
DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case #3

ADDRESS: 17 Gibbes Court

APPLICANT: Dale Marshall, AIA

TAX MAP REFERENCE: TMS#11405-16-05

USE OF PROPERTY: Residential

REVIEW DISTRICT: University Hill Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for exterior changes/new construction.

FINDINGS/COMMENTS:

The brick two-story residence located at 17 Gibbes Court was built ca. 1928 and is a contributing structure in the University Hill Architectural Conservation District as well as the University Neighborhood National Register Historic District. The house features a hipped roof with two exterior end brick chimneys, 6/1 windows with decorative shutters, and a centrally located front portico supported by smooth round columns.

The applicant's proposal includes rehabilitating the existing house by repairing all existing historic architectural features including windows, doors and columns. A non-historic aluminum cornice system that is currently covering the exposed rafter tails in the eaves will be removed. The applicant is also proposing a 452 square foot addition on the rear, a new brick garden wall, and a new two-bay garage. An existing 1-story two-bay garage will have to be demolished in order for the new garage to be built. The existing garage has water and termite damage and is not structurally stable.

The proposed addition will consist of a 2-story section on the left rear corner of the house and a 1-story section in the center with a short breezeway connecting to the garage. There are currently two large trees that will minimize the visibility of the addition from the public right-of-way, and the property owner intends to preserve the screening of the addition as much as they can. The addition will feature smooth horizontal cement fiberboard siding and will be inset 8"-12" to differentiate the new portion from the existing brick house. The garage will also feature smooth horizontal cement fiberboard to match the size, width and reveal of the wood siding used on the existing garage.

Although the windows in the house will be repaired, the existing decorative shutters will be replaced with new wood panel shutters with operable hardware. The windows in the addition and the garage will be wood or aluminum-clad windows with muntins to match the original wood windows in the house.

PERTINENT SECTIONS FROM THE GUIDELINES

SECTION VII: ADDITIONS

A. Principles

It is often necessary to increase the space of a building in order for it to continue to adapt to the owner's needs. Over time, a family's space needs change and, in order to accommodate these needs, a building may need to be enlarged. While these additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

Additions should not significantly alter original distinguishing qualities of buildings such as the basic form, materials, fenestration, and stylistic elements. Additions visible from the street should be constructed so that the essential form and integrity of the original building will be readily comprehended. Preferably, additions should be attached to the rear or least conspicuous side of the building. They should be compatible with yet distinct from the original portions of building and should result in minimal aesthetic damage to it. Character defining features of the existing building should not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. Additions should be attached to the rear or least conspicuous side of the structure. They should be constructed so that if visible from the street, the essential form and integrity of the building will be unimpaired.

B. Guidelines

1. *Site additions so that they do not detract from or obstruct important architectural features of the existing building or those around it, especially the principal façade.*

The house is located on a corner lot, which means the majority of the proposed rear addition will be visible from the public right-of-way. Two large trees, if kept, will minimize the visibility of the addition, as will the proposed 4'8" high brick garden wall. Although the addition is cement fiberboard siding and not brick veneer, it utilizes architectural elements found throughout the exterior of the building such as the eave and cornice detailing. Therefore, the proposed design does not detract from or obstruct important architectural features. The principal façade of the house will not be affected. The 2-story portion of the addition on the left rear corner will be inset 8"-12" to clearly distinguish it from the original portion of the house.

2. *Additions should be compatible with the original structure in materials, style and detailing.*

Both sections of the addition will feature horizontal cement fiberboard siding with cornice detailing to match the original portion of the house. The roofing material for the new addition will be architectural shingles and will match the existing shingles in style, color and texture. No plastic, vinyl, or PVC products will be used.

3. *The size and scale of the new addition should be in proportion to the existing portion of the building and clearly subordinate to it, so that the integrity of the original structure is not compromised.*

The essential form and integrity of the house will not be affected by the proposed rear addition. The size and scale of the addition is clearly subordinate to the original portion of the house.

4. *Additions are also subject to the guidelines for new construction.*

See below

SECTION VI: NEW CONSTRUCTION

A. Principles

The character of the UACD is determined by its historical and stately residences. There are relatively few non-contributing structures and there are very few vacant lots available for new construction. Each new or replacement structure can affect the character of the neighborhood positively or negatively and therefore must be undertaken with great sensitivity to the existing buildings on a block or street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation, spacing and ground elevation relative to the street and surrounding development. New construction should be sympathetic to the architecture of an earlier period, and must take into account significant themes, such as height, materials, roof form, massing, set-back, and the rhythm of openings to insure that any new building blends with its context.

B. Guidelines

1. **Height:** The characteristic height in UACD is two stories. New buildings must be constructed to a height compatible with the height of surrounding buildings.

Addition: The addition features a 2-story portion on the left rear corner and a 1-story portion centered on the rear of the house. The roof for the 2-story portion is below the original roofline.

Garage: The new two-bay garage is 1-story with a loft and is just over 17' high. It is approximately 3' taller than the existing garage, and features a slightly steeper pitched roof to accommodate a storage loft.

2. **Size & Scale:** The size and scale of a new building shall be visually compatible with surrounding buildings.

Addition: The size and scale of the addition is clearly subordinate to the original portion of the house.

Garage: The footprint of the existing garage is slightly larger than 20'x20'. The new garage will be two feet wider and approximately 6 ½ feet deeper.

3. **Massing:** The mass of a new building (the relationship of solid components (e.g., walls, columns, etc.) to open spaces (e.g., windows, doors, arches)) shall be arranged so that it is compatible with existing buildings on the block or street.

Addition: The mass of the addition is compatible with the house and consistent with similar additions on other houses in the district.

Garage: The mass of the new garage is consistent with the building it will replace.

5. **Setback:** New building shall be located on the site so that the distance of the structure from the right-of-way is similar to other structures on the block; new structures may be set back 5' from the existing average of the front yard setbacks on the structure's block and immediately adjacent blocks.

Addition: The addition will meet all setback requirements.

Garage: The new garage will meet all setback requirements.

6. **Sense of Entry:** The main entrance and the associated architectural elements (porches, steps, etc.) shall be designed so that they are compatible with surrounding

structures. The main entrance shall be constructed with covered porches, porticoes, or other architectural forms that are found on historical structures on the block or street. Façades shall have a strong sense of entry.

N/A

- 6. Rhythm of Openings:** *New buildings shall be constructed so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) is visually compatible with buildings on the block or street, with a similar ratio of height to width in the bays of the façade. Incompatible façade patterns that upset the rhythm of openings established in surrounding structures shall not be allowed.*

Addition: The rhythm of openings on the addition is consistent with the existing fenestration pattern on the original portion of the house.

Garage: The new garage will feature two bays with carriage style wood or aluminum doors. One fixed window will be installed in each upper gable.

- 7. Roof Shape:** *Roof shapes, pitches, and materials shall be visually compatible with those of surrounding buildings. Most structures in the UACD have pitched roofs, with gable, hip or a combination thereof as the predominant style. Roof shapes or pitches not found in the district should not be used.*

The proposed roof shape for both portions of the addition will be a hip to match the house. Shingles will be used on the addition, which will promote visual consistency with the house.

- 10. Materials, Texture, Details:** *Materials, textures, and architectural features shall be visually compatible with the scale, placement, profile, and relief of details on surrounding structures on the block or street. The most commonly found exterior cladding in the neighborhood is wood siding, though there are a number of structures made of solid brick. The DDRC may evaluate other materials based upon their compatibility within the district, the block on which the structure sits, and the materials found therein. Horizontal siding must harmonize with the board size, width of exposure, length, and trim detail such as corner boards on adjacent structures. Plastic, vinyl, or aluminum siding for new construction is not permitted. Indeed, since vinyl, plastic, and aluminum are not acceptable replacement materials for any features of existing structures, they are not acceptable materials for any part of new construction with the exception of well-profiled aluminum-clad wood windows.*

Entire house: All structural, architectural, and trim components for the proposed addition and garage will be constructed of wood or smooth cement fiberboard. All painted surfaces will use traditional paint. No ceramic coating systems or liquid sidings of any type will be used. Plastic, vinyl or PVC products are not permitted for any architectural feature.

Chimneys: The elevations only show one chimney; however, the house has two brick chimneys. Staff recommends retaining, repairing and reflashings these chimneys as necessary.

Windows: The applicant will repair the existing wood windows on the original portion of the house and may install storm windows for energy efficiency. The new

windows in the addition and the garage will be wood or aluminum-clad with exterior muntins to match the existing historic windows.

Walls: The walls of the addition and the garage shall be horizontal cement fiberboard siding. The applicant did not specify the reveal of the siding, but staff would recommend a reveal consistent with historic wood siding in the district.

Shutters: The applicant is proposing wood panel shutters for the windows on the primary façade. Staff recommends shutters with hardware (hinges, shutter dogs, etc.) that makes them functional or appear to be functional. Shutters should be sized appropriately to fit the windows and be mounted in the correct locations.

Door: The new rear door in the addition will be a half-glass design constructed of wood or high-quality insulated fiberglass.

Foundation: The elevations do not specify the material for the foundations of the addition or the garage. Staff recommends a brick foundation to match the existing historic brickwork, and a skirt board to be consistent with other wood sided buildings in the district.

Fencing: A 4'-8" high brick garden wall will be used to create a courtyard on the rear portion of the property between the house and the garage. The new brick shall duplicate the size, color, mortar joint width, composition and tooling of the historic brickwork.

Driveway: No plans to revise the existing driveway have been submitted.

STAFF RECOMMENDATIONS:

Staff finds that the proposal complies with the pertinent sections of the guidelines in Section VII – Additions and Section VI – New Construction. ***Staff recommends granting a Certificate of Design Approval for 17 Gibbes Court with the following conditions:***

- Both chimneys shall be retained, repaired and reflashed as necessary
- The exposed rafter tails in the eaves shall be repaired after the non-historic aluminum cornice system is removed
- The historic wood windows in the original portion of the house shall be retained and repaired
- The new windows in the addition and the garage shall be wood or aluminum-clad with exterior muntins to match the existing historic windows.
- The addition and garage foundations shall be brick to match the historic brickwork on the original portion of the house.
- All details deferred to staff

17 Gibbes Court – University Hill Architectural Conservation District



17 Gibbes Court – Façade – Existing Conditions



17 Gibbes Court – Façade – 1993 photo showing exposed rafters

17 Gibbes Court – University Hill Architectural Conservation District



Views showing current visibility of the area for the proposed addition



17 Gibbes Court – University Hill Architectural Conservation District



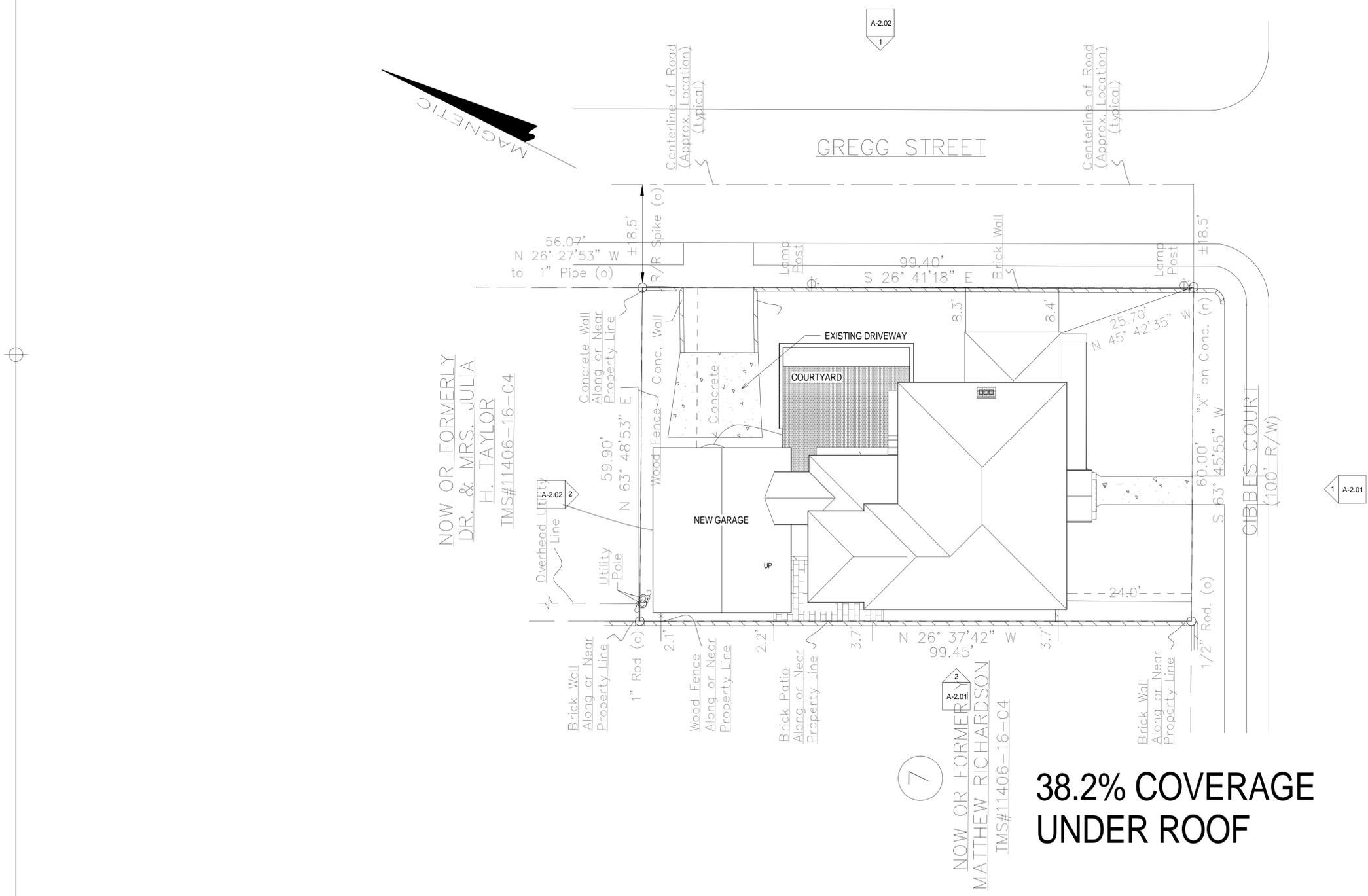
Views showing interior damage and structural issues of existing garage



17 Gibbes Court

20, NOVEMBER 2014 - REVIEW DOCUMENTS

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DR. & MRS. JULIA
H. TAYLOR
IMS#11406-16-04

NOW OR FORMERLY
MATTHEW RICHARDSON
IMS#11406-16-04

**38.2% COVERAGE
UNDER ROOF**

1 Proposed Site Level
A-1.00 1" = 10'-0"

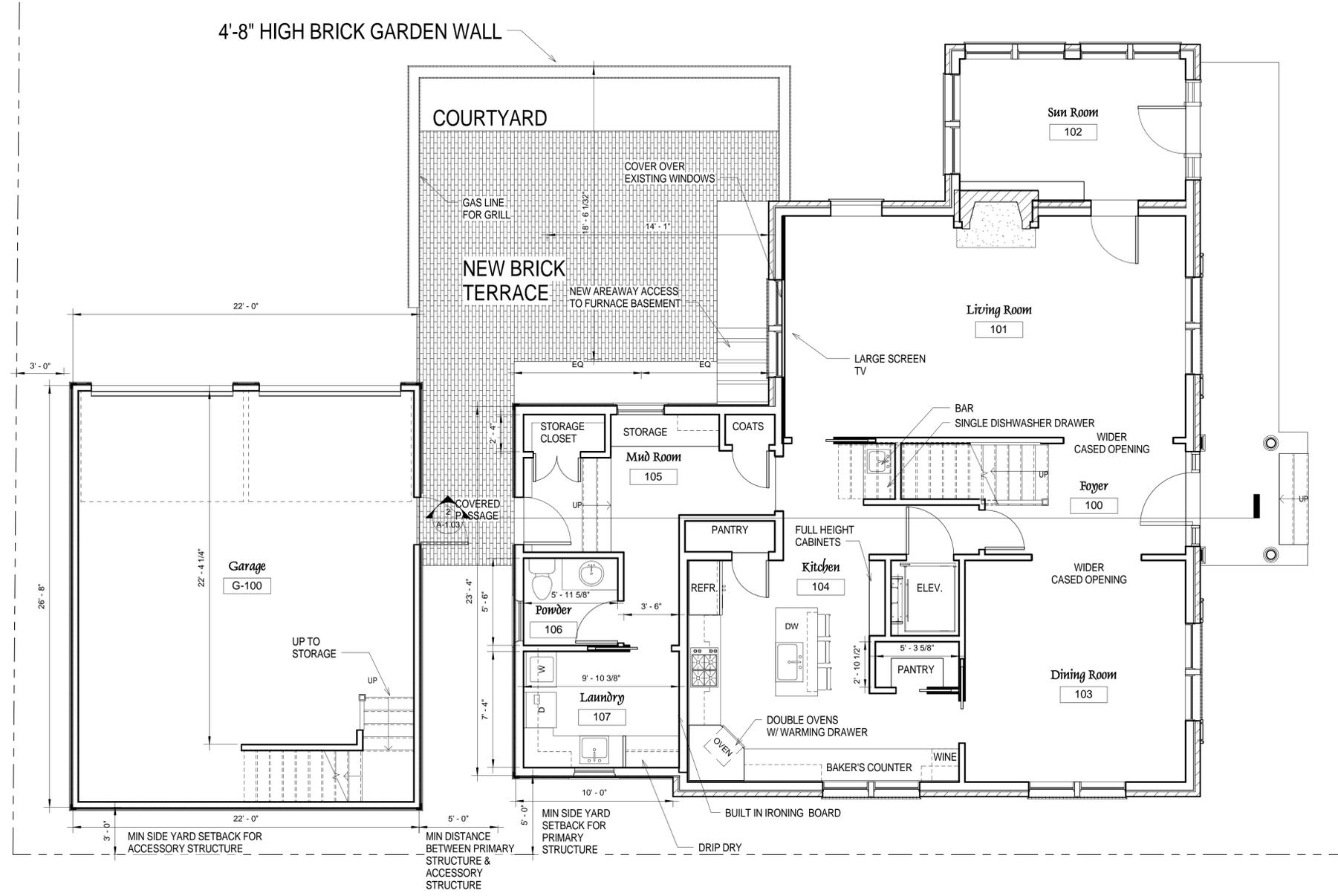
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1 Proposed Main Level
A-1.01 1/4" = 1'-0"

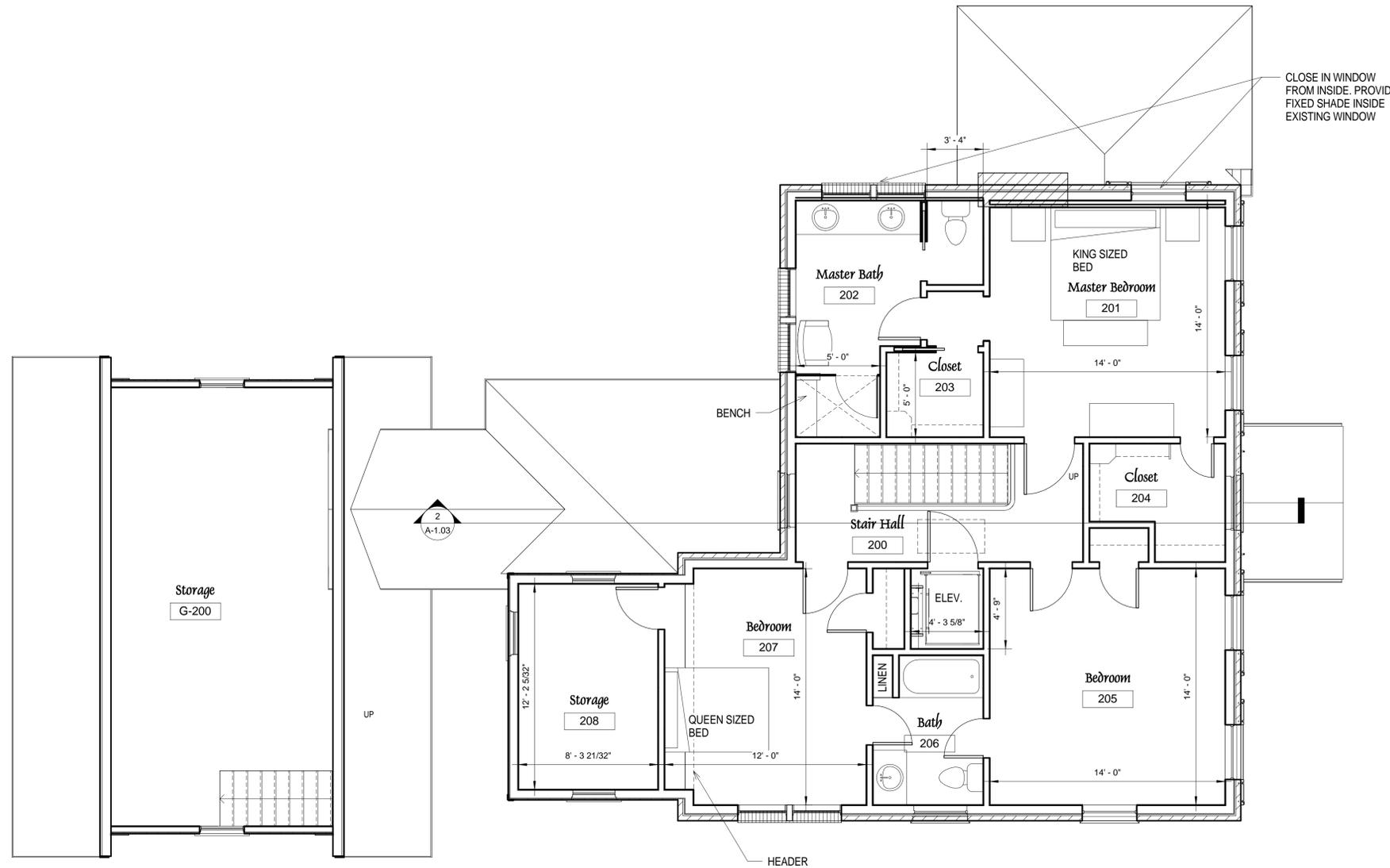
1,582 HEATED SF

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SHEET TITLE	Proposed Main Level

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1,265 HEATED SF

1 Proposed Upper Level Plan
A-1.02 1/4" = 1'-0"

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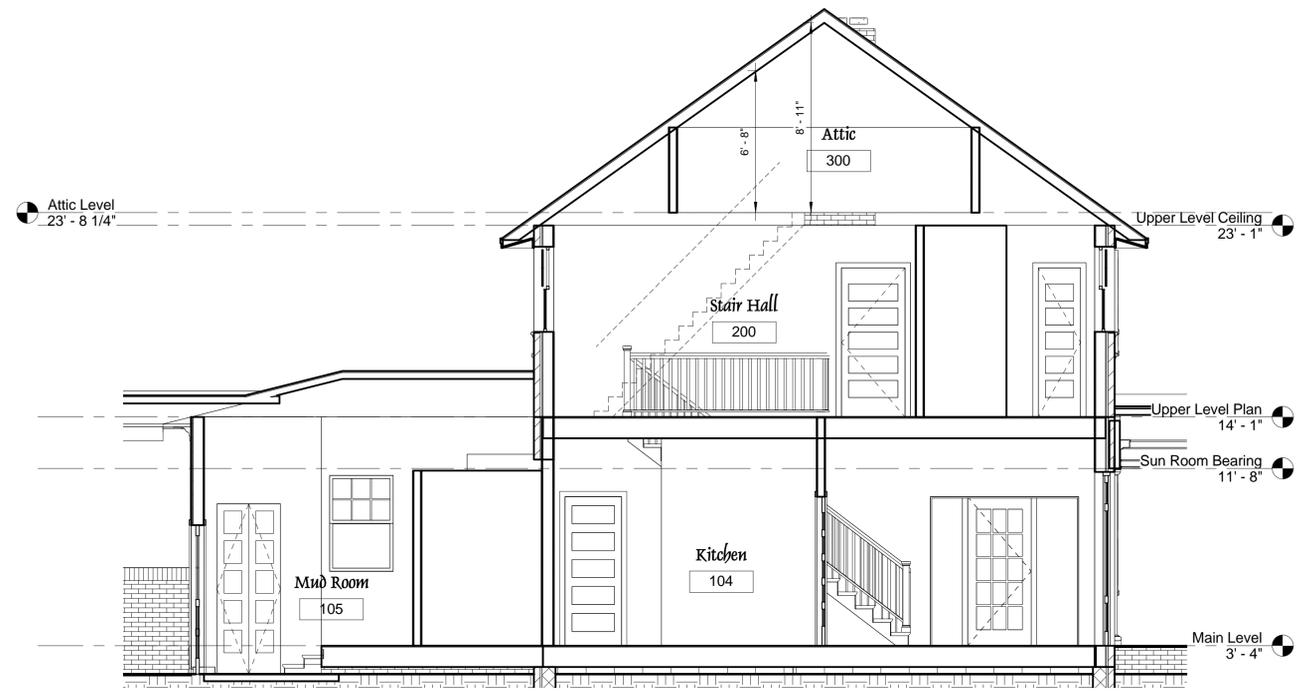
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SHEET TITLE	Proposed Upper Level

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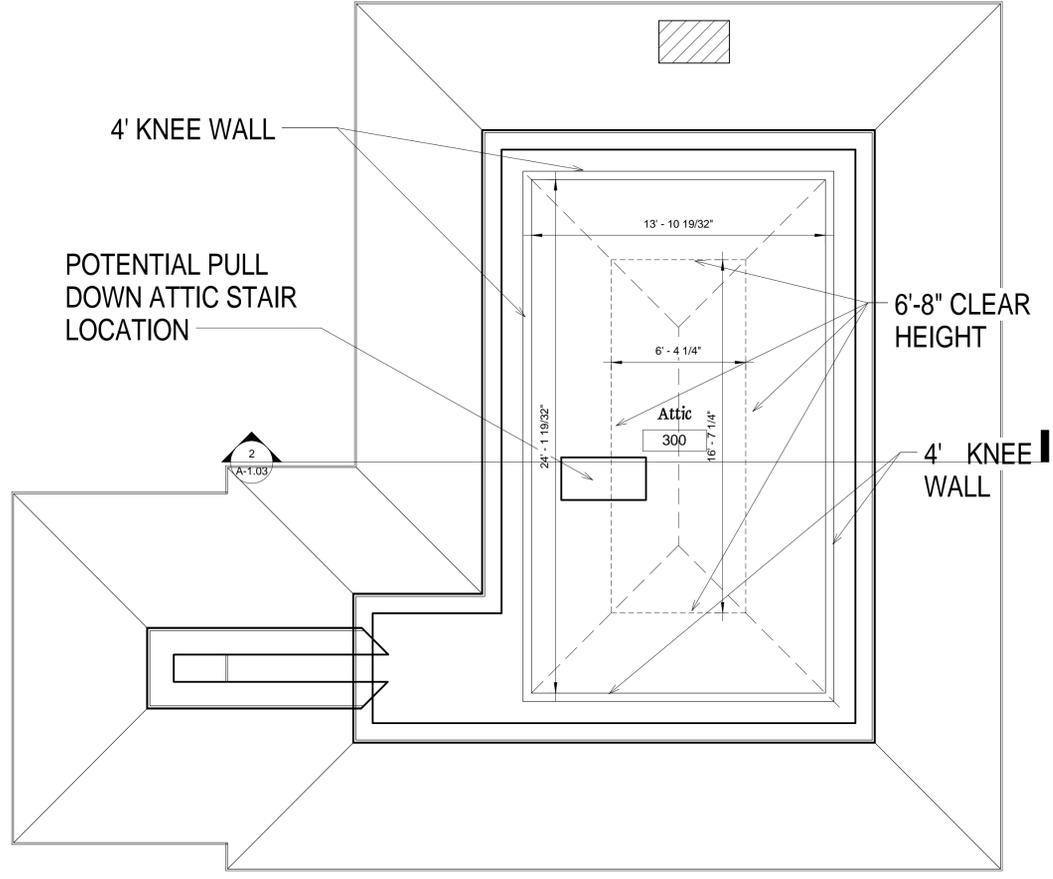
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2 Section 2
 A-1.03 1/4" = 1'-0"



1 Proposed Attic Level
 A-1.03 1/4" = 1'-0"

PROJECT
 17 Gibbs Ct.
 SHEET TITLE
 Attic Plan

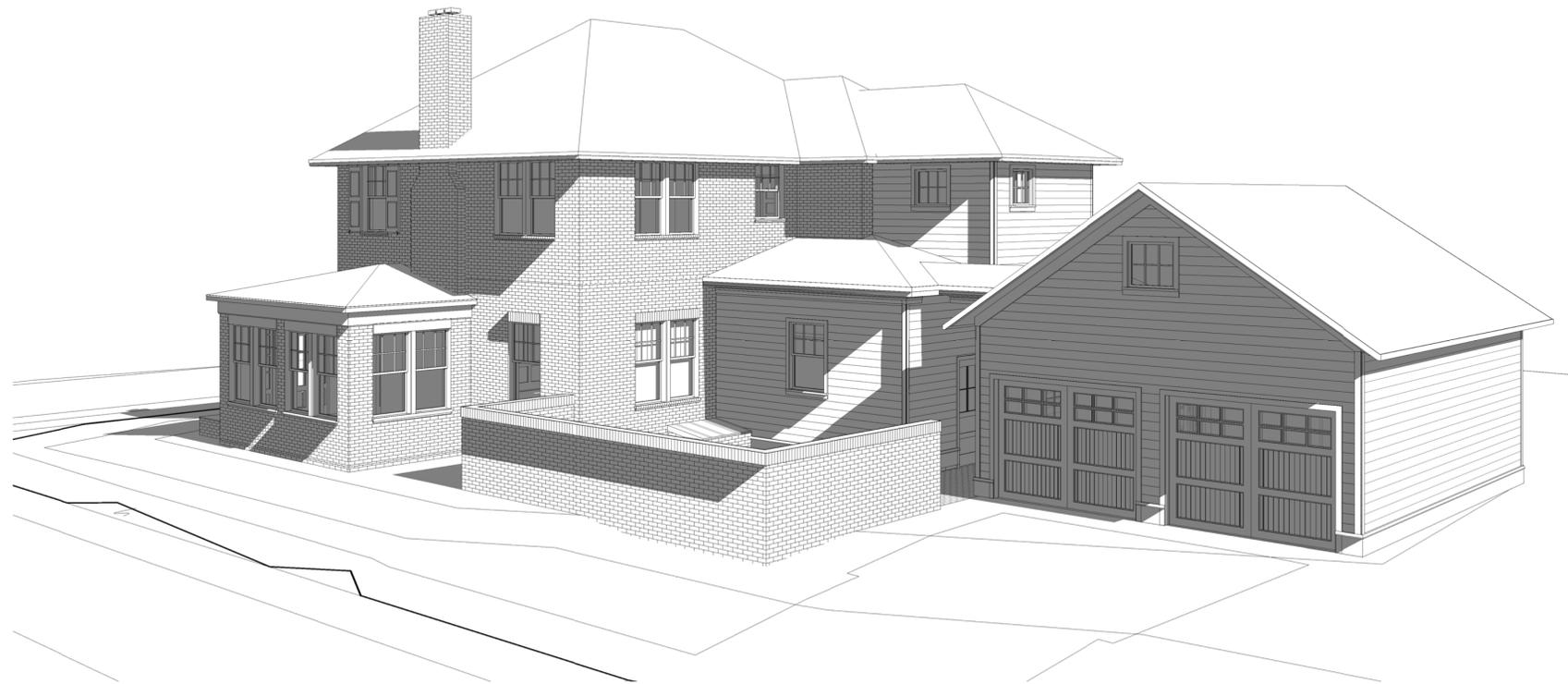
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2 Proposed Street Corner View
A-2.00



1 Proposed Gregg Street View
A-2.00

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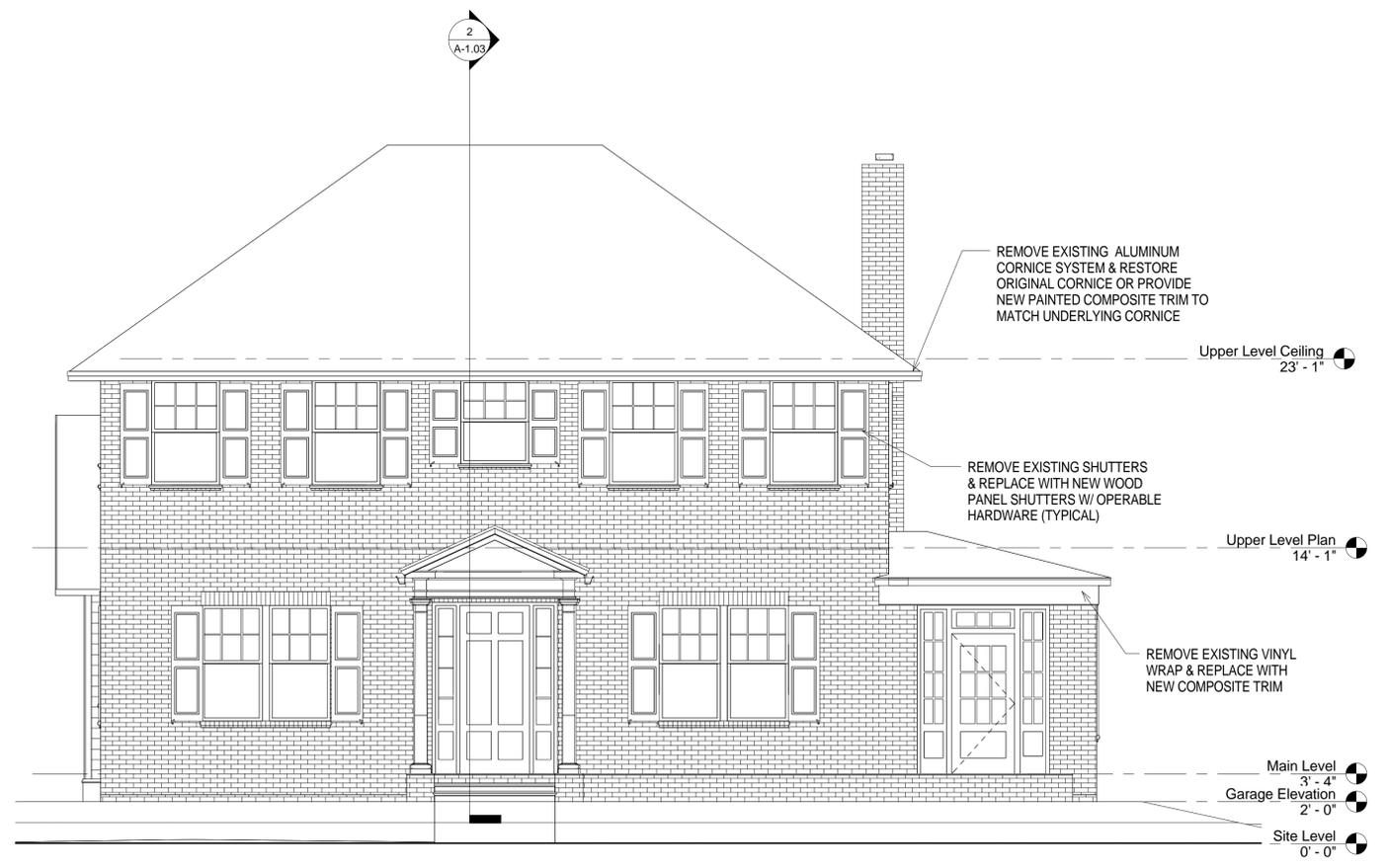
PROJECT
17 Gibbs Ct.
 SHEET TITLE
Elevations

SHEET ISSUED	REVISION	DESCRIPTION
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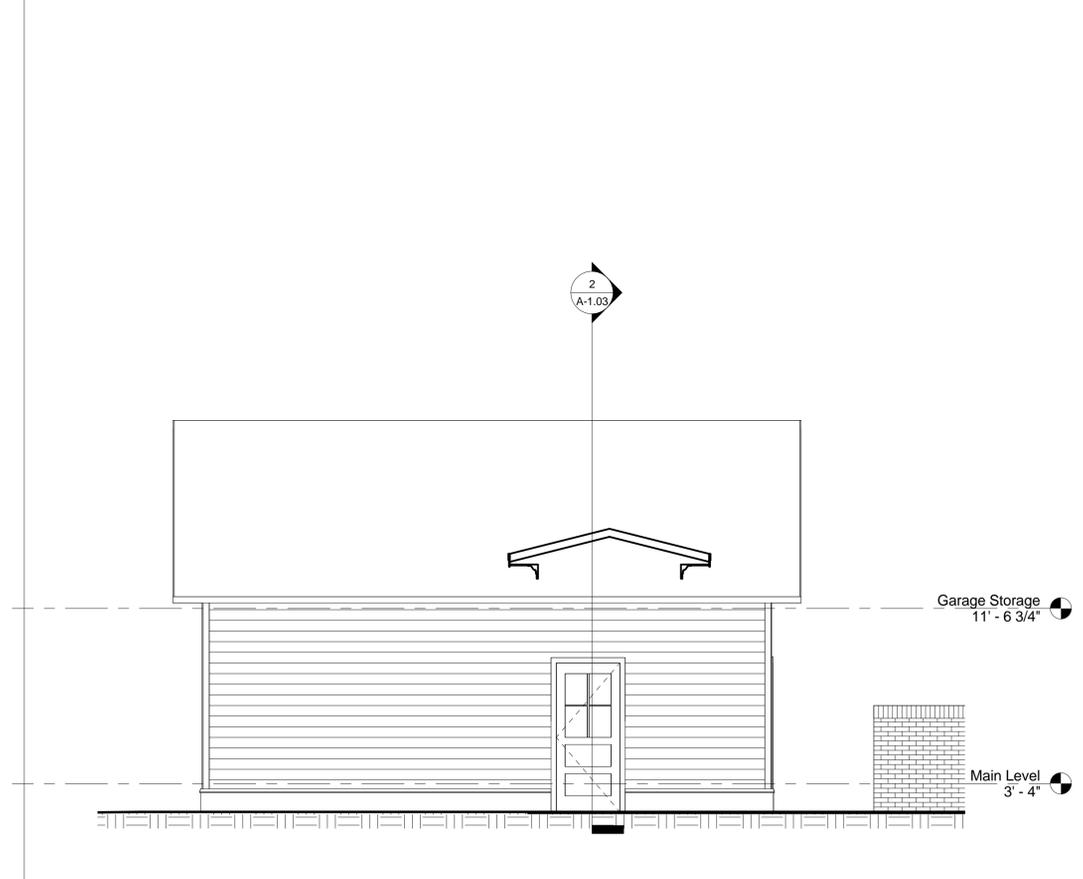
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1
 A-2.01 1/4" = 1'-0"
Proposed Gibbes Ct. Elevation



3
 A-2.01 1/4" = 1'-0"
House Side Elevation of Garage



2
 A-2.01 1/4" = 1'-0"
Proposed Left Side Elevation

REMOVE EXISTING ALUMINUM CORNICE SYSTEM & RESTORE ORIGINAL CORNICE OR PROVIDE NEW PAINTED COMPOSITE TRIM TO MATCH UNDERLYING CORNICE

Attic Level
23' - 8 1/4"

NEW PAINTED COMPOSITE TRIM BOARDS

CEMENTITIOUS LAP SIDING
SMOOTH SURFACE
PAINTED COMPOSITE TRIM
NEW 4-8" HIGH
BRICK GARDEN WALL

Upper Level Ceiling
23' - 1"

Upper Level Plan
14' - 1"

Garage Storage
11' - 6 3/4"

Main Level
3' - 4"

Garage Elevation
2' - 0"

Site Level
0' - 0"

OVERHEAD CARRIAGE STYLE DOOR

1 Proposed Gregg Street Elevation

A-2.02 1/4" = 1'-0"

2
A-1.03

THESE WINDOWS TO BE
BLOCKED OUT ON INTERIOR

Attic Level
23' - 8 1/4"

NEW GARDEN WALL

Upper Level Plan
14' - 1"

Garage Storage
11' - 6 3/4"

Main Level
3' - 4"

Site Level
0' - 0"

2
A-1.03

Garage Storage
11' - 6 3/4"

Main Level
3' - 4"

2 Proposed Rear Elevation

A-2.02 1/4" = 1'-0"

3 Rear Elevation Garage

A-2.02 1/4" = 1'-0"

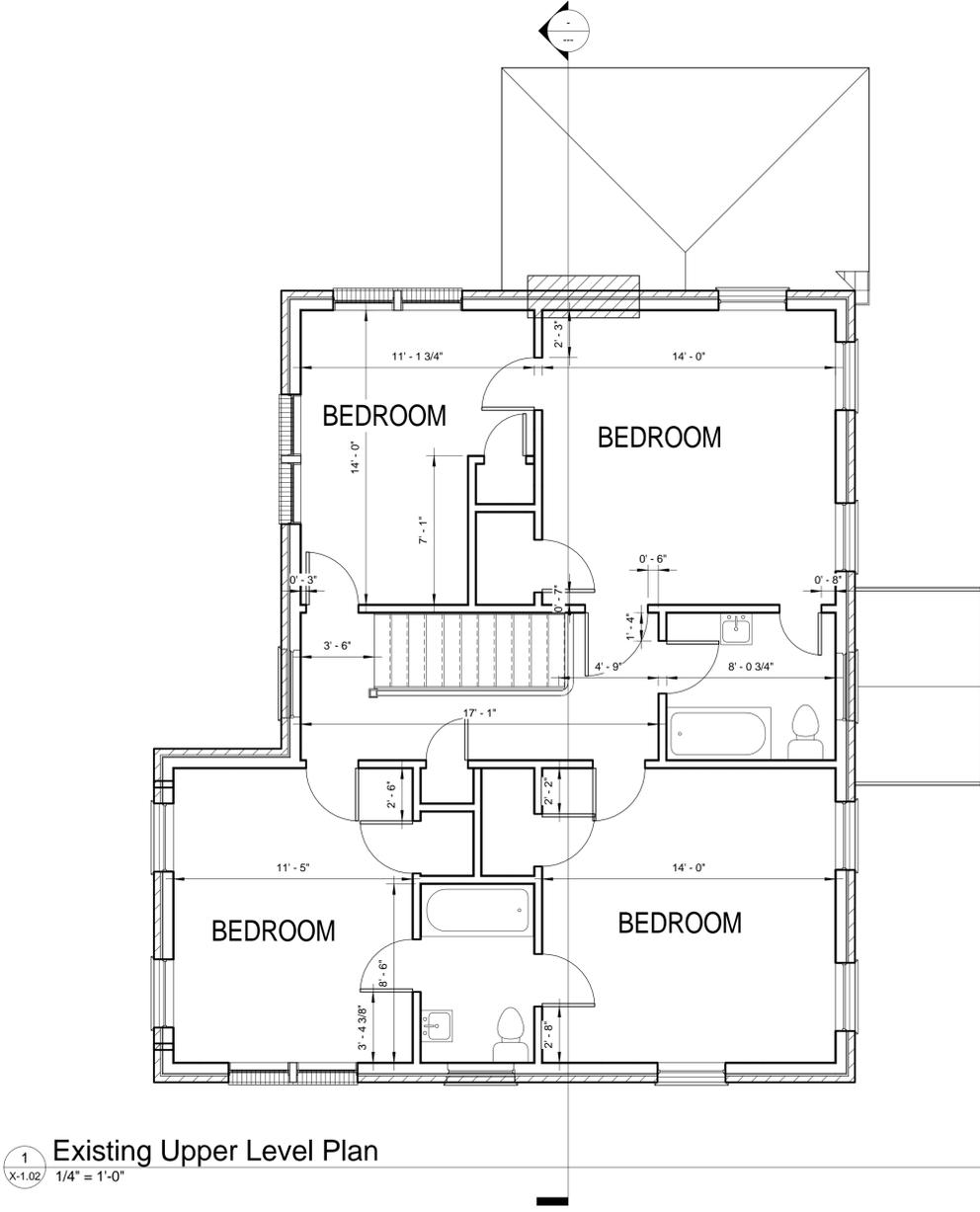
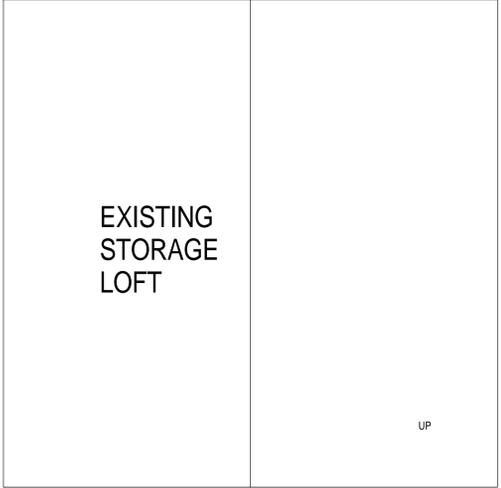
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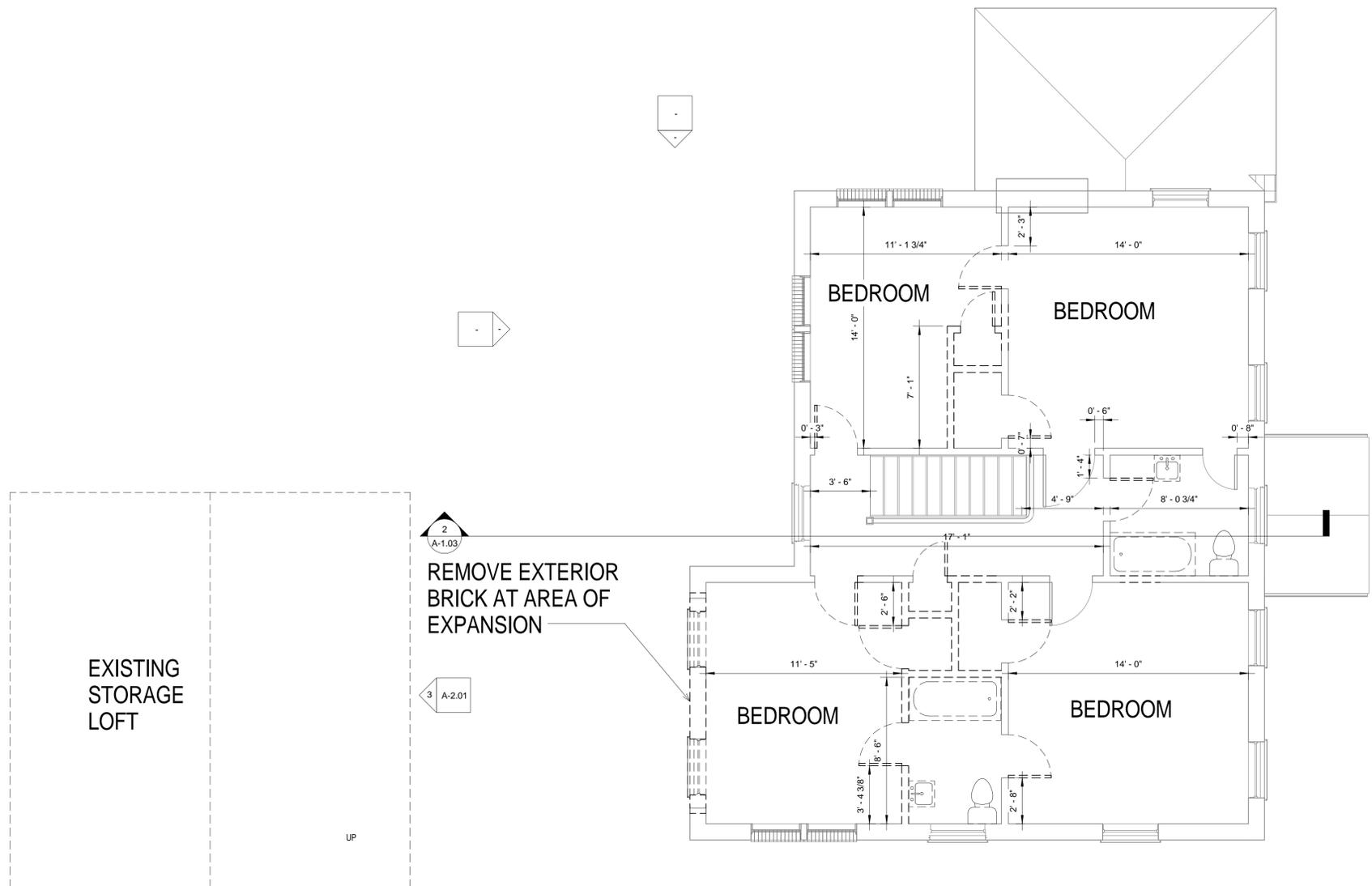
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SHEET TITLE	Existing Upper Level Plan

SHEET ISSUED	10/24/14
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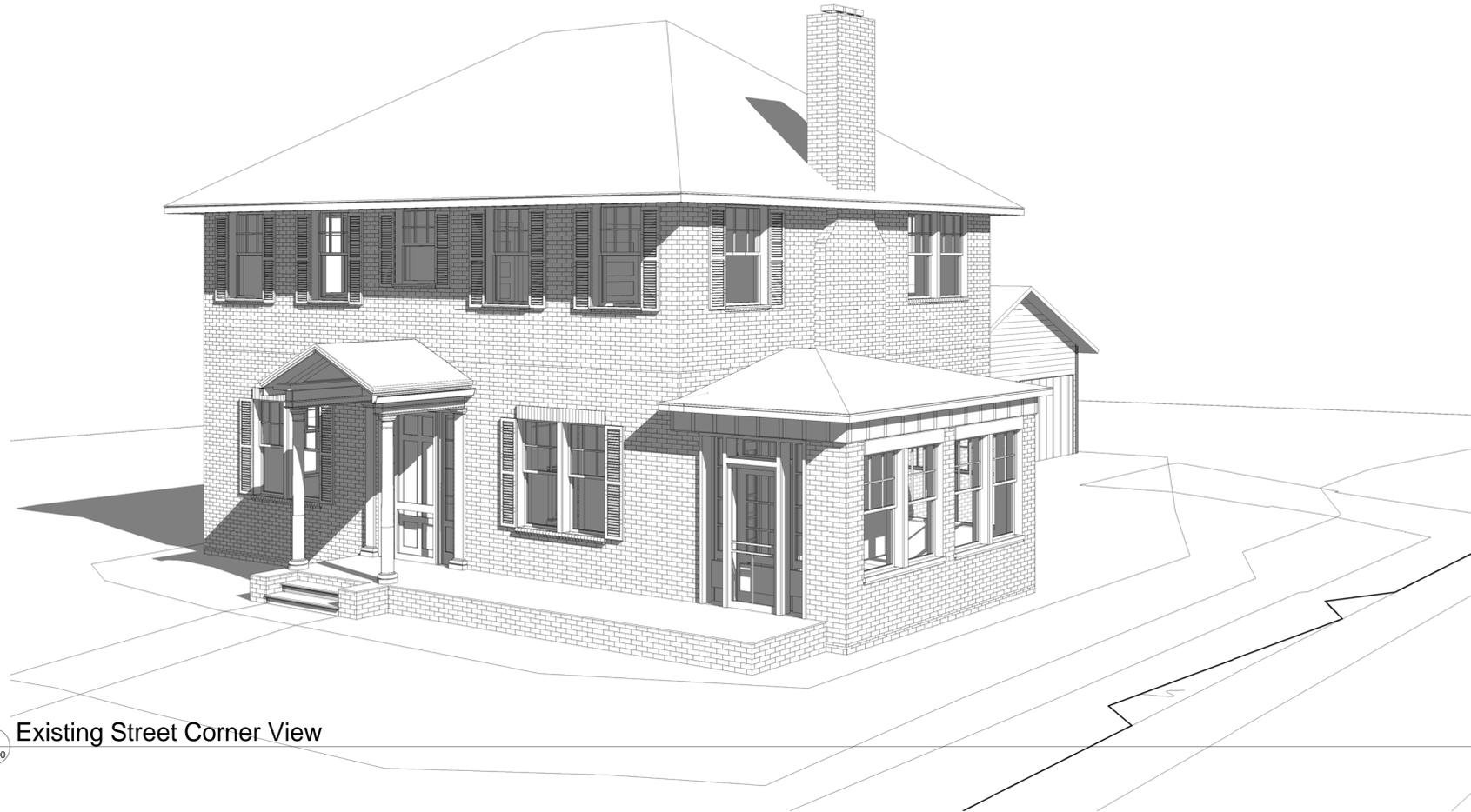
1 Upper Level Demolition Plan
 X-1.02d 1/4" = 1'-0"

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SHEET TITLE	Upper Level Demolition Plan

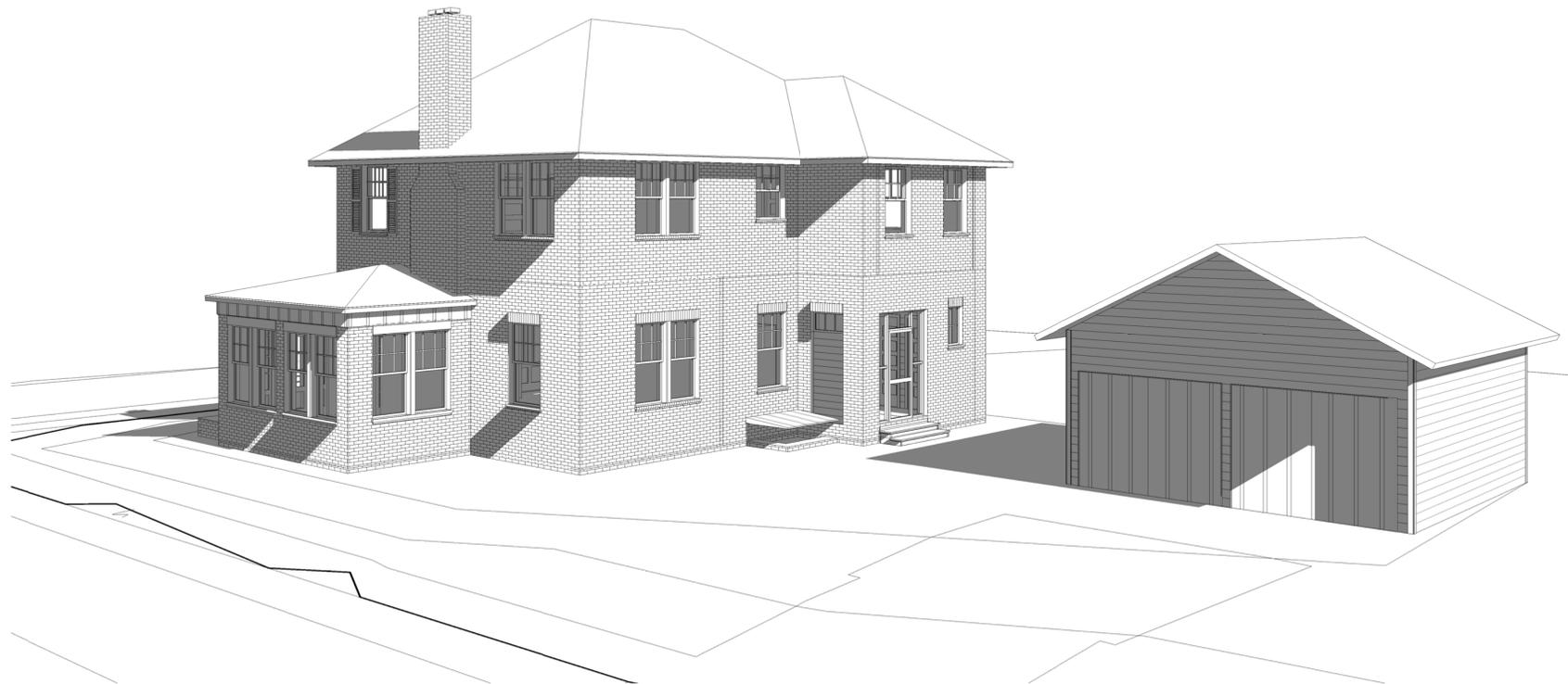
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2 Existing Street Corner View
X-2.00



1 Existing Gregg Street View
X-2.00

PROJECT	17 Gibbs Ct.
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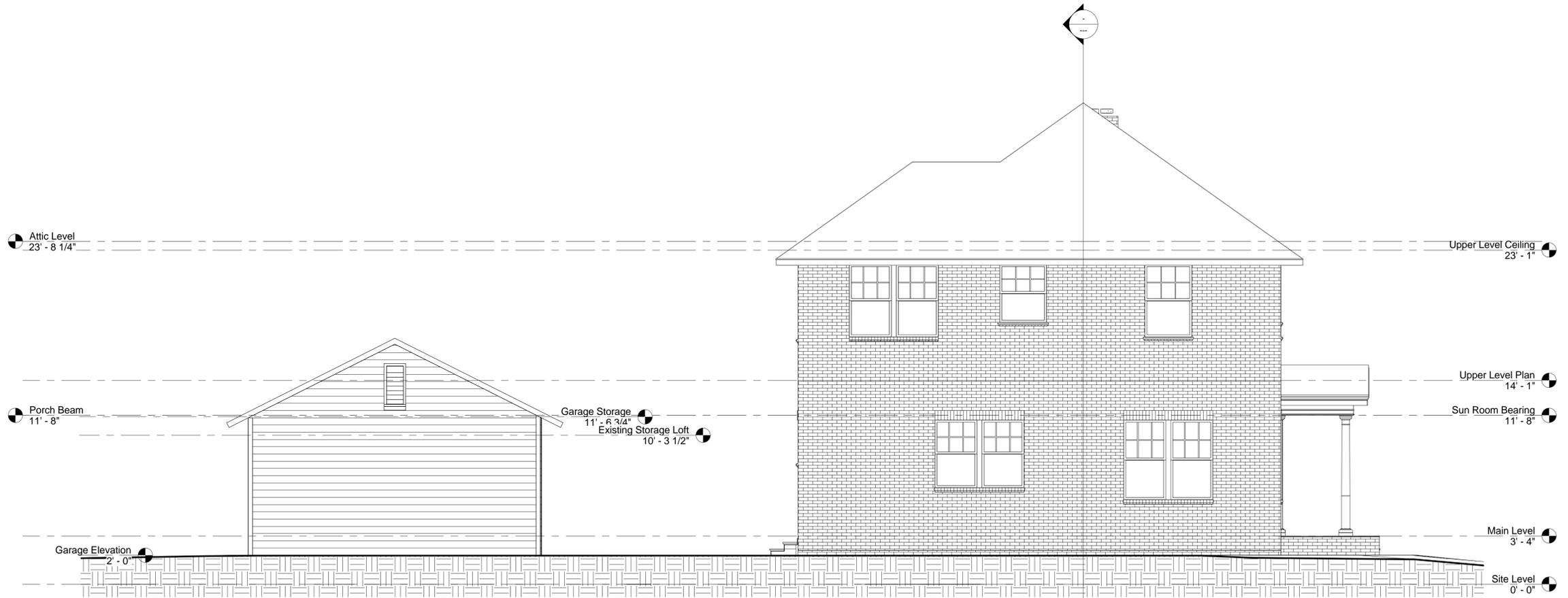
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1 Existing Gibbes Ct. Elevation
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2 Existing Left Side Elevation
 X-2.01 1/4" = 1'-0"

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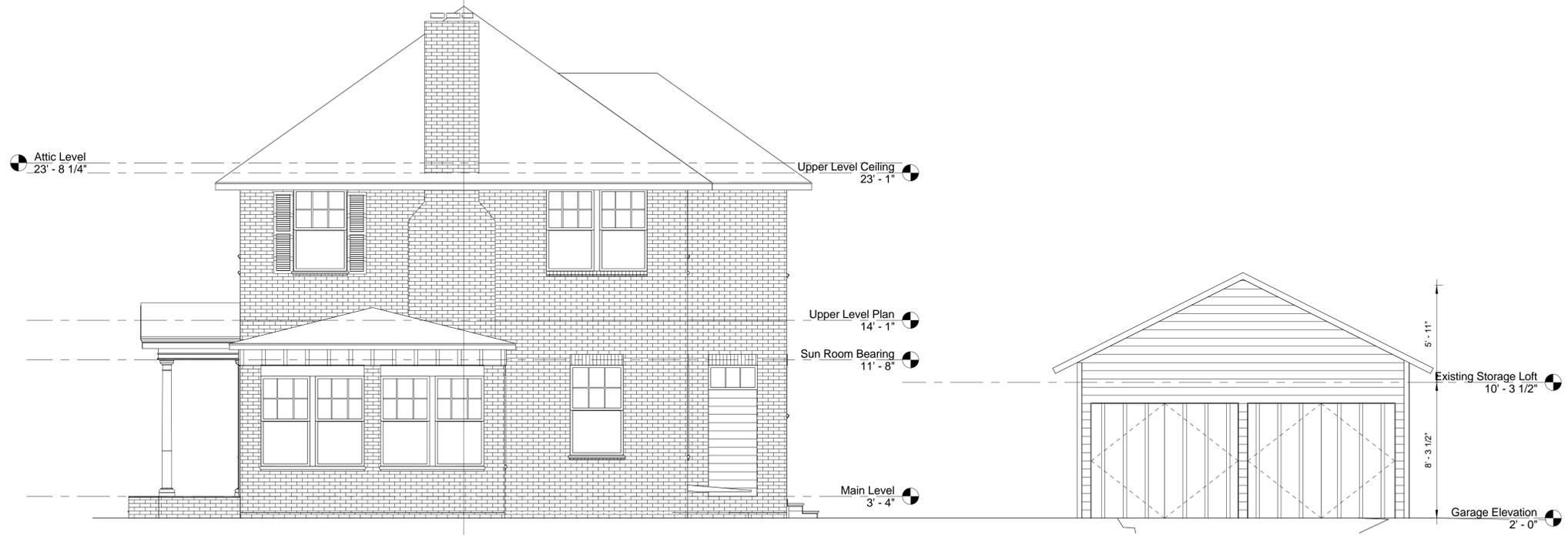
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SHEET TITLE	Elevations

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1 Existing Gregg St. Elevation
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2 Existing Rear Elevation
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PROJECT	17 Gibbs Ct.
SHEET TITLE	Elevations

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