



D/DRC Case

928 Pine Street

Old Shandon/Lower Waverly Protection Area A

TMS: 09113-04-05

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC CONSENT AGENDA
BAILEY BILL EVALUATION SHEET
Case #1

ADDRESS: 928 Pine Street

APPLICANT: Tonnya Kennedy Kohn, property owner

TAX MAP REFERENCE: TMS#11409-02-01

USE OF PROPERTY: Residential

REVIEW DISTRICT: Old Shandon/Lower Waverly Protection Area A

NATURE OF REQUEST: Request for a Certificate of Design Approval for preliminary certification for the Bailey Bill.

FINDINGS/COMMENTS:

The ca. 1903 1½ story wood-frame house located at 928 Pine Street is a contributing structure in the Old Shandon/Lower Waverly Protection Area and is most likely the oldest building on the block. The property is included in a walking tour brochure and an online virtual tour that Historic Columbia produced for the Lower Waverly Neighborhood. The house was probably built for Charnal H. Stokes, who worked as a carpenter with the Southern Railway. A dependency building, which appears to be as old as the house, is adjacent to the house on the right side. It is among the last remaining examples of its kind in the area.

The house was formerly clad in asphalt siding, but the owners recently removed it to reveal the historic wood siding. The house needs a new roof, general repairs on the exterior, and a full rehabilitation of the interior in order to be fully functional. The work being proposed would follow more of a maintenance and rehabilitation scope with an emphasis on repair instead of wholesale replacement of materials. However, the owners would like the option to remove non-historic alterations where necessary to return the house to its original configuration.

The applicant is requesting preliminary certification for the Bailey Bill for a rehabilitation proposal that includes retaining and repairing historic architectural features including the historic wood siding, front porch columns and decorative brackets, replacing the roof, correcting any foundation/structural concerns, repairing or replacing the electrical and plumbing systems, and installing a new HVAC system. The removal of historic materials or alterations of features and spaces that characterize the property shall be avoided. The existing windows on the house are mismatched, non-historic, or completely missing. The applicant would like to replace the majority of the windows with wood windows with a 4/4 or 6/6 pane configuration. The windows on the dependency are currently boarded; however, they appear to be original 6/2 windows when viewed from the inside. Staff recommends for

these windows to be retained and repaired. Additional work including painting exterior woodwork will count towards the investment threshold. Interior work, new construction costs, and work that has already been completed will not be included. The applicant estimates that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible.

It should be noted that any property in a Protection Area that receives Bailey Bill certification shall be subject to additional design review for any future project during the 20 year abatement period. This review shall be based on the criteria outlined below in Section 17-698(a), which requires a higher level of review than the current design guidelines for the Old Shandon/Lower Waverly Protection Area.

Bailey Bill Ordinance, Sec. 17-698. Eligible rehabilitation.

- (a) *Standards for rehabilitation work.* To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:
- (1) *The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*
 - (2) *Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*
 - (3) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
 - (4) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*
 - (5) *Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
 - (6) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
 - (7) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*
 - (8) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

STAFF RECOMMENDATIONS:

Staff recommends that 928 Pine Street be given preliminary certification for the Bailey Bill with the following conditions:

- *The project shall meet or exceed the 20% investment threshold requirements for qualified rehabilitation expenses*
- *All work shall meet the standards for work as outlined in Section 17-698(a)*
- *A window schedule for replacing all mismatched, non-historic, or completely missing windows must be approved by staff prior to installation*
- *All details deferred to staff.*

928 Pine Street – Old Shandon/Lower Waverly Protection Area A



Photo showing 928 Pine Street in the background – date unknown
Submitted by applicant

928 Pine Street – Old Shandon/Lower Waverly Protection Area A



928 Pine Street – Current exterior conditions



928 Pine Street – Old Shandon/Lower Waverly Protection Area A



View of 928 Pine Street and dependency



Uncommon 6/2 windows in the dependency

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

| | |
|--|---|
| <p>Architectural feature <u>Foundation</u> Approximate date of feature <u>Original</u> Describe feature and its condition</p> <p>Termite damaged and inadequate for support in places</p> <p>Photograph No. <u>9</u> Drawing No. _____</p> | <p>Describe work and impact on feature</p> <p>Replace termite damaged wood; Repair, replace or add seals and pillars</p> |
| <p>Architectural feature <u>Front porch</u> Approximate date of feature <u>Original</u> Describe feature and its condition</p> <p>Wood columns and corbels are in poor condition. Brick columns are in fair condition. Ceiling is in poor condition.</p> <p>Photograph No. <u>10, 11, 12</u> Drawing No. _____</p> | <p>Describe work and impact on feature</p> <p>Repair and repaint wood columns and corbels. Clean and point-up brick columns. Replace porch ceiling with similar appearing material.</p> |
| <p>Architectural feature <u>Stairs & 2nd floor door</u> Approximate date of feature <u>Not known</u> Describe feature and its condition</p> <p>Stairs are damaged and a hazard. Door is not original to the house.</p> <p>Photograph No. <u>13, 14, 15</u> Drawing No. _____</p> | <p>Describe work and impact on feature</p> <p>Remove stairs. Remove door and replace with siding to return house to original appearance.</p> |
| <p>Architectural feature <u>Door (right side)</u> Approximate date of feature <u>Original</u> Describe feature and its condition</p> <p>Door opening is partially covered by siding.</p> <p>Photograph No. <u>16</u> Drawing No. _____</p> | <p>Describe work and impact on feature</p> <p>Return door opening to original size.</p> |

**Fair market value means the appraised value as certified to the DDRRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

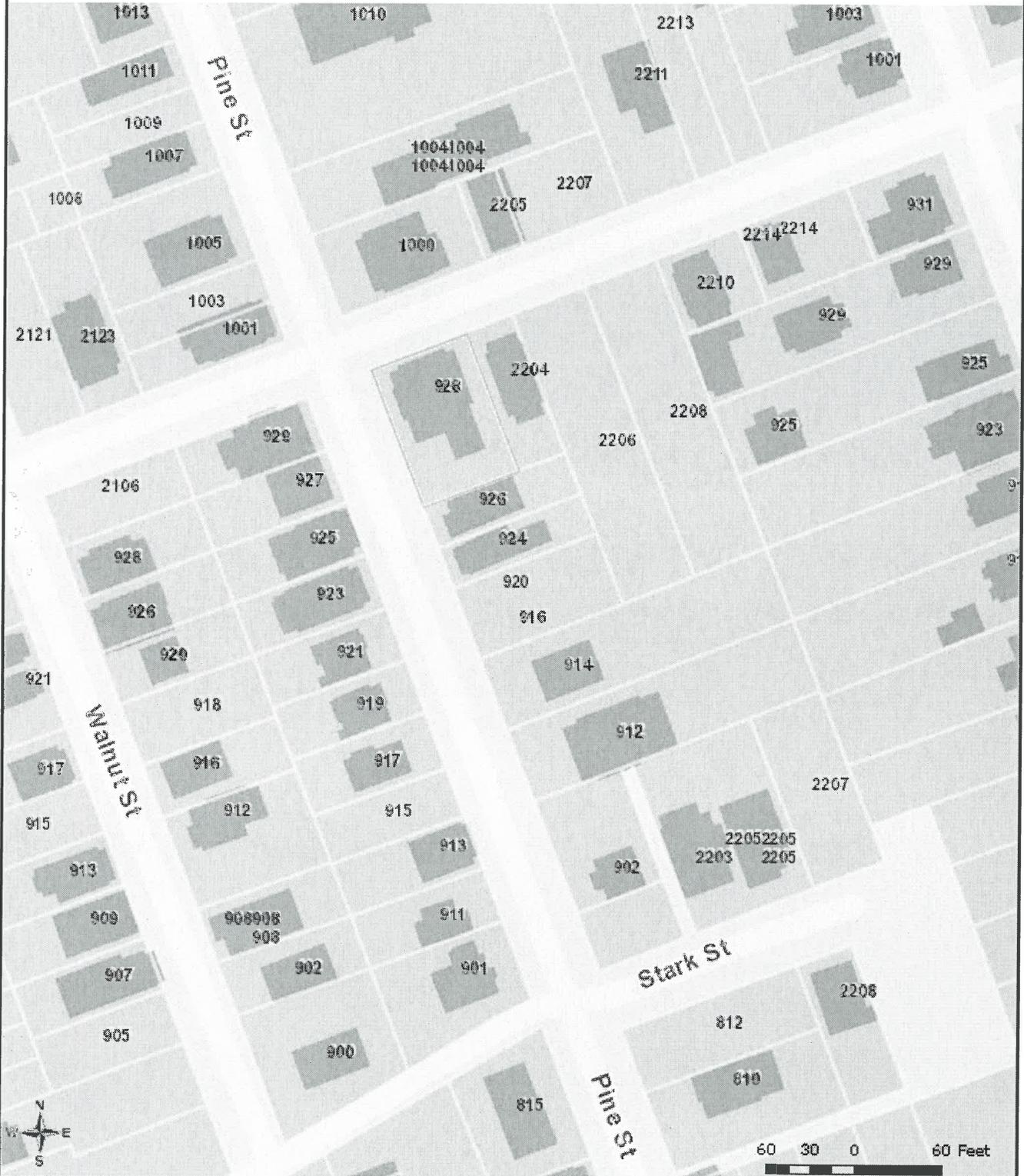
CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

| | |
|---|--|
| Architectural feature <u>Roof</u> Approximate date of feature <u>Not known</u> Describe feature and its condition Roof is asphalt and in poor condition, including holes in places. Photograph No. <u>3</u> Drawing No. _____ | Describe work and impact on feature Replace roof to protect integrity of the house. |
| Architectural feature <u>Siding</u> Approximate date of feature <u>Original</u> Describe feature and its condition Siding is in fair condition, but deteriorating and missing in places Photograph No. <u>4</u> Drawing No. _____ | Describe work and impact on feature Repair or replace damaged boards; clean, seal and repaint |
| Architectural feature <u>Windows</u> Approximate date of feature <u>Original (most)</u> Describe feature and its condition Most are in poor condition and unsalvageable Photograph No. <u>5, 6</u> Drawing No. _____ | Describe work and impact on feature Replace unsalvageable windows with custom wood-framed windows |
| Architectural feature <u>Soffits & fascia</u> Approximate date of feature <u>Original</u> Describe feature and its condition Soffits and fascia are weather beaten and damaged in places Photograph No. <u>7, 8</u> Drawing No. _____ | Describe work and impact on feature Repair or replace soffits and fascia, as needed, and repaint |

Richland County Map



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Photo 1

928 Pine St. - façade



Photo 2

928 Pine St. – façade with outbuilding



Photo 3

928 Pine St. - roof



Photo 4

928 Pine St. – Siding, rear upstairs



Photo 5

928 Pine St. – left side first floor window



Photo 6

928 Pine St. – Upstairs rear windows



Photo 7

928 Pine St. – soffit & fascia right front (out building)



Photo 8

928 Pine St. – soffit & fascia left rear corner



Photo 9

928 Pine St. – outbuilding foundation



Photo 10

928 Pine St. – Front porch columns & corbels



Photo 11

928 Pine St. – brick pillar in front of house



Photo 12

928 Pine St. – front porch ceiling



Photo 13

928 Pine St. – Exterior stairs, left side



Photo 14

928 Pine St. – exterior stairs, left side



Photo 15

928 Pine St. – Upstairs door, left side

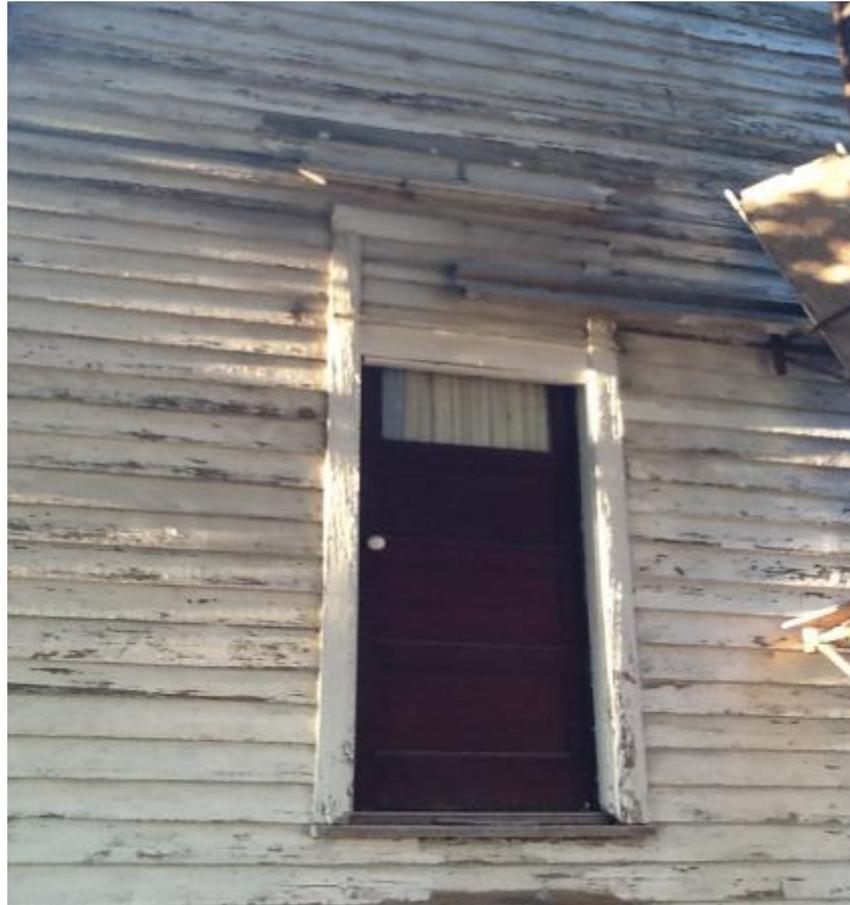


Photo 16

928 Pine St. – right side door