

D/DRC Case

1116 Woodrow Street

Melrose Heights/Oak Lawn Architectural Conservation District

TMS: 11414-19-15

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
CONSENT AGENDA
EVALUATION SHEET
Case # 2

ADDRESS: 1116 Woodrow St.

APPLICANT: Clayton Kennedy, owner

TAX MAP REFERENCE: TMS# 11414-19-15

USE OF PROPERTY: Residential

REVIEW DISTRICT: Melrose Heights/Oak Lawn Architectural Conservation District

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes and preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

This is a c. 1930 two-story duplex with brick veneer exterior featuring a full porch that wraps to the south side. The new owner is requesting to make some repairs and minor alterations and to qualify for the Bailey Bill, a tax assessment freeze that is designed as an incentive to encourage high standards of historic renovations.

This project will be evaluated under the guidelines for the district as well as the ordinance for the Bailey Bill. The owner is applying to replace porch flooring and porch rails, and make repairs to other areas of the house, including repairs to the chimney. Other qualifying projects for the Bailey Bill will not be visible to the public and include structural, plumbing and electrical repairs. Please see the attached application for more details.

PERTINENT SECTIONS FROM GUIDELINES

SECTION 7: MAINTENANCE AND REHABILITATION

5. ROOF PITCH/MATERIAL

Principles

Roofs are highly visibly components of historic buildings. They are an integral part of a building's overall design and often help define its architectural style. The most common residential roof types are gable, hip, or a combination. Occasional examples of the clipped gable (jerkinhead) are also found. The original shape and pitch of the roof should be retained. Where existing roofing material is non-original, the existing roof may be retained, replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style.

Rooftop additions are another common change to historic buildings. The addition should be designed to be distinguished from the historic portion of the building; be set back from the wall plane; and be placed so it is inconspicuous when viewed from the street.

Guidelines

i. Preserve the original roof form in the course of rehabilitation.

The roof form will be retained.

ii. Preserve historic roofing materials when technically and economically feasible.

Not applicable.

iii. Replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture.

The roof material will be replaced in kind with composition shingles.

iv. Retain or replace where necessary: dormer windows, cupolas, cornices, brackets, chimneys, cresting, weather vanes, and other distinctive architectural or stylistic features that give a roof its essential character.

The chimney and eaves are in need of some repairs but will be retained and will be restored to an original appearance.

6. EXTERIOR SIDING

Principles: Wood

Where original wood siding exists on a structure, it should be retained. If it becomes necessary to replace deteriorated boards, match the replacements to the characteristics of the original. Important characteristics of wood siding that should be considered in its repair or replacement are board size, width of exposure, length, and trim detail such as corner boards. One of the greatest threats to wood siding is the application of non-historic surface coverings such as aluminum and vinyl siding, or stucco.

Application of non-historic exterior finishes results in either the removal or covering of historical materials and details. Decorative trim around doors, windows, and under rooflines is frequently removed. Detailing of the wood itself, such as beveling or beading, is also lost. Board width, length, and exposure are generally changed, thus altering the scale and appearance of the building. Artificial siding also frequently damages the fabric underneath. It can trap moisture and encourage decay and insect infestation. In cases where artificial siding is already in place, its removal is not necessary under the guidelines. An owner may retain the material or remove it. If, however, the material is removed, it must be replaced with historically appropriate materials. Some homes have masonite as an original siding material. Steps to preserve it should be taken. In the case of original asbestos siding, if its removal is required, masonry, wood, or cement fiberboard siding is an appropriate replacement.

Guidelines

i. Identify, retain, and preserve masonry features that are important to defining the overall historical character of the building such as walls, brackets, railings, cornices, door pediments, steps, and columns; and joint and unit size, tooling, and bonding patterns, coatings, and color.

Not applicable.

ii. Clean masonry surfaces with the gentlest method possible, such as water and detergents and natural bristle brushes. Sandblasting is prohibited.

Not applicable.

iii. Retain wooden materials and features such as siding, cornices, brackets, soffits, fascia, window architrave, and doorway pediments. These are essential components of a building's appearance and architectural style.

The soffit of the eaves will be repaired and the porch ceiling, which has two areas of disrepair, will be retained and repaired with the same material.

iv. Repair or replace, where necessary, deteriorated material duplicating in size, shape, and texture the original as closely as possible. Consider original characteristics such as board width, length, exposure, and trim detailing when selecting a replacement material.

Not applicable.

v. Artificial replacement siding over wood or brick is not permitted.

Not applicable.

vi. Where a structure has asbestos or masonite as original siding, it may be replaced with wood, brick, or cement fiberboard.

Not applicable.

7. PORCHES

Principles

Porches serve as a covered entrance to buildings and a transitional space between the interior and exterior and are an important design feature on a house. They are often the principal location for ornamentation and detailing, such as brackets, posts and columns, and balustrades. Size, style, ornateness or simplicity, sense of openness, and detailing are all important attributes of porches. Such features should be preserved during the course of rehabilitating a building

Because they are open to the elements, porches also require frequent maintenance and repair. Deteriorated porch features should be repaired rather than replaced. If replacement proves necessary, replacement features and materials should approximate the originals as closely as possible. If wholesale replacement is required, the new porch should be rebuilt based on historical research and physical evidence. If a porch or individual features of it are missing and no documentation or physical evidence is available, a new porch design that is compatible with the scale, design, and materials of the remainder of the building is appropriate. It is appropriate in the Melrose Heights/Oak Lawn district to replace missing or deteriorated features with compatible ones found on similar structures in the district.

Owners are often tempted to enclose porches for additional year round living space. Although porch enclosures are generally not recommended, they can be done in an appropriate manner. Transparent materials, such as clear glass enclosures or screens that are set behind balustrade and structural systems and maintain the visual openness of a porch are permitted.

Guidelines

i. Retain porches and steps that are appropriate to a building.

The porch and steps will be retained.

ii. If replacing deteriorated or missing features, it is appropriate to use other homes of the same style and period for the design of the new feature, as long as it is compatible with the structure.

The porch flooring is somewhat deteriorated due to the water and termite damage in the floor joists, and part of the porch floor has previously been replaced. The proposal is to replace the porch floor with the exact same kind of flooring, which is the typical tongue-and-groove 1"x3" dimensional wood.

In a 1993 image of the building there is no porch railing on the building. The current railing is clearly not the original and will be removed. If the porch floor is low enough not to

require a railing as per the building code then none needs to be added. The owner is proposing a railing to meet code, meaning it will be approximately 3' tall and the pickets will be spaced about 4" apart. The proposed pickets will be simple 2" vertical wood elements with simple top and bottom rails. This simplistic porch railing is compatible with the building and the style and period of the home.

iii. If enclosures are undertaken, maintain the openness of porches through the use of transparent materials such as glass or screens. Place enclosures behind significant detailing, so that the detailing is not obscured.

Not applicable.

BAILEY BILL ORDINANCE

Sec. 17-698. Eligible rehabilitation.

Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

1. The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

The historic character will be retained and preserved. There is some removal of historic material on the porch floor and a few pieces of the porch ceiling due to damage. The porch floor has already been compromised by new infill pieces and rot. The beadboard porch ceiling will be carefully repaired with replacement of only a few boards that show disrepair.

2. Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

The porch railings to be added will be a change but they are simple and in keeping with the guidelines for the district.

3. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

4. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

The distinctive beadboard porch ceiling will be preserved and repaired; the chimney will be repaired and repointed; eaves will be repaired and returned to an original appearance.

5. Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

The brick chimney is deteriorated along the top few courses but they will be rebuilt and the chimney will be repointed. The porch flooring is deteriorated and will be repaired in kind with the exact same type of flooring.

6. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

7. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

Not applicable.

8. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

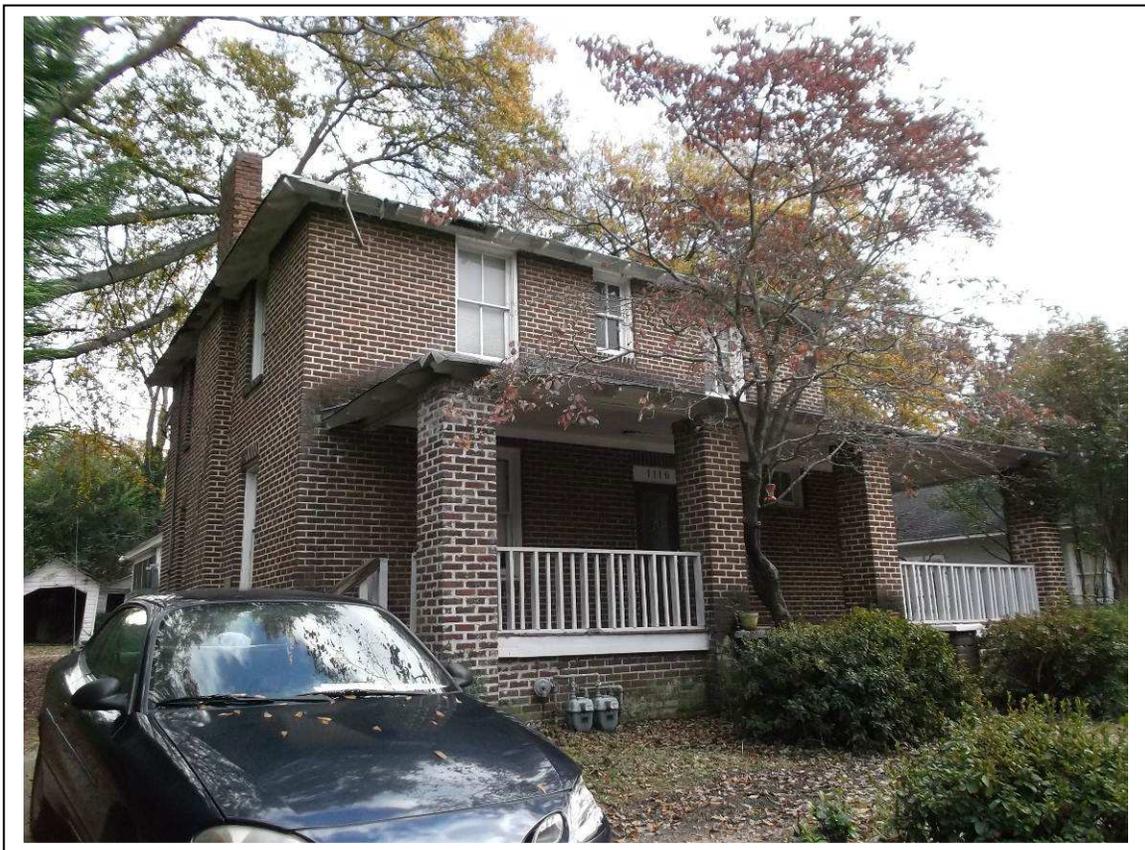
Not applicable.

STAFF RECOMMENDATIONS:

Staff finds that the proposal meets Section 7 of the guidelines and recommends a Certificate of Design Approval with all details deferred to staff.

Staff recommends granting preliminary certification for the Bailey Bill, conditional upon qualified rehabilitation expenses meeting or exceeding the 20% investment requirements and work being completed as described and in accordance with the Bailey Bill ordinance.

Staff Photos





Staff photos of porch ceiling and porch floor in disrepair

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Roof</u> Approximate date of feature <u>Unknown</u> Describe feature and its condition</p> <p>Roof is old and has damage / deterioration. Shingles are close to the end of their useful life and there is sheathing rot on the eaves. There is evidence of roof leaking on the rear addition</p> <p>Photograph No. <u>1 - 5</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Remove old shingles from original house and rear addition. Repair / replace roof decking where needed. Install new 30 year shingles.</p> <p>This should extend the life of the roof and prevent future water infiltration into the house</p>
<p>Architectural feature <u>Chimney</u> Approximate date of feature <u>1930</u> Describe feature and its condition</p> <p>The top of the chimney has deteriorated and bricks have fallen into the fireplace. Mortar is loose and deteriorating on the entire chimney</p> <p>Photograph No. <u>6</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Replace top section of chimney and repoint remaining portion. Add chimney cap.</p> <p>This will restore the chimney and prevent future deterioration. Also will prevent animals from getting into the chimney.</p>
<p>Architectural feature <u>Front Porch</u> Approximate date of feature <u>Unknown</u> Describe feature and its condition</p> <p>Significant portions of the front porch flooring are rotten. Some is original to the home while other areas have been replaced over the years. Existing railings do not allow water to drain from the porch. Possible insect or water damage on the joists under the flooring. Portions of the porch ceiling are rotten and are coming down.</p> <p>Photograph No. <u>7 - 13</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Remove old flooring and repair any damage to supporting structure. Replace flooring with new tongue and groove boards. Paint / seal new flooring. Replace damaged ceiling boards with new and paint ceiling. Add new wood railing that conforms to code.</p> <p>This will improve safety of porch, lengthen its useful life and improve aesthetics of the house.</p>

CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural feature <u>Structure</u> Approximate date of feature <u>1930</u> Describe feature and its condition</p> <p>There is evidence of insect damage / wood rot on the band sill on the left side of the house. Also evidence of damage / rot on floor joints under the kitchen, under the living room fireplace and on the girder between the kitchen and hall bath.</p> <p>There is also evidence of termite damage on the window trim and framing in the kitchen. Possibly additional damage to studs that is not visible. Evidence of termite damage to door framing in hallway</p> <p>Photograph No. <u>14 - 18</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Remove and replace damaged sill, joists, and girder. Remove plaster in kitchen to repair any damaged studs and window framing. Replace any damaged wood in hallway.</p> <p>This work will improve stability of substructure and increase structural integrity of the house</p>
<p>Architectural feature <u>Right Rear Bathroom</u> Approximate date of feature <u>Unknown</u> Describe feature and its condition</p> <p>Subflooring and structure under the bathroom is rotten. Tile flooring is loose and cracked</p> <p>Photograph No. <u>19 - 21</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Demo bathroom to repair sub structure. Update plumbing / electrical as needed. Replace subfloor and tile.</p> <p>This will increase structural integrity of bathroom, improve safety, lengthen useful life of the house, and improve aesthetic of bathroom</p>
<p>Architectural feature <u>Plumbing</u> Approximate date of feature <u>1930</u> Describe feature and its condition</p> <p>Much of the plumbing is original galvanized piping which often corrodes over time. A leak was observed under the hall bathroom.</p> <p>Photograph No. <u>22 - 23</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Repair leak and replace galvanized piping where possible.</p> <p>This will prevent future leaks, increase water flow, and prevent structural damage due to rot. Also, will increase useful life of the house.</p>

<p>Architectural feature <u>Electrical</u></p> <p>Approximate date of feature <u>Unknown</u></p> <p>Describe feature and its condition</p> <p>It appears that the electrical service and some of the wiring has been updated at some point. However, there remain issues with the breaker boxes / circuit breakers. There was live knob and tube wiring still in use in the attic.</p> <p>Photograph No. <u>24 - 28</u> Drawing No. _____</p>	<p>Describe work and impact on feature</p> <p>Evaluate system, add breakers if needed to accommodate existing system and additional outlets / fixtures. Replace knob and tube wiring in the attic</p> <p>This will increase functionality of the house, improve safety, and prevent future electrical issues.</p>

Pictures #1, #2, #3



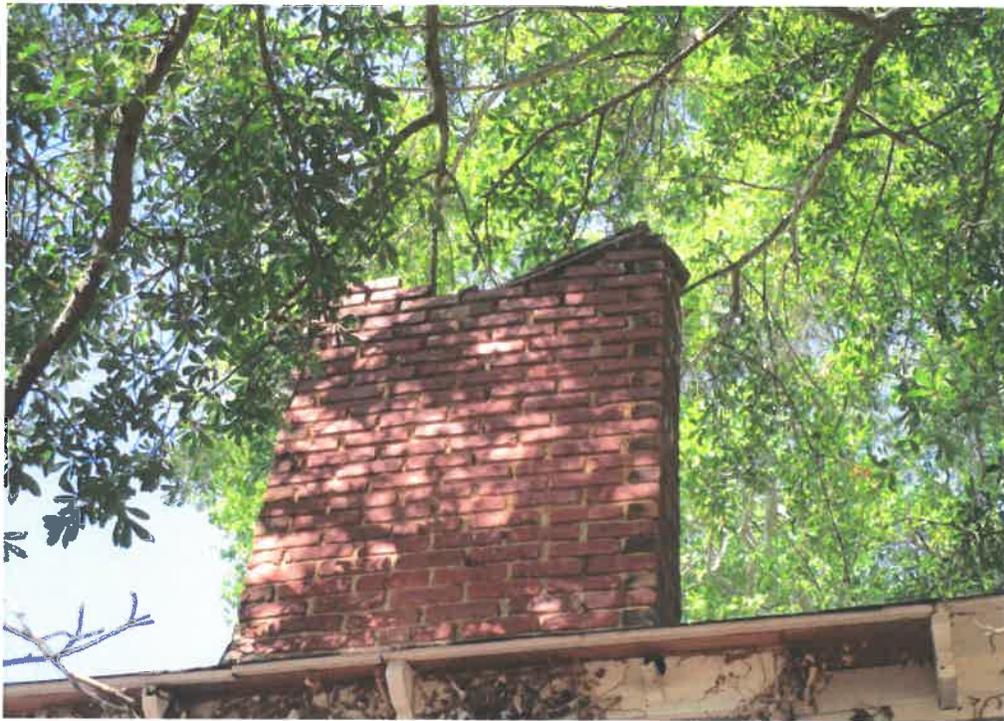
Picture #4



Picture #5



Picture #6



Picture #7



Picture #8



Picture #9



Picture #10



Picture #11



Picture #12



Picture #13



Picture #14



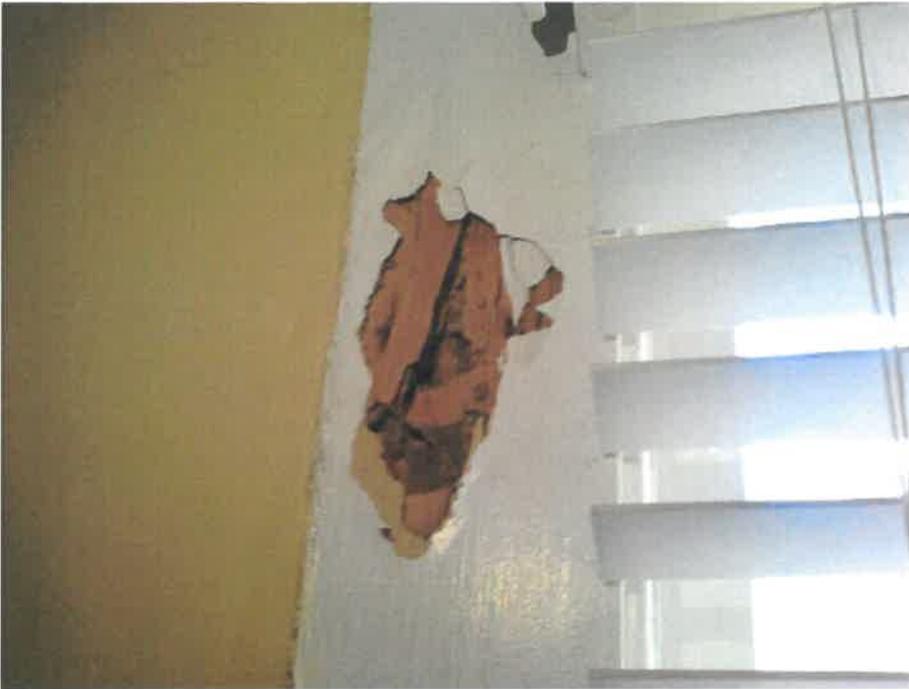
Picture #15



Picture #16



Picture #17



Picture #18



Picture #19



Picture #20



Picture #21



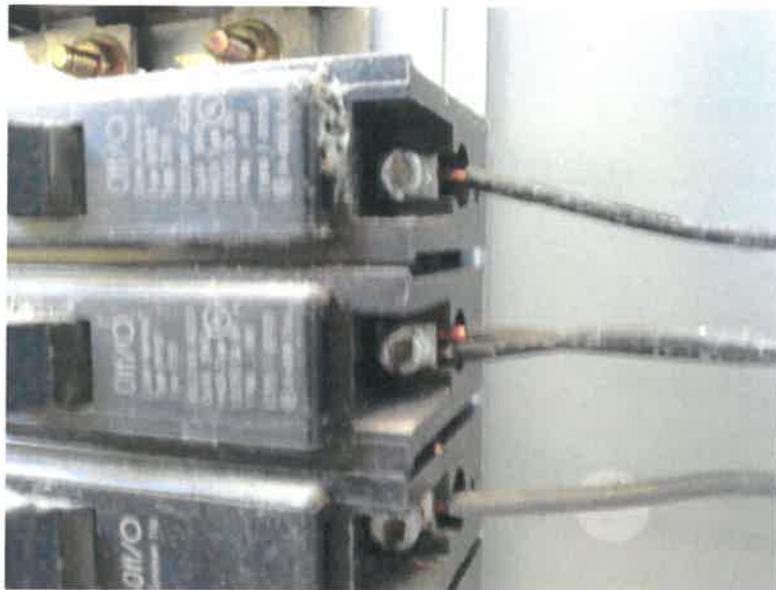
Picture #22



Picture #23



Picture #24



Picture #25



Picture #26, #27, #28

