
**DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC CONSENT AGENDA
EVALUATION SHEET
Case #3**

ADDRESS: 17 Gibbes Court

APPLICANT: Dale Marshall, AIA

TAX MAP REFERENCE: TMS#11405-16-05

USE OF PROPERTY: Residential

REVIEW DISTRICT: University Hill Architectural Conservation District

NATURE OF REQUEST: Request for preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

The brick two-story residence located at 17 Gibbes Court was built ca. 1928 and is a contributing structure in the University Hill Architectural Conservation District as well as the University Neighborhood National Register Historic District. The house features a hipped roof with two exterior end brick chimneys, 6/1 windows with decorative shutters, and a centrally located front portico supported by smooth round columns.

This project came before the D/DRC in January 2015 and received approval for exterior changes and a small rear addition at that time. The applicant's proposal included rehabilitating the existing house by repairing all existing historic architectural features including windows, doors and columns, and removing a non-historic aluminum/vinyl cornice system that is currently covering the exposed rafter tails in the eaves. The applicant also proposed a 452 square foot addition on the rear, a new brick garden wall, and a new two-bay garage to replace an existing 1-story garage that was not structurally sound.

Although the D/DRC approved the proposed scope of work in January, none of the work has been started. The applicant is now requesting preliminary certification for the Bailey Bill for the proposal as previously approved. In addition to the exterior repairs, the project will include repairing the electrical and plumbing systems, replacing the roof, and replacing the HVAC system. The removal of historic materials or alterations of features and spaces that characterize the property shall be avoided. Additional work that will count toward the investment threshold includes structural repairs, installing storm windows, and adding attic insulation. Interior work and new construction costs will not be included.

The applicant estimates that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible. Any work done prior to receiving preliminary certification for the Bailey Bill by the D/DRC will not be included in the cost estimate used to determine eligibility.

The copy below was included in the staff evaluation from January 2015

The proposed addition will consist of a 2-story section on the left rear corner of the house and a 1-story section in the center with a short breezeway connecting to the garage. There are currently two large trees that will minimize the visibility of the addition from the public right-of-way, and the property owner intends to preserve the screening of the addition as much as they can. The addition will feature smooth horizontal cement fiberboard siding and will be inset 8"-12" to differentiate the new portion from the existing brick house. The garage will also feature smooth horizontal cement fiberboard to match the size, width and reveal of the wood siding used on the existing garage.

Although the windows in the house will be repaired, the existing decorative shutters will be replaced with new wood panel shutters with operable hardware. The windows in the addition and the garage will be wood or aluminum-clad windows with muntins to match the original wood windows in the house.

PERTINENT SECTIONS FROM THE GUIDELINES

SECTION VII: ADDITIONS

A. Principles

It is often necessary to increase the space of a building in order for it to continue to adapt to the owner's needs. Over time, a family's space needs change and, in order to accommodate these needs, a building may need to be enlarged. While these additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

Additions should not significantly alter original distinguishing qualities of buildings such as the basic form, materials, fenestration, and stylistic elements. Additions visible from the street should be constructed so that the essential form and integrity of the original building will be readily comprehended. Preferably, additions should be attached to the rear or least conspicuous side of the building. They should be compatible with yet distinct from the original portions of building and should result in minimal aesthetic damage to it. Character defining features of the existing building should not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. Additions should be attached to the rear or least conspicuous side of the structure. They should be constructed so that if visible from the street, the essential form and integrity of the building will be unimpaired.

B. Guidelines

1. *Site additions so that they do not detract from or obstruct important architectural features of the existing building or those around it, especially the principal façade.*

The house is located on a corner lot, which means the majority of the proposed rear addition will be visible from the public right-of-way. Two large trees, if kept, will minimize the visibility of the addition, as will the proposed 4'8" high brick garden wall. Although the addition is cement fiberboard siding and not brick veneer, it utilizes architectural elements found throughout the exterior of the building such as the eave and cornice detailing. Therefore, the proposed design does not detract from or obstruct important architectural features. The principal façade of the house will

not be affected. The 2-story portion of the addition on the left rear corner will be inset 8"-12" to clearly distinguish it from the original portion of the house.

2. *Additions should be compatible with the original structure in materials, style and detailing.*

Both sections of the addition will feature horizontal cement fiberboard siding with cornice detailing to match the original portion of the house. The roofing material for the new addition will be architectural shingles and will match the existing shingles in style, color and texture. No plastic, vinyl, or PVC products will be used.

3. *The size and scale of the new addition should be in proportion to the existing portion of the building and clearly subordinate to it, so that the integrity of the original structure is not compromised.*

The essential form and integrity of the house will not be affected by the proposed rear addition. The size and scale of the addition is clearly subordinate to the original portion of the house.

4. *Additions are also subject to the guidelines for new construction.*

See below

SECTION VI: NEW CONSTRUCTION

A. Principles

The character of the UACD is determined by its historical and stately residences. There are relatively few non-contributing structures and there are very few vacant lots available for new construction. Each new or replacement structure can affect the character of the neighborhood positively or negatively and therefore must be undertaken with great sensitivity to the existing buildings on a block or street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation, spacing and ground elevation relative to the street and surrounding development. New construction should be sympathetic to the architecture of an earlier period, and must take into account significant themes, such as height, materials, roof form, massing, set-back, and the rhythm of openings to insure that any new building blends with its context.

B. Guidelines

1. **Height:** The characteristic height in UACD is two stories. New buildings must be constructed to a height compatible with the height of surrounding buildings.

Addition: The addition features a 2-story portion on the left rear corner and a 1-story portion centered on the rear of the house. The roof for the 2-story portion is below the original roofline.

Garage: The new two-bay garage is 1-story with a loft and is just over 17' high. It is approximately 3' taller than the existing garage, and features a slightly steeper pitched roof to accommodate a storage loft.

2. **Size & Scale:** The size and scale of a new building shall be visually compatible with surrounding buildings.

Addition: The size and scale of the addition is clearly subordinate to the original portion of the house.

Garage: The footprint of the existing garage is slightly larger than 20'x20'. The new garage will be two feet wider and approximately 6 ½ feet deeper.

- 3. Massing:** The mass of a new building (the relationship of solid components (e.g., walls, columns, etc.) to open spaces (e.g., windows, doors, arches)) shall be arranged so that it is compatible with existing buildings on the block or street.

Addition: The mass of the addition is compatible with the house and consistent with similar additions on other houses in the district.

Garage: The mass of the new garage is consistent with the building it will replace.

- 5. Setback:** New building shall be located on the site so that the distance of the structure from the right-of-way is similar to other structures on the block; new structures may be set back 5' from the existing average of the front yard setbacks on the structure's block and immediately adjacent blocks.

Addition: The addition will meet all setback requirements.

Garage: The new garage will meet all setback requirements.

- 5. Sense of Entry:** The main entrance and the associated architectural elements (porches, steps, etc.) shall be designed so that they are compatible with surrounding structures. The main entrance shall be constructed with covered porches, porticoes, or other architectural forms that are found on historical structures on the block or street. Façades shall have a strong sense of entry.

- 6. Rhythm of Openings:** *New buildings shall be constructed so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) is visually compatible with buildings on the block or street, with a similar ratio of height to width in the bays of the façade. Incompatible façade patterns that upset the rhythm of openings established in surrounding structures shall not be allowed.*

Addition: The rhythm of openings on the addition is consistent with the existing fenestration pattern on the original portion of the house.

Garage: The new garage will feature two bays with carriage style wood or aluminum doors. One fixed window will be installed in each upper gable.

- 7. Roof Shape:** *Roof shapes, pitches, and materials shall be visually compatible with those of surrounding buildings. Most structures in the UACD have pitched roofs, with gable, hip or a combination thereof as the predominant style. Roof shapes or pitches not found in the district should not be used.*

The proposed roof shape for both portions of the addition will be a hip to match the house. Shingles will be used on the addition, which will promote visual consistency with the house.

- 10. Materials, Texture, Details:** *Materials, textures, and architectural features shall be visually compatible with the scale, placement, profile, and relief of details on surrounding structures on the block or street. The most commonly found exterior cladding in the neighborhood is wood siding, though there are a number of structures made of solid brick. The DDRC may evaluate other materials based upon their compatibility within the district, the block on which the structure sits, and the materials found therein. Horizontal siding must harmonize with the board size, width of exposure, length, and trim detail such as corner boards on adjacent structures. Plastic, vinyl, or aluminum siding for new construction is not permitted. Indeed, since vinyl, plastic, and aluminum are not acceptable replacement materials for any features of existing structures, they are not*

acceptable materials for any part of new construction with the exception of well-profiled aluminum-clad wood windows.

Entire house: All structural, architectural, and trim components for the proposed addition and garage will be constructed of wood or smooth cement fiberboard. All painted surfaces will use traditional paint. No ceramic coating systems or liquid sidings of any type will be used. Plastic, vinyl or PVC products are not permitted for any architectural feature.

Chimneys: The elevations only show one chimney; however, the house has two brick chimneys. Staff recommends retaining, repairing and reflashing these chimneys as necessary.

Windows: The applicant will repair the existing wood windows on the original portion of the house and may install storm windows for energy efficiency. The new windows in the addition and the garage will be wood or aluminum-clad with exterior muntins to match the existing historic windows.

Walls: The walls of the addition and the garage shall be horizontal cement fiberboard siding. The applicant did not specify the reveal of the siding, but staff would recommend a reveal consistent with historic wood siding in the district.

Shutters: The applicant is proposing wood panel shutters for the windows on the primary façade. Staff recommends shutters with hardware (hinges, shutter dogs, etc.) that makes them functional or appear to be functional. Shutters should be sized appropriately to fit the windows and be mounted in the correct locations.

Door: The new rear door in the addition will be a half-glass design constructed of wood or high-quality insulated fiberglass.

Foundation: The elevations do not specify the material for the foundations of the addition or the garage. Staff recommends a brick foundation to match the existing historic brickwork, and a skirt board to be consistent with other wood sided buildings in the district.

Fencing: A 4'-8" high brick garden wall will be used to create a courtyard on the rear portion of the property between the house and the garage. The new brick shall duplicate the size, color, mortar joint width, composition and tooling of the historic brickwork.

Driveway: No plans to revise the existing driveway have been submitted.

PREVIOUS APPROVAL FROM JANUARY 8, 2015:

Staff finds that the proposal complies with the pertinent sections of the guidelines in Section VII – Additions and Section VI – New Construction. ***Staff recommends granting a Certificate of Design Approval for 17 Gibbes Court with the following conditions:***

- Both chimneys shall be retained, repaired and reflashed as necessary
- The exposed rafter tails in the eaves shall be repaired after the non-historic aluminum cornice system is removed
- The historic wood windows in the original portion of the house shall be retained and repaired
- The new windows in the addition and the garage shall be wood or aluminum-clad with exterior muntins to match the existing historic windows.
- The addition and garage foundations shall be brick to match the historic brickwork on the original portion of the house.
- All details deferred to staff

STAFF RECOMMENDATIONS:

Staff recommends that 17 Gibbes Court be given preliminary certification for the Bailey Bill, conditional upon the project adhering to the proposal approved by the D/DRC on January 8, 2015 and qualified rehabilitation expenses meeting or exceeding the 20% investment requirements.

17 Gibbs Court – University Hill Architectural Conservation District



17 Gibbs Court – Façade – Existing Conditions



17 Gibbs Court – Façade – 1993 photo showing exposed rafters

17 Gibbes Court – University Hill Architectural Conservation District



Views showing current visibility of the area for the proposed addition



CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>Sunroom Trim</u> Approximate date of feature <u>1928</u> Describe feature and its condition Photograph No. <u>2,3</u> Drawing No. _____	Describe work and impact on feature Vinyl wrap to be removed and original trim to be repaired or replaced with new material to match original trim. Paint.
Architectural feature <u>Windows</u> Approximate date of feature _____ Describe feature and its condition Photograph No. <u>4</u> Drawing No. _____	Describe work and impact on feature Original windows to be repaired and repainted
Architectural feature <u>Exterior Masonry</u> Approximate date of feature _____ Describe feature and its condition Photograph No. <u>5</u> Drawing No. _____	Describe work and impact on feature Masonry to be repointed
Architectural feature <u>Existing Framing</u> Approximate date of feature _____ Describe feature and its condition Photograph No. <u>HLK</u> Drawing No. _____	Describe work and impact on feature Framing to be reinforced and leveled as required.

**Fair market value means the appraised value as certified to the DDRRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

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CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature <u>Cornice</u> Approximate date of feature <u>1928</u> Describe feature and its condition Photograph No. <u>1</u> Drawing No. _____	Describe work and impact on feature Vinyl wrap is to be removed and original cornice is to be restored refinished and painted
Architectural feature <u>Plumbing</u> Approximate date of feature <u>1928</u> Describe feature and its condition Photograph No. <u>116</u> Drawing No. _____	Describe work and impact on feature Plumbing and Sewer lines to house to be replaced.
Architectural feature <u>Electrical</u> Approximate date of feature <u>Unknown</u> Describe feature and its condition Photograph No. <u>117</u> Drawing No. _____	Describe work and impact on feature All electrical to be fully replaced to service location.
Architectural feature <u>Mechanical</u> Approximate date of feature <u>Unknown</u> Describe feature and its condition Photograph No. <u>118</u> Drawing No. _____	Describe work and impact on feature All mechanical is to be fully replaced

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Rumsey Construction and Renovation, LLC
2711 Alpine Rd. Suite 230
Columbia, SC 29223
803-764-0222 office
1-866-587-7816 fax
www.rumseycr.com
SC G-100101

6-Apr-15

Customer: Mr. and Mrs. Burke

Location: 17 Gibbes Ct., Columbia, SC

Discription: Remodel and add additions to property with partial completed garage.

Grading Allowance:	\$	1,000.00
Tree Removal Allowance:	\$	1,200.00
Landscaping Allowance:	\$	4,500.00
Fuel Tank Removal Allowance:	\$	1,500.00
Demolition Allowance:	\$	8,000.00
*A lead and asbestos survey will be completed before any demolition begins.		
Footings:	\$	5,250.00
Foundation Blocks:	\$	2,550.00
Concrete For Footers:	\$	3,125.00
New Brickwork:	\$	11,667.00
Repoint Existing Brick Allowance:	\$	5,000.00
Level Floors In Existing Structure Allowance:	\$	3,000.00

Framing Allowance:	Quantity	Cost	Total	
Labor:	1	\$ 16,750.00	\$ 16,750.00	
Materials:	1	\$ 15,000.00	\$ 15,000.00	
	Total Framing:			\$ 31,750.00

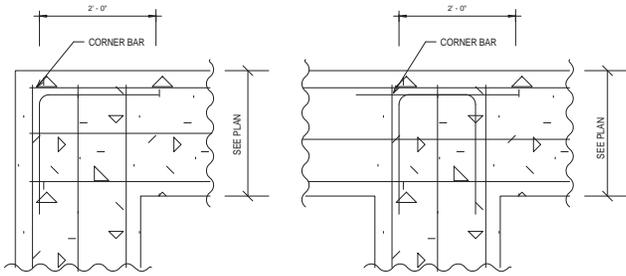
Roofing Allowance:	Quantity	Cost	Total
Shingles:	32	\$ 180.00	\$ 5,760.00
Flashing:	0	\$ 7.50	\$ -

Drip Edge:	370	\$	1.50	\$	555.00	
Ridge vent:	54	\$	7.50	\$	405.00	
	Total Roof:					\$ 6,720.00
Exterior Windows & Doors Allowance:						\$ 6,000.00
Insulation Allowance:	Quantity		Cost		Total	
R-13 wall	3820	\$	0.65	\$	2,483.00	
R-19 floor	1582	\$	1.25	\$	1,977.50	
R-19 wall	0	\$	0.51	\$	-	
R-30 batts	0	\$	0.75	\$	-	
R-30 blown	1582	\$	1.65	\$	2,610.30	
	Total Insulation:					\$ 7,070.80
Drywall Allowance:	Quantity		Cost		Total	
Materials:	1	\$	5,400.00	\$	5,400.00	
Labor	1	\$	5,950.00	\$	5,950.00	
	Total Sheetrock:					\$ 11,350.00
Plumbing Allowance:						
Labor:	15	\$	550.00	\$	8,250.00	
Fixture allow:	1	\$	5,000.00	\$	5,000.00	
Sewer Line:	1	\$	3,500.00	\$	3,500.00	
	Total Plumbing					\$ 16,750.00
Flooring:	Quantity		Cost		Total	
Tile:	Allow:	838	\$ 3.00	\$	2,514.00	
	Labor:	838	\$ 7.50	\$	6,285.00	
	Materils	838	\$ 2.50	\$	2,095.00	
	Shower labor	1	\$ 2,500.00	\$	2,500.00	
Wood Floor:						
	Flooring	200	\$ 3.75	\$	750.00	
	Labor:	1904	\$ 2.00	\$	3,808.00	
	Refinish:	1904	\$ 2.50	\$	4,760.00	
	Total Flooring:					\$ 22,712.00
Electrical Allowance:						\$ 10,400.00
Lighting Fixture Allowance:						\$ 1,500.00
Cabinet Allowance:						\$ 25,000.00
Countertop Allowance:						\$ 6,000.00
HVAC Allowance:						\$ 15,355.00
* Per Quality Plus HVAC estimate.						
Exterior Soffit & Fascia Allowance:						\$ 8,000.00
Interior Paint Allowance:						\$ 15,000.00
Exterior Paint Allowance:						\$ 9,500.00

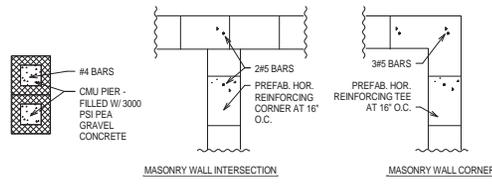
Cement-fiber Siding (labor and materials) Allowance:	\$	13,684.00
Exterior Shutters & Hardware Allowance:	\$	2,500.00
Interior Trim Allowance: *Interior trim and doors.	\$	16,500.00
Hardware Labor Allowance:	\$	3,000.00
Hardware Material Allowance:	\$	3,000.00
Garage Doors Allowance:	\$	3,060.00
Permit:	\$	1,410.00
Rentals:	\$	2,500.00
Shower Doors Allowance:	\$	1,500.00
Dumpsters & Toilet Rentals:	\$	3,500.00

Sub-total	\$	290,553.80
10% overhead	\$	29,055.38
10% profit	\$	<u>29,055.38</u>
Total:	\$	348,664.56

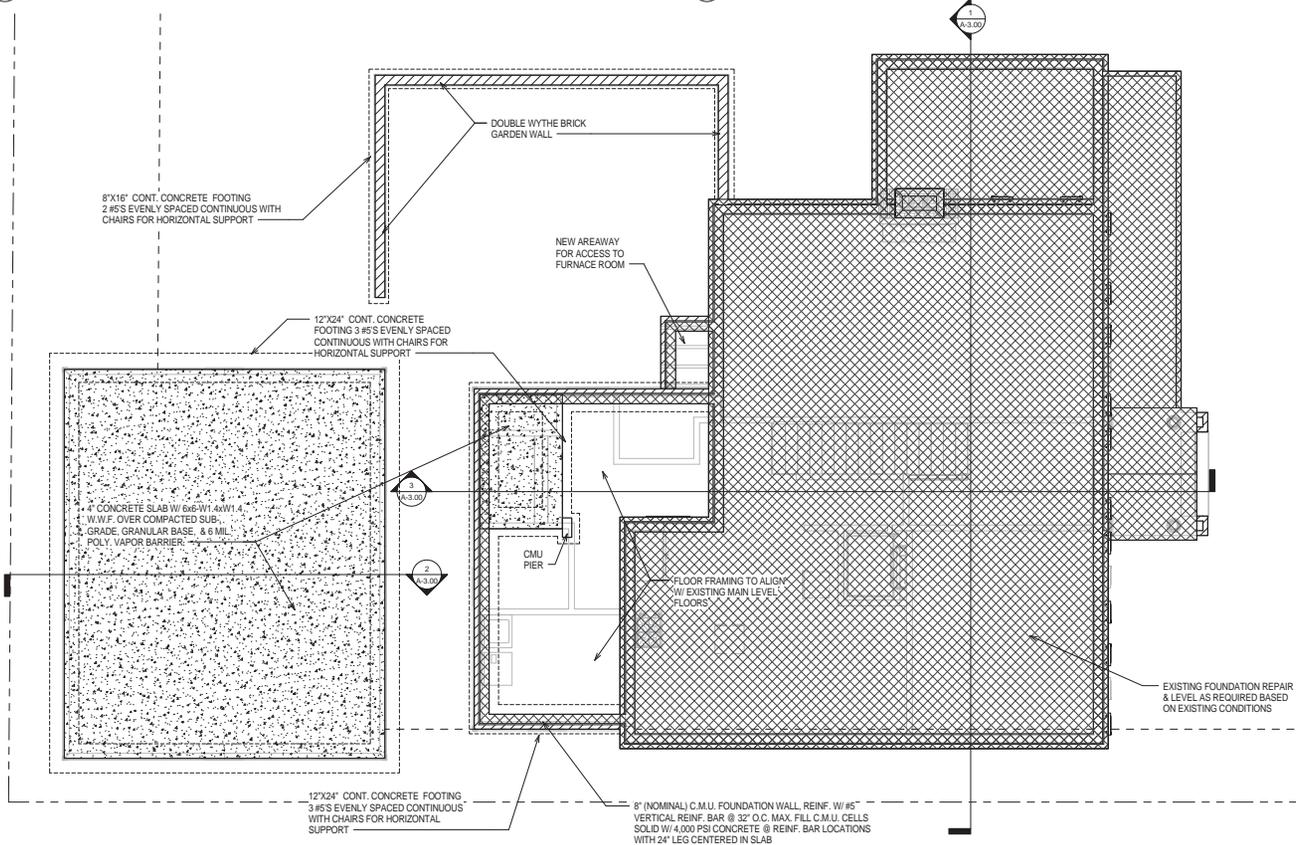
Total **\$ 348,664.56**



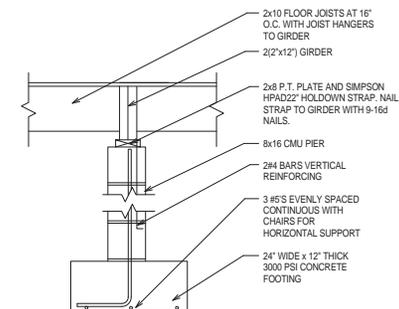
2 Typical Footing Details
1/4" = 1'-0"



3 Typical Masonry Details
1/4" = 1'-0"



1 Proposed Foundation Plan
1/4" = 1'-0"



4 Typical Pier Detail
1/4" = 1'-0"

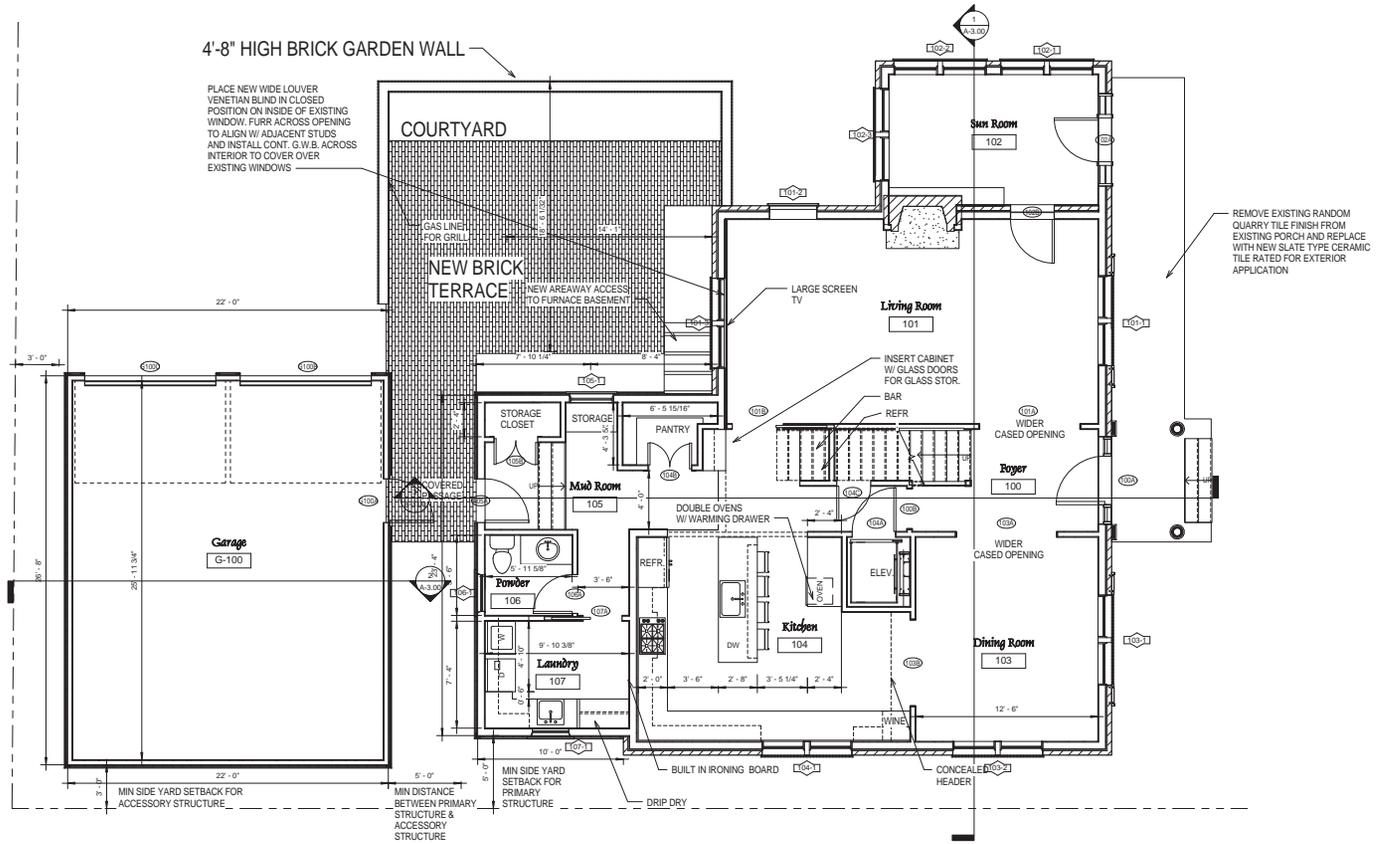
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04/29/15		

2-DIMENSIONAL DESIGN & CONSTRUCTION
17 GIBBS CT. 15

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1,582 HEATED SF

1 Proposed Main Level
 1/4" = 1'-0"

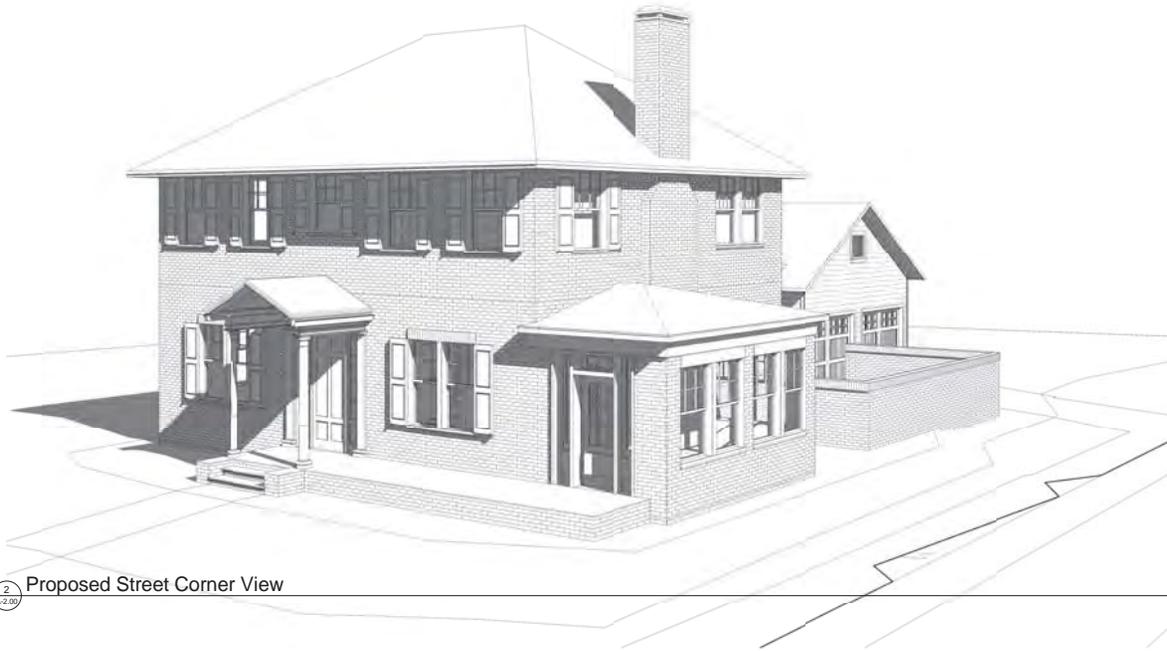
PROJECT
 17 Gibbs Ct.
 SHEET TITLE
 Proposed Main Level

SHEET ISSUED	DATE	DESCRIPTION
	04/23/15	

2-DIMENSIONAL DESIGN A-DIMENSIONAL 2D-17 Gibbs Ct.

DRAWN BY:
 Author
 DATE:
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DRAWING NO:
A-1.01



2 Proposed Street Corner View
4-2-2015



1 Proposed Gregg Street View
4-2-2015

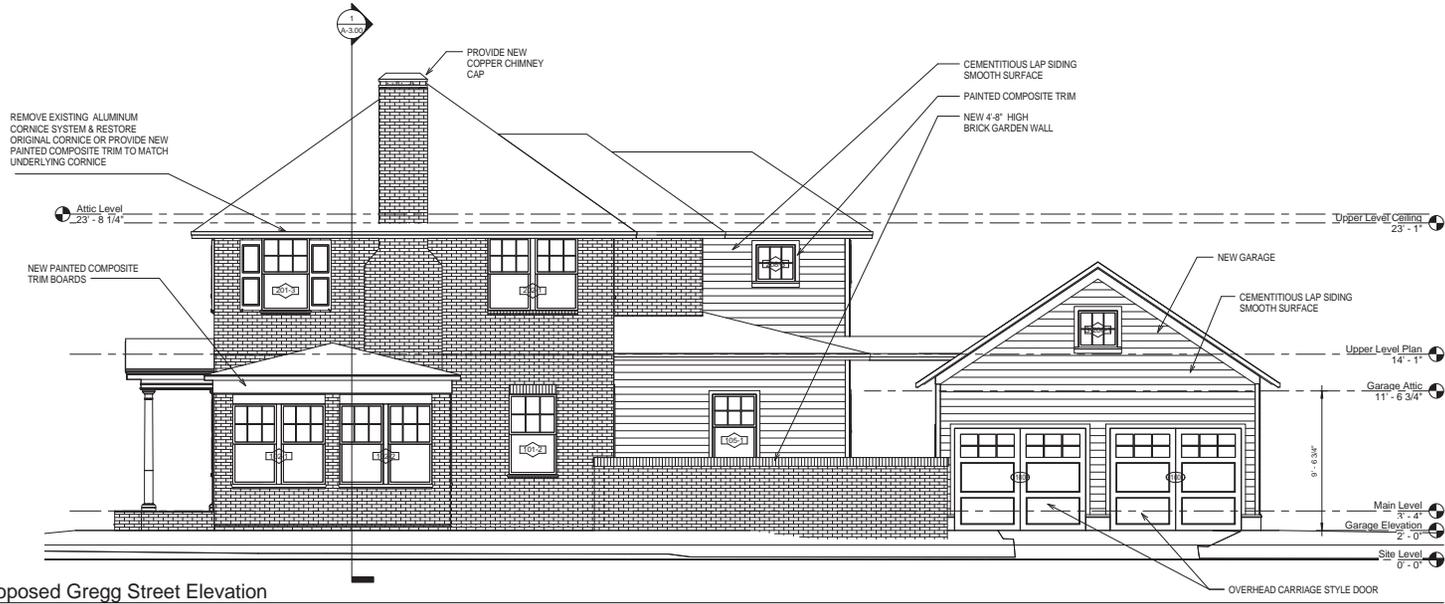
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SHEET TITLE	Proposed Mass Studies

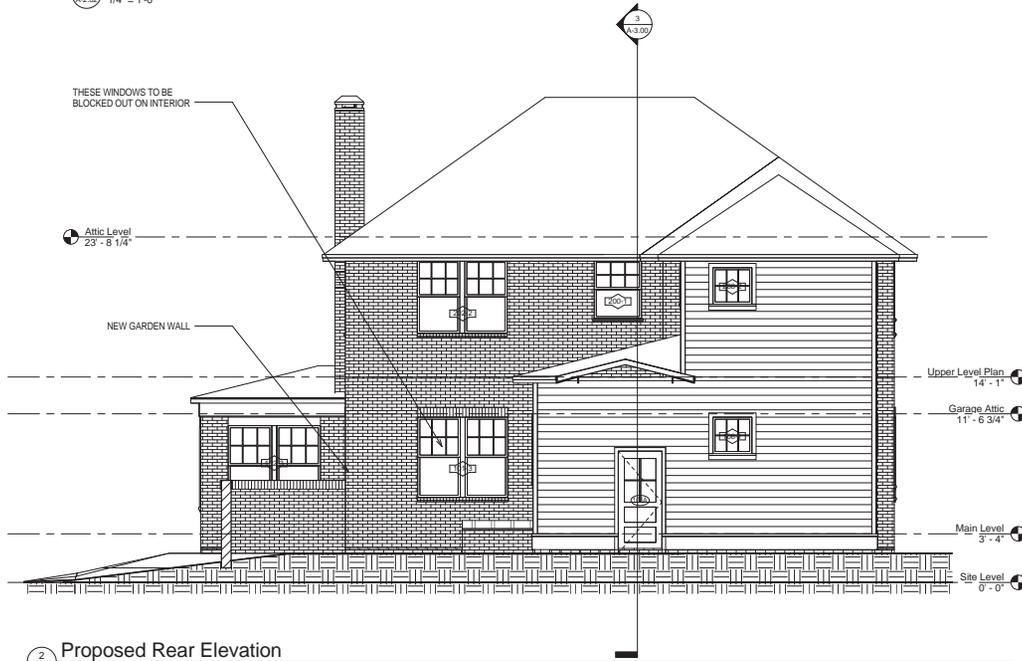
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REVISION	
DESCRIPTION	

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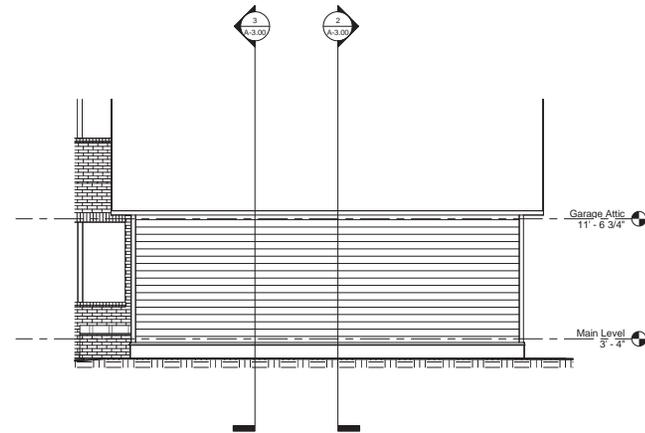
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A-2.00



1 Proposed Gregg Street Elevation
 A-2.02 1/4" = 1'-0"



2 Proposed Rear Elevation
 A-2.02 1/4" = 1'-0"



3 Rear Elevation Garage
 A-2.02 1/4" = 1'-0"

ARCHITRAVE LLC
 ARCHITECTURE • PLUMBING • OBSERVATION

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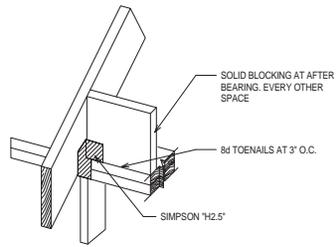
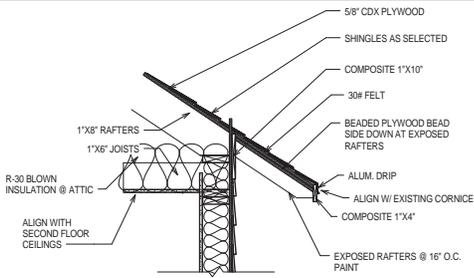
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 17 Gibbs Ct.

SHEET TITLE
 Elevations

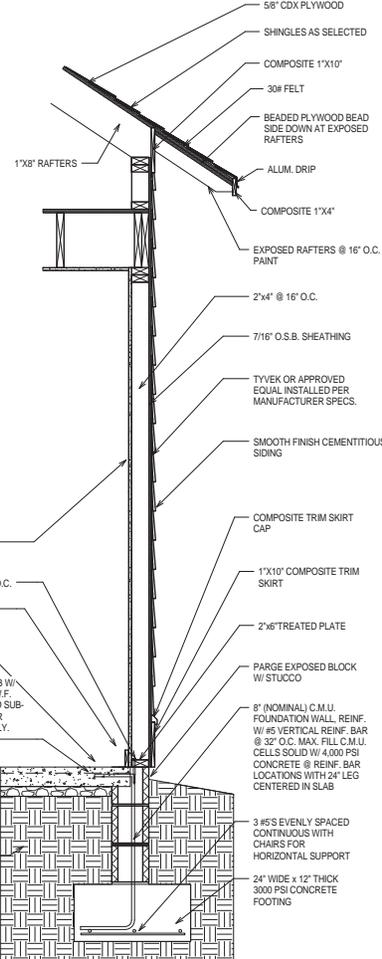
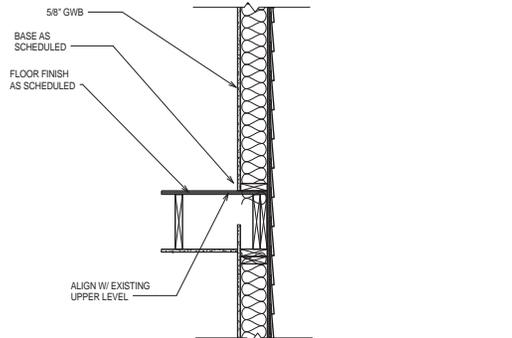
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A-2.02



5 Typical Joist Detail
A-3.01 1" = 1'-0"



2 Typical Garage Wall Section
A-3.02 1" = 1'-0"

FIRST FLOOR HEADER SCHEDULE - 2x4 EXTERIOR WALLS

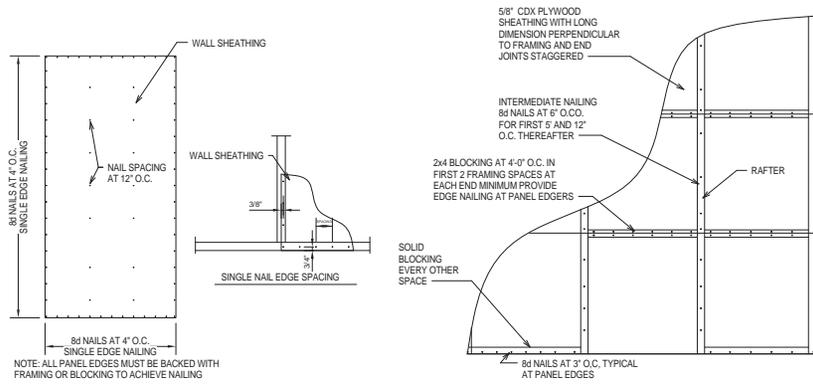
OPENING	HEADER STUDS	FULL LENGTH STUDS	HEADER
UP TO 3'-0" WIDE	2	2	2-2x8'S WITH 1/2" PLY
3'-0" TO 6'-0" WIDE	2	2	2-2x10'S WITH 1/2" PLY
6'-0" TO 9'-0" WIDE	3	3	2-2x12'S WITH 1/2" PLY

FIRST FLOOR HEADER SCHEDULE - 2x6 EXTERIOR WALLS

OPENING	HEADER STUDS	FULL LENGTH STUDS	HEADER
UP TO 3'-0" WIDE	2	2	3-2x8'S WITH 1/2" PLY
3'-0" TO 6'-0" WIDE	2	2	3-2x10'S WITH 1/2" PLY
6'-0" TO 9'-0" WIDE	3	3	3-2x12'S WITH 1/2" PLY

SECOND FLOOR HEADER SCHEDULE - 2x6 EXTERIOR WALLS

OPENING	HEADER STUDS	FULL LENGTH STUDS	HEADER
UP TO 3'-0" WIDE	2	2	3-2x10'S WITH 1/2" PLY
3'-0" TO 6'-0" WIDE	2	2	3-2x12'S WITH 1/2" PLY
6'-0" TO 9'-0" WIDE	3	3	5.25x11.25 LVL WITH 1/4" PLY



9 Exterior Wall Sheathing
A-3.03 3/4" = 1'-0"

4 Typical Plywood Nailing
A-3.04 1" = 1'-0"

1 Typical Wall Section @ New Addition
A-3.01 1" = 1'-0"

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PROJECT
17 Gibbs Ct.
SHEET TITLE
Wall Sections

SHEET ISSUED	DATE	DESCRIPTION
REVIEWED	04/29/15	

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A-3.01

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PROJECT
 17 Gibbs Ct.
 SHEET TITLE
 SCHEDULES

04/29/15
 SHEET ISSUED
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 DESCRIPTION

2/28/2015 11:53 A.D. 17 Gibbs Ct. 17 Gibbs Ct. 17
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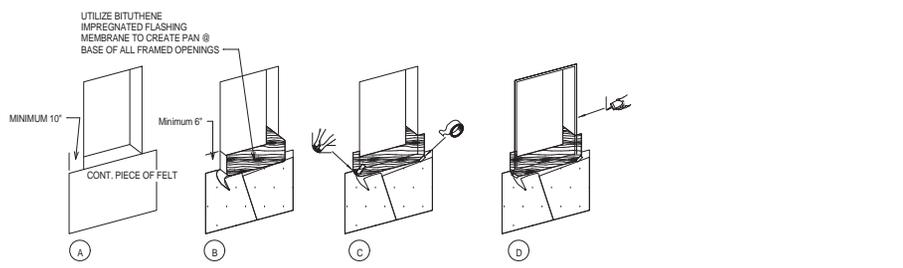
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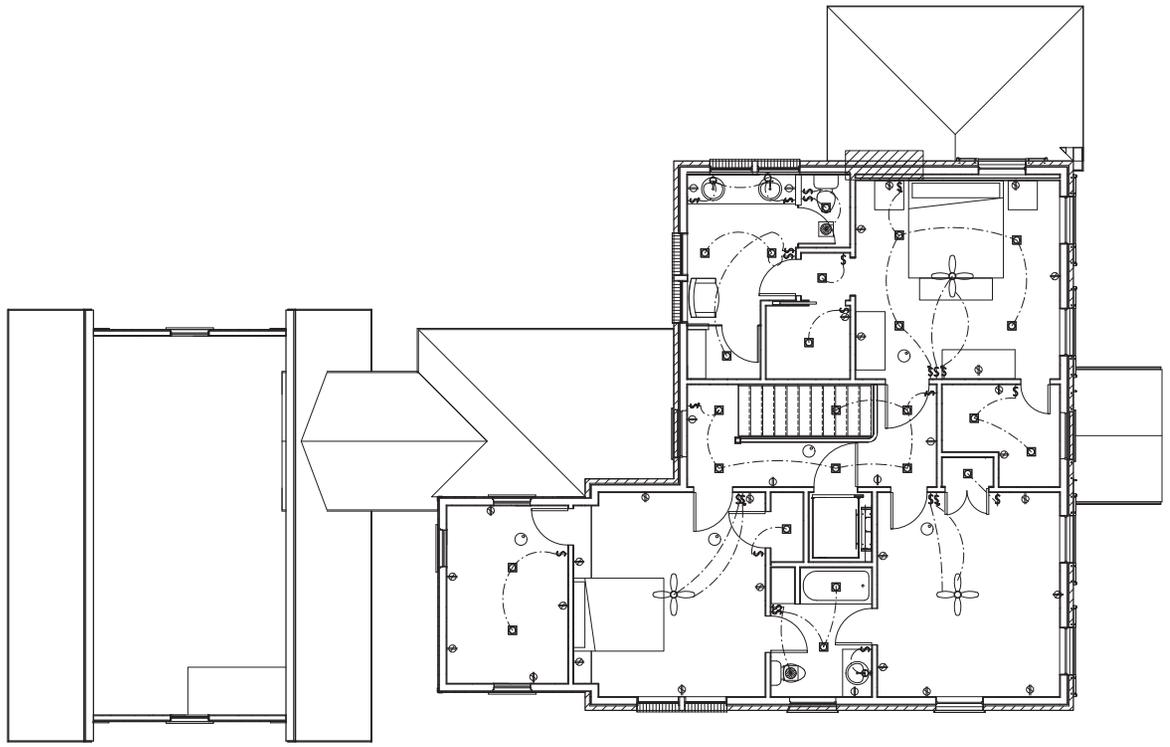
Door Schedule					
NO.	Description	DOOR			REMARKS
		W	H	T	
Garage Elevation					
105A	CLAD 1/2 GLASS WOOD DOOR W/ SINGLE PANEL BELOW	3'-0"	7'-0"	0'-2"	
105B	PAIR (5 PANEL S.C. DOOR UNITS)	3'-0"	8'-0"	0'-1 3/4"	
G100A	CLAD 1/2 GLASS WOOD DOOR W/ SINGLE PANEL BELOW	3'-0"	7'-0"	0'-2"	
G100B	CARRIAGE STYLE OVERHEAD GARAGE DOOR	9'-0"	7'-0"		
G100C	CARRIAGE STYLE OVERHEAD GARAGE DOOR	9'-0"	7'-0"		
Main Level					
100A	EXISTING FRONT DOOR UNIT	3'-4"	8'-0"		SCRAPE, REPAIR, & REPAINT
100B	NEW CASED OPENING	2'-10"	6'-8"		
101A	NEW CASED OPENING	7'-0"	7'-0"		
101B	5 PANEL S.C. POCKET DOOR UNIT	3'-6"	7'-0"	0'-1 3/4"	
102A	EXISTING WOOD DOOR UNIT	3'-0"	6'-8"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
102B	EXISTING FRENCH DOOR UNIT	3'-0"	7'-0"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
103A	NEW CASED OPENING	7'-0"	7'-0"		
103B	NEW CASED OPENING	6'-0"	7'-0"		
104A	5 PANEL S.C. DOOR UNIT	3'-0"	7'-0"	0'-1 3/4"	
104B	PAIR (5 PANEL S.C. DOOR UNITS)	3'-0"	7'-0"	0'-1 3/4"	
104C	CUSTOM UNDERSTAIR ACCESS DOOR	2'-4"	4'-0"	0'-1 3/4"	
106A	5 PANEL S.C. DOOR UNIT	2'-8"	7'-0"	0'-1 3/4"	
107A	5 PANEL S.C. POCKET DOOR UNIT	2'-8"	7'-0"	0'-1 3/4"	
Upper Level Plan					
200A	5 PANEL S.C. DOOR UNIT	3'-0"	7'-0"	0'-1 3/4"	
201A	EXISTING 5 PANEL DOOR	3'-0"	7'-0"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
201B	NEW CASED OPENING	2'-8"	7'-0"		
202A	5 PANEL S.C. DOOR UNIT	2'-6"	7'-0"	0'-1 3/4"	
202B	FRAMELESS GLASS SHOWER DOOR ASSEMBLY	2'-6"	6'-8"	0'-0 3/4"	
202C	FROSTED GLASS DOOR	2'-6"	7'-0"	0'-0 3/4"	
203A	5 PANEL S.C. POCKET DOOR UNIT	2'-6"	7'-0"	0'-1 3/4"	
204A	EXISTING 5 PANEL DOOR	2'-0"	7'-0"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
205A	EXISTING 5 PANEL DOOR	2'-6"	7'-0"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
205B	PAIR (5 PANEL S.C. DOOR UNITS)	3'-0"	7'-0"	0'-1 3/4"	
206A	EXISTING 5 PANEL DOOR	2'-6"	7'-0"	0'-1 3/4"	SCRAPE, REPAIR, & REPAINT
206B	5 PANEL S.C. DOOR UNIT	2'-6"	7'-0"	0'-1 3/4"	
207A	5 PANEL S.C. DOOR UNIT	2'-8"	7'-0"	0'-1 3/4"	
207B	5 PANEL S.C. DOOR UNIT	2'-6"	7'-0"	0'-1 3/4"	
208A	5 PANEL S.C. DOOR UNIT	2'-6"	7'-0"	0'-1 3/4"	

Room Schedule					
Room No.	Name	Floor Finish	Wall Finish	Height	Comments
Garage Elevation					
G-100	Garage	BROOM FINISHED CONCRETE	PAINT / GWB	8'-6"	
Main Level					
100	Foyer	WOOD	PAINT / GWB	9'-0"	
101	Living Room	WOOD	PAINT / GWB	9'-0"	
102	Sun Room	TILE	PAINT / GWB	9'-0"	
103	Dining Room	WOOD	PAINT / GWB	9'-0"	
104	Kitchen	WOOD	PAINT / GWB	9'-0"	
105	Mud Room	TILE	PAINT / GWB	9'-0"	
106	Powder	WOOD	PAINT / GWB	9'-0"	
107	Laundry	TILE	PAINT / GWB	9'-0"	
Garage Attic					
G-200	Unfinished Attic	UNFINISHED PLYWOOD	UNFINISHED	6'-0"	
Upper Level Plan					
200	Stair Hall	WOOD	PAINT / GWB	9'-0"	
201	Master Bedroom	WOOD	PAINT / GWB	9'-0"	
202	Master Bath	TILE	PAINT / GWB	9'-0"	
203	Closet	WOOD	PAINT / GWB	9'-0"	
204	Closet	WOOD	PAINT / GWB	9'-0"	
205	Bedroom	WOOD	PAINT / GWB	9'-0"	
206	Bath	TILE	PAINT / GWB	9'-0"	
207	Bedroom	WOOD	PAINT / GWB	9'-0"	
208	Storage	WOOD	PAINT / GWB	9'-0"	
Attic Level					
300	Attic	UNFINISHED PLYWOOD	UNFINISHED	4'-6"	

Window Schedule					
Mark	Description	Width	Height	Comments	
Main Level					
101-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-6"		
101-2	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	3'-0"	5'-6"		
101-3	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-6"		
102-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-4"	5'-6"		
102-2	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-4"	5'-6"		
102-3	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-4"	5'-6"		
103-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-6"		
103-2	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-6"		
104-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	4'-8"		
105-1	CLAD WOOD WINDOW UNIT W/ 6/1 SDL TO MATCH EXISTING UNITS	3'-0"	4'-6"		
106-1	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
107-1	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
Garage Attic					
G-200-1	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
G-200-2	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
Upper Level Plan					
12	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
13	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
200-1	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	4'-0"		
201-1	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
201-2	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
201-3	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
202-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-0"		
202-2	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-0"		
204-1	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	4'-0"		
205-1	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
205-2	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
205-3	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	5'-0"		
206-1	EXISTING WOOD SINGLE GLAZED 6/1 WINDOW UNIT	6'-4"	4'-0"		
207-1	EXISTING PAIR WOOD 6/1 WINDOW UNIT	6'-2"	5'-0"		
208-1	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
208-2	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		
208-3	CLAD SDL 6 LITE CASEMENT UNIT TO MATCH UPPER SASH OF EXISTING WINDOW UNITS	2'-8"	2'-6"		

- GLAZING NOTE: FOLLOW ALL PROVISIONS OF SECTION R308 OF THE 2012 IRC. PROVIDE SAFETY GLAZING COMPLIANT WITH IRC 2012 TABLE 308.3 FOR:
- GLAZING IN SWINGING DOORS
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND BIFOLD DOOR ASSEMBLIES
 - GLAZING IN STORM DOORS
 - GLAZING IN ALL UNFRAMED SWINGING DOORS
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, AND TUBS AND ALL GLAZING IN WALLS ENCLOSING THESE ELEMENTS WHERE THE BOTTOM EXPOSED EDGE IS 60" OR LESS ABOVE THE STANDING OR WALKING SURFACE
 - GLAZING IN A FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS.
 - INDIVIDUAL PANEL LARGER THAN 9 SQUARE FEET
 - BOTTOM EDGE LESS THAN 18" ABOVE FLOOR
 - TOP EDGE MORE THAN 36" ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - ALL GLAZING IN RAILINGS
 - GLAZING IN WALLS OR FENCES ENCLOSING POOLS, SPAS, TUBS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR
 - GLAZING ADJACENT TO STAIRS, LANDINGS, AND RAMPS WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE ADJACENT WALKING SURFACE
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.





ELECTRICAL LEGEND	
	DUPLEX
	SPLIT WIRED DUPLEX
	SPCL OR 220 V OUTLET
	EXT WATERPROOF OUTLET
	FLOOR MOUNTED OUTLET
	ARC FAULT OUTLET
NOTE: GFCI OUTLETS PER CODE	
	ROCKER ARM SWITCH
	3WAY OR 4WAY
	SPECIAL SWITCH
	DIMMER WITH ON/OFF
	SURFACE OR CEILING MOUNT
	WALL MOUNTED LIGHT FIXTURE
	RECESSED STAIR LIGHT
	RECESSED CAN LIGHT
	UNDER CABINET LIGHTING
	FAN BOX
	TRACK LIGHTING
	VENTILATION FAN
	SMOKE & CO2 DETECTOR
	FUSE BOX
	METER BOX
	MULTIMEDIA CONNECTION
	FLOURESCENT LIGHT FIXTURE
	CEILING FAN

1 Proposed Upper Level Electrical
E-1.02 1/4" = 1'-0"

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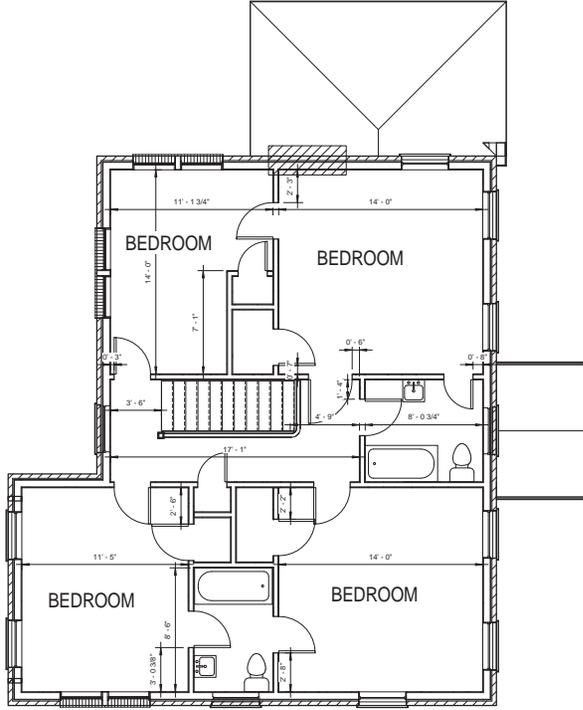
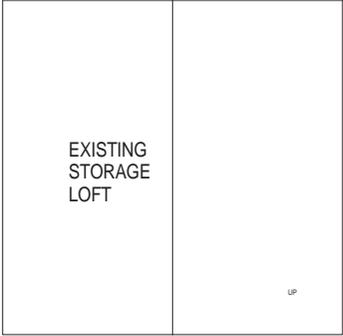
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PROJECT
17 Gibbs Ct.
SHEET TITLE
Upper Level Electrical

SHEET ISSUED	DATE
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E-1.02



1 Existing Upper Level Plan
 X-1.02 1/4" = 1'-0"

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PROJECT: 17 Gibbs Ct.
 SHEET TITLE: Existing Upper Level Plan

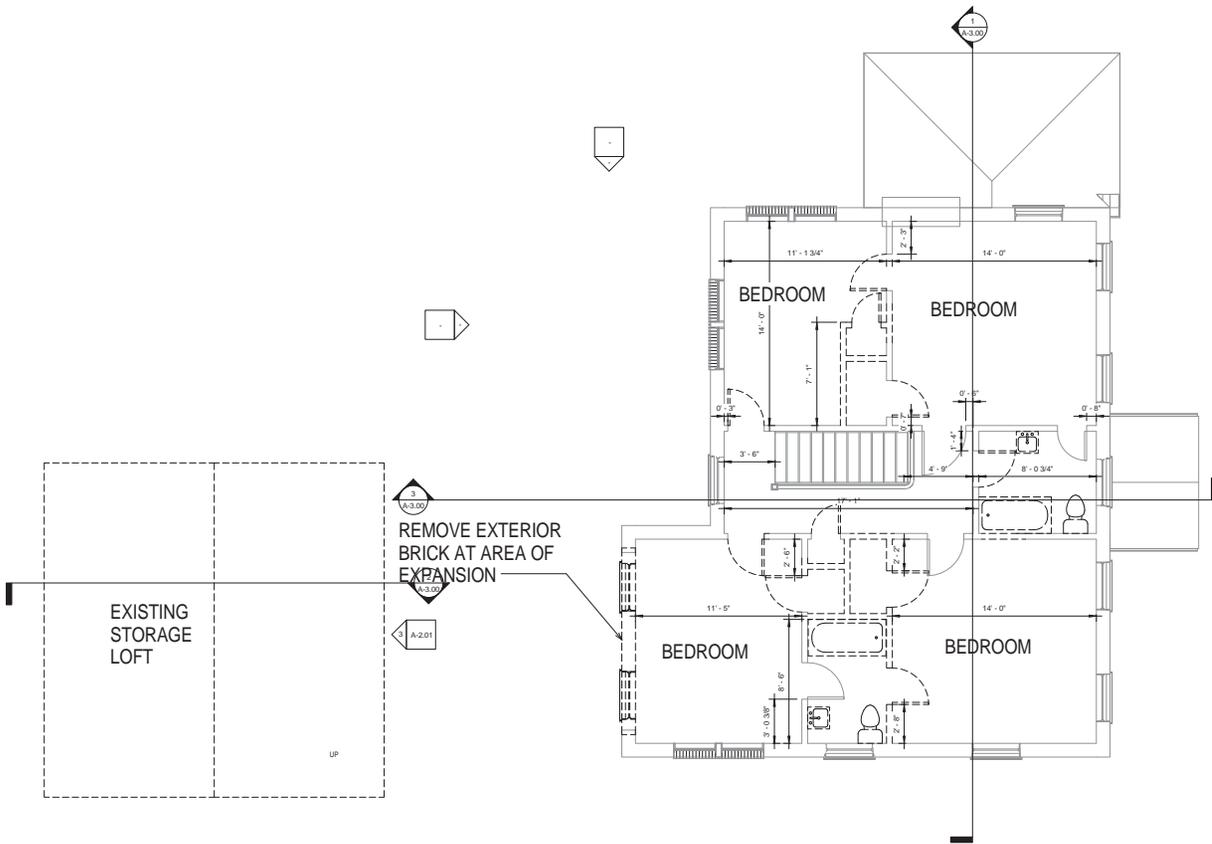
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1 Upper Level Demolition Plan
 1/4" = 1'-0"

PROJECT	17 Gibbs Ct.
SHEET TITLE	Upper Level Demolition Plan

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2-DIMENSIONAL DESIGN AND OBSERVATION
 17 Gibbs Ct. IA

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X-1.02d



2 Existing Street Corner View
X=2.00



1 Existing Gregg Street View
X=2.00

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PROJECT	17 Gibbs Ct.
SHEET TITLE	Existing Mass Studies

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17 Gibbs Ct. 14

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1 Existing Gibbs Ct. Elevation
 X-2.01 1/4" = 1'-0"



2 Existing Left Side Elevation
 X-2.01 1/4" = 1'-0"

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PROJECT
 17 Gibbs Ct.

SHEET TITLE
 Elevations

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