

# D/DRC Case

1907 Henderson Street

**Landmark District**

TMS: 11404-02-16

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
**Case # 5**

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**ADDRESS:** 1907 Henderson Street

**APPLICANT:** Randy Weiss, owner

**TAX MAP REFERENCE:** TMS#11404-02-16

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Landmark District

**NATURE OF REQUEST:** Request Certificate of Design Approval for exterior changes and preliminary approval for the Bailey Bill

**FINDINGS/COMMENTS:**

This is a c.1912 Folk Victorian, single-story, wood-frame residence that was recently purchased and will be undergoing a renovation as an investment property. This is a contributing building in the Landmark District, the district with the highest level of protection. Projects in this area are held to a high standard.

The owner is proposing replacing a non-original window, removing metal underpinning from the foundation, and installing a horizontal board between the newly exposed brick piers. Remaining items include replacing the roof, replacing some rotted siding and general maintenance.

**PERTINENT SECTIONS FROM CITY ORDINANCE:**

*17-674(d): Criteria for review of design of structures and sites.*

*(1) Issuance of a certificate of design approval shall be based upon the requirements set forth in the standards or design guidelines adopted by the city council for each historic district. For individual landmarks, the Governor's Mansion Protection Area, Elmwood Park Architectural Conservation District, and the Landmark District, the Secretary of the Interior's Standards for Rehabilitation, as amended and listed below (the "Standards"), shall serve as guidelines until such time as design guidelines may be written and adopted by City Council for each local historic district. The Standards are to be applied to specific rehabilitation projects, taking into account the designation level of each district.*

*a. For landmark districts and individual landmarks, the historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The majority of the building and its historic features will remain intact.

*b. In architectural conservation districts and protection areas, the historic character of a district shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.*

Not applicable.

*c. For individual landmarks and the landmark district, each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

The only two exterior changes proposed at this time are the removal of a non-original “greenhouse window” on the south elevation and the replacement of the aluminum foundation covering with a proposed horizontal “hog board” that would go between the brick piers along the foundation.

An image from around 1993 shows that the original windows were a 2/2 configuration, although the projecting bay along the left side of the house was a porch that was enclosed at a later point and may have had different windows. The majority of the original windows in the house were replaced years ago with 9/9 vinyl windows. The small kitchen window was replaced with a greenhouse window and it is located in the enclosed porch. The owner is replacing only this small kitchen window with a wood, 1/1 sash window to better replicate the original sash configuration.

Historically, homes with brick pier foundations had nothing placed between the piers; the foundation was left open and allowed air to circulate under the building. As people installed duct work under houses and building codes changed to require enclosure of this area, it was filled in with masonry materials such as concrete block or brick, or with wood lattice. Some other methods of enclosing the area included slender, vertical wood planks, which is found in 1960s photos of two homes in the area. The house at 1907 Henderson gained a stamped metal underpinning made to look like decorative block at least 20 years ago.

The applicant is proposing a horizontal “hog board” between the brick piers in the foundation. An architectural rendering provided by the applicant shows this to be made up of 5/4”x 6” boards, which is the size of a deck board. This is not a typical or historic treatment for this house or for historic houses in the area and would therefore create a false sense of historical development and be considered “conjectural.” The photograph provided by the applicant shows this board looking like large louvers and creating an appearance that is unlike anything that would have been found on this building historically.

*d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The metal underpinning has not gained historic significance.

*e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

When the metal underpinning is removed it will likely reveal brick piers; these should remain as they are in order to meet this guideline.

The siding and trim will remain, with some rotted boards replaced.

*f. Deteriorated historic features shall be repaired rather than replaced. Where severe deterioration or complete loss requires replacement of a distinctive feature, the new feature shall match the old in design, color, finish, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence, and character-defining features that have been lost due to intentional damage, removal or neglect shall be rebuilt.*

The original windows have been removed; the only new window to go in to the building will replace a greenhouse window on the south side. The small new window will be all wood with a 1/1 pane configuration. It is unknown what the original pane configuration was on this window as it is in an addition that was created with the enclosure of a side porch. A 1/1 pane configuration is typical for the era in which this building was constructed and wood is the correct material to meet this guideline.

The wood siding and trim and porch columns will remain; any small areas of damage that is too far gone to be repaired will be replaced in kind with matching wood in shape and configuration. If porch floor boards need to be replaced they should match the original tongue and groove design as is currently found on the building. Siding should likewise match in shape and size. If a large area needs to be replaced staff can work with the applicant on the amount of replacement required.

*g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The soffits and other areas display some mildew and will probably need to be cleaned and repainted, gentle methods should be used.

*h. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Not applicable.

*i. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Not applicable.

## **BAILEY BILL ORDINANCE**

### **Sec. 17-698. Eligible rehabilitation.**

*Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:*

*1. The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*

Original materials on the house will be retained and preserved.

*2. Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

As described above, the change proposed to the foundation, the addition of “hog board,” is not appropriate for the building. The example provided by the applicant appears to be a new house, and the use of this feature would create a false sense of historical development by introducing a modern feature.

If the applicant desired to use a material that was typical of this area and that was used historically, such as brick, concrete block, lattice or vertical wood pickets, then it would keep the building more in line with what would have been available for this building. For

ventilation under the house vents may need to be installed if a solid material is installed rather than a lattice, which is a detail that could be worked out with staff.

*3. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

The items to be removed, the greenhouse window and the metal underpinning, have not acquired historic significance.

*4. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*

If the metal underpinning is removed then the original brick piers will be visible. They should be repaired and preserved in order to meet this requirement. Other historic features of the house, such as the chimney, the siding, the porch columns, etc. should be preserved to meet this requirement.

*5. Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Deteriorated features should be repaired rather than replaced. Any features that are too deteriorated beyond repair, such as a few pieces of wood siding or wood porch flooring, should be replaced in kind with wood matching the same shapes and profiles as what was removed.

The wood siding and trim and porch columns will remain; any small areas of damage that is too far gone to be repaired will be replaced in kind with matching wood in shape and configuration. If porch floor boards need to be replaced they should match the original tongue and groove design as is currently found on the building. Siding should likewise match in shape and size. If a large area needs to be replaced staff can work with the applicant on the amount of replacement required.

*6. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Any cleaning shall be gentle.

*7. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

Not applicable.

*8. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Not applicable.

#### **STAFF RECOMMENDATIONS:**

Staff finds that the proposal for the “hog board” between the brick pier foundation does not meet either Sections 17-674(d) for the Landmark District or Section 17-698 of the City Ordinance for the Bailey Bill and recommends denial of that part of the proposal. However, the remainder of the

proposal is in keeping with those sections of the ordinance and staff recommends a Certificate of Design Approval and a recommendation for preliminary certification for the Bailey Bill if that item is removed or replaced with an item more in keeping with the ordinance. In that instance, all approvals and details may be deferred to staff.





Above: Image of house in 1800 block of Henderson St. with lattice in foundation (City of Columbia)

Above Right: House in 1900 block of Henderson with vertical planks in foundation (City of Columbia)

Right: Typical open foundation in 1900 block of Pickens (Joseph Winter, City of Columbia, USC digital collections)



CITY OF COLUMBIA  
 PRESERVATION PLANNING OFFICE  
**REHABILITATED HISTORIC PROPERTY APPLICATION**  
**PART A - CONTINUED**

**5. DESCRIPTION OF PROPOSED WORK**

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature <u>siding</u> Approximate date of feature _____ Describe feature and its condition <u>some rotten boards</u>  Photograph No. <u>2+3+4+5</u> Drawing No. _____	Describe work and impact on feature <u>replace rotten boards with new boards that are identical.</u>
Architectural feature <u>kitchen window</u> Approximate date of feature _____ Describe feature and its condition <u>Bay window</u>  Photograph No. <u>5</u> Drawing No. _____	Describe work and impact on feature <u>Replace bay window in kitchen with 1over 1 historic style wood frame window</u>
Architectural feature <u>wood skirt</u> Approximate date of feature _____ Describe feature and its condition <u>tin skirt around base of house, rusted + torn up + warped</u>  Photograph No. <u>3,4</u> Drawing No. _____	Describe work and impact on feature <u>take down tin skirt. Replace with pointed board. See picture 5+6 for details</u>
Architectural feature <u>Roof</u> Approximate date of feature _____ Describe feature and its condition <u>old worn</u>  Photograph No. <u>1,5</u> Drawing No. _____	Describe work and impact on feature <u>New Roof</u>

2004 TAX MAP



**PROPERTY TAX MAP**  
**RICHLAND COUNTY**  
 SOUTH CAROLINA

**PROPERTY MAP SHEET NO. 11404**

**50**

**LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	Lot
[Symbol]	Block
[Symbol]	Street
[Symbol]	Water
[Symbol]	Other

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/10/03	Initial Issue
2	01/15/04	Amended
3	03/15/04	Amended
4	05/15/04	Amended
5	07/15/04	Amended
6	09/15/04	Amended
7	11/15/04	Amended
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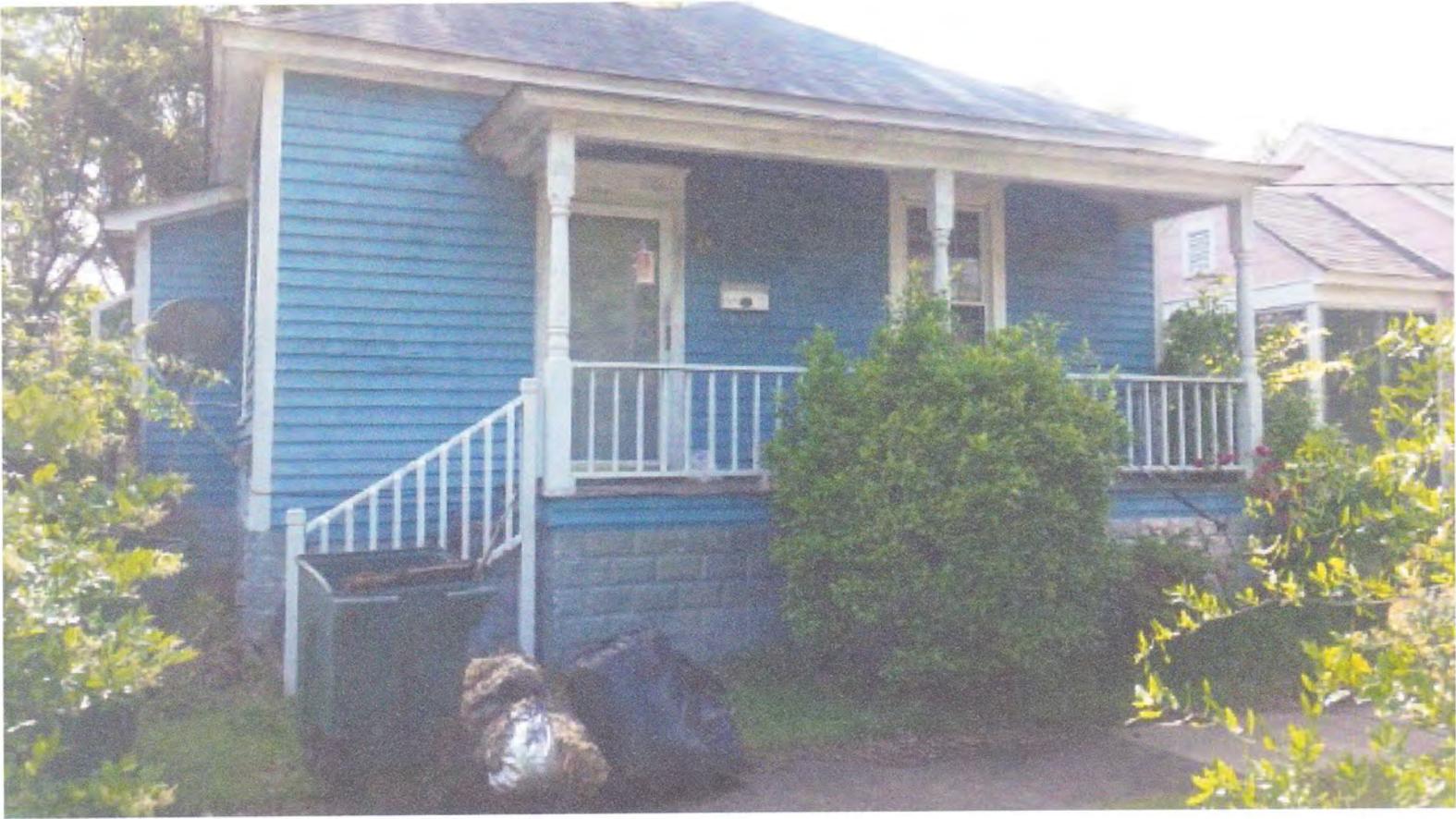
**GRAPHIC SCALE**

**MAP SHEET**

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**PROPERTY MAP SHEET NO. 11404**

**ICC**





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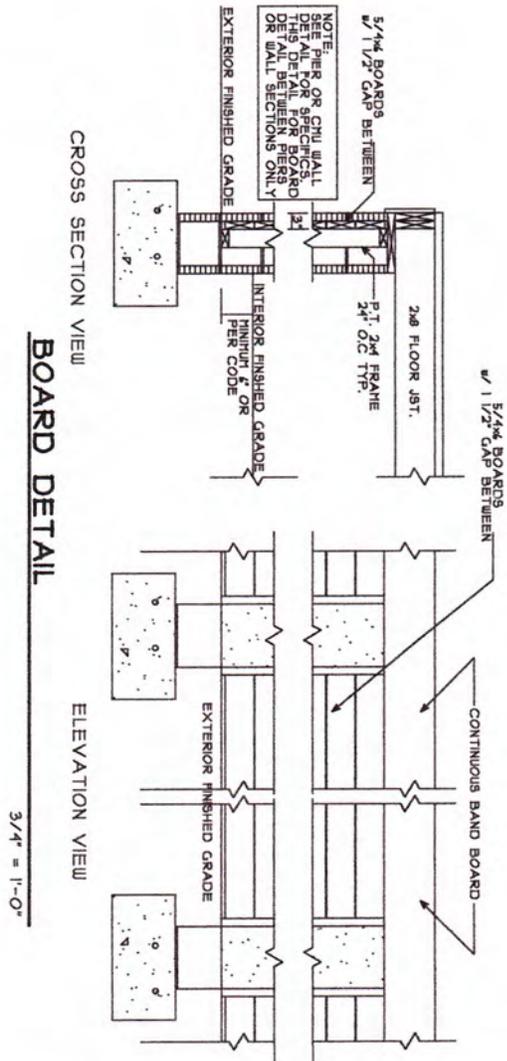
④



5



(5) hog board



⑥ Hoy board plans