and stone veneer
- TYPICAL RENOVATION NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.

LADY STREET



A124



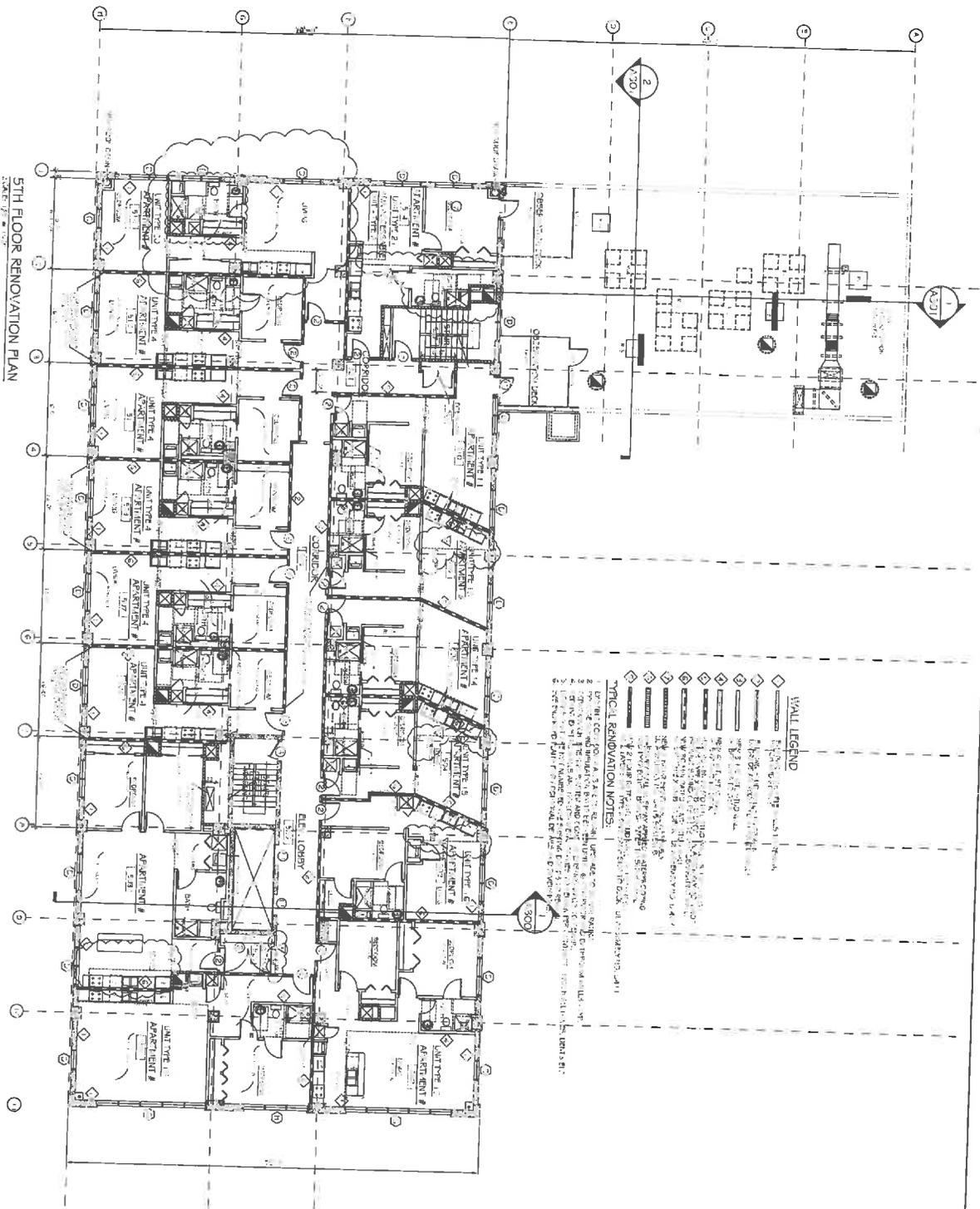
4TH FLOOR RENOVATION PLANS

BUILDING RENOVATIONS TC
THIRTEEN 21
LOFTS ON LADY

J. Lesesne Monteith
Architect
1201 Hampton Street Suite 1B
Columbia, SC 29201

NO.	DATE	BY	DESCRIPTION
1	10/15/13	JLM	ISSUED FOR PERMIT
2	11/15/13	JLM	ISSUED FOR CONSTRUCTION
3	12/15/13	JLM	ISSUED FOR OCCUPANCY

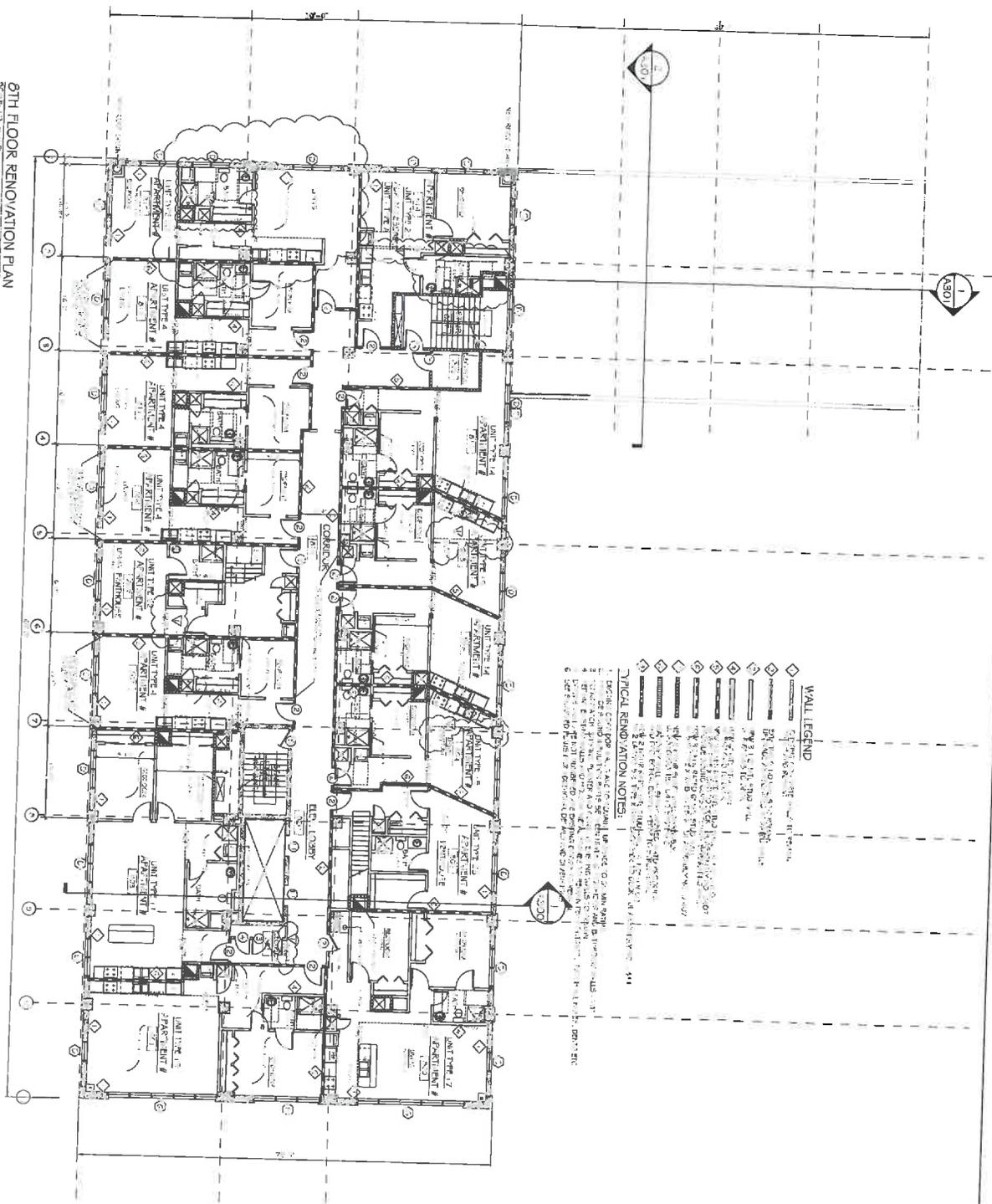
5TH FLOOR RENOVATION PLAN



LADY STREET

- WALL LEGEND**
- ◆ Existing wall - 12" CMU
 - ◆ Existing wall - 8" CMU
 - ◆ Existing wall - 6" CMU
 - ◆ Existing wall - 4" CMU
 - ◆ Existing wall - 2" CMU
 - ◆ Existing wall - 1" CMU
 - ◆ Existing wall - 1/2" CMU
 - ◆ Existing wall - 1/4" CMU
 - ◆ Existing wall - 1/8" CMU
 - ◆ Existing wall - 1/16" CMU
 - ◆ Existing wall - 1/32" CMU
 - ◆ Existing wall - 1/64" CMU
 - ◆ Existing wall - 1/128" CMU
 - ◆ Existing wall - 1/256" CMU
 - ◆ Existing wall - 1/512" CMU
 - ◆ Existing wall - 1/1024" CMU
 - ◆ Existing wall - 1/2048" CMU
 - ◆ Existing wall - 1/4096" CMU
 - ◆ Existing wall - 1/8192" CMU
 - ◆ Existing wall - 1/16384" CMU
 - ◆ Existing wall - 1/32768" CMU
 - ◆ Existing wall - 1/65536" CMU
 - ◆ Existing wall - 1/131072" CMU
 - ◆ Existing wall - 1/262144" CMU
 - ◆ Existing wall - 1/524288" CMU
 - ◆ Existing wall - 1/1048576" CMU
 - ◆ Existing wall - 1/2097152" CMU
 - ◆ Existing wall - 1/4194304" CMU
 - ◆ Existing wall - 1/8388608" CMU
 - ◆ Existing wall - 1/16777216" CMU
 - ◆ Existing wall - 1/33554432" CMU
 - ◆ Existing wall - 1/67108864" CMU
 - ◆ Existing wall - 1/134217728" CMU
 - ◆ Existing wall - 1/268435456" CMU
 - ◆ Existing wall - 1/536870912" CMU
 - ◆ Existing wall - 1/1073741824" CMU
 - ◆ Existing wall - 1/2147483648" CMU
 - ◆ Existing wall - 1/4294967296" CMU
 - ◆ Existing wall - 1/8589934592" CMU
 - ◆ Existing wall - 1/17179869184" CMU
 - ◆ Existing wall - 1/34359738368" CMU
 - ◆ Existing wall - 1/68719476736" CMU
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 - ◆ Existing wall - 1/1099511627776" CMU
 - ◆ Existing wall - 1/2199023255552" CMU
 - ◆ Existing wall - 1/4398046511104" CMU
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 - ◆ Existing wall - 1/562949953421312" CMU
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 - ◆ Existing wall - 1/1809251416242884415442616745992667

8TH FLOOR RENOVATION PLAN



WALL LEGEND

- ◆ Existing Wall
 - ◆ Existing Wall - to be removed
 - ◆ Existing Wall - to be retained
 - ◆ Existing Wall - to be replaced
 - ◆ Existing Wall - to be replaced with new construction
 - ◆ Existing Wall - to be replaced with new construction - exterior
 - ◆ Existing Wall - to be replaced with new construction - interior
 - ◆ Existing Wall - to be replaced with new construction - exterior - masonry
 - ◆ Existing Wall - to be replaced with new construction - interior - masonry
 - ◆ Existing Wall - to be replaced with new construction - exterior - concrete
 - ◆ Existing Wall - to be replaced with new construction - interior - concrete
 - ◆ Existing Wall - to be replaced with new construction - exterior - brick
 - ◆ Existing Wall - to be replaced with new construction - interior - brick
 - ◆ Existing Wall - to be replaced with new construction - exterior - stone
 - ◆ Existing Wall - to be replaced with new construction - interior - stone
 - ◆ Existing Wall - to be replaced with new construction - exterior - wood
 - ◆ Existing Wall - to be replaced with new construction - interior - wood
 - ◆ Existing Wall - to be replaced with new construction - exterior - metal
 - ◆ Existing Wall - to be replaced with new construction - interior - metal
 - ◆ Existing Wall - to be replaced with new construction - exterior - glass
 - ◆ Existing Wall - to be replaced with new construction - interior - glass
 - ◆ Existing Wall - to be replaced with new construction - exterior - other
 - ◆ Existing Wall - to be replaced with new construction - interior - other
- TYPICAL RENOVATION NOTES:
1. EXISTING WALLS TO BE REMOVED AND RECONSTRUCTED WITH NEW CONSTRUCTION.
 2. EXISTING WALLS TO BE REPAIRED AND REFINISHED.
 3. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior.
 4. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior.
 5. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - masonry.
 6. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - masonry.
 7. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - concrete.
 8. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - concrete.
 9. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - brick.
 10. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - brick.
 11. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - stone.
 12. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - stone.
 13. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - wood.
 14. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - wood.
 15. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - metal.
 16. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - metal.
 17. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - glass.
 18. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - glass.
 19. EXISTING WALLS TO BE REPAIRED AND REFINISHED - exterior - other.
 20. EXISTING WALLS TO BE REPAIRED AND REFINISHED - interior - other.

LADY STREET



8TH FLOOR RENOVATION PLAN

BUILDING RENOVATIONS TO THIRTEEN 21 LOFTS ON LADY

J. Lesesne Monteth
Architect
1201 Hampton Street Suite 1B
Columbia, SC 29201

NO.	DATE	BY	DESCRIPTION
1	10/15/03	JLM	ISSUED FOR PERMITS
2	11/10/03	JLM	ISSUED FOR CONSTRUCTION
3	12/15/03	JLM	ISSUED FOR OCCUPANCY
4	01/15/04	JLM	ISSUED FOR AS-BUILT



We Are Columbia

1136 Washington Street, Columbia, SC 29201 • Phone: 803-545-3216 • Fax: 803-733-8647

November 15, 2012

Mr. Tom Prioreshi
1530 Main Street
Columbia SC 29201

Dear Tom,

I am pleased to inform you that the City of Columbia has designated 1321 Lady Street as a City of Columbia Group II landmark building. Its architecture, construction techniques, and mid-century influence have marked it as an important structure in the evolution of Columbia's history.

As you know, any exterior changes to a landmark building will require either staff level review or review by the Design/Development Review Commission. The good news is that City tax abatement, the Bailey Bill, is also available as an incentive from the City, in the case that extensive work is required or desired to maintain the historic nature of the building.

As always, I am available to answer any questions you may have. Congratulations on the designation!

All the best,

Amy Moore

Amy Moore
Preservation Office



TO: Capitol Places VI, LLC
c/o Mr. Tom Prioreshi
1530 Main Street
Columbia, SC 29201

FROM: Elizabeth M. Johnson
Elizabeth M. Johnson, Deputy State Historic Preservation Officer

SUBJECT: New Listing in the National Register of Historic Places

DATE: June 24, 2013

It gives me great pleasure to notify you officially that the following historic property has been entered in the National Register of Historic Places.

Name of Property ----- **Owen Building**
Columbia, Richland County

Date of Listing----- **June 14, 2013**

Enclosed is information that explains the National Register. For more information about our other programs, including grants, tax incentives, and rehabilitation guidance, visit our website at www.shpo.sc.gov.

Enclosure

February 20, 2013



Capitol Places VI, LLC
c/o Mr. Tom Prioreshi
PO Box 2851
Columbia, SC 29202

Re: **Owen Building and Annex, 1321 Lady Street, Columbia, Richland County**

Dear Mr. Prioreshi:

We are pleased to inform you that the property which you own, the Owen Building and Annex, at 1321 Lady Street, in Columbia, South Carolina, will be considered by the South Carolina State Board of Review for nomination to the National Register of Historic Places. The National Register of Historic Places is the Federal government's official list of historic properties worthy of preservation.

Listing of the Owen Building and Annex provides recognition of the property's historic importance and assures protective review of Federal and some State projects that might affect adversely the character of the store. If the Owen Building and Annex is listed in the National Register, certain Federal and State investment tax credits for rehabilitation and other provisions may apply.

Listing in the National Register does not mean that limitations will be placed on the properties by the Federal government. Public visitation rights are not required of owners. The Federal government will not attach restrictive covenants to the properties or seek to acquire them.

You are invited to attend the State Board of Review meeting at which the nomination will be considered. The board will meet at 10:30 a.m. on March 22, 2013, in the Wachovia Room of the South Carolina Archives and History Center, 8301 Parklane Road, Columbia, South Carolina.

Attached please find a notice that explains, in greater detail, the results of listing in the National Register and that describes the rights and procedures by which an owner may comment on or object to listing in the National Register. You can also visit our website at <http://shpo.sc.gov/properties/register/> for more information about the National Register program.

Should you have any questions about this nomination before the State Board of Review meeting, please contact Andrew W. Chandler of our office at (803) 896-6179 or chandler@scdah.state.sc.us.

Sincerely,

Elizabeth M. Johnson
Deputy State Historic Preservation Officer

enclosures





FOR RENT
CALL 770-444-1111
AVAILABLE
MAY 15, 2011







