



## D/DRC Case

204 Huger Street

Granby Architectural Conservation District

TMS: 08913-17-01

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
Case #7

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**ADDRESS:** 204 Huger Street

**APPLICANTS:** Philip Mouradjian, property owner

**TAX MAP REFERENCE:** TMS#08913-17-01

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Granby Architectural Conservation District

**NATURE OF REQUEST:** Request for Certificate of Design Approval for changes to approved plans.

**FINDINGS/COMMENTS:**

This project came before the D/DRC in July 2014. It had the full support of the Granby Mill Village Neighborhood Association and was approved unanimously by the D/DRC as proposed. However, the applicant is now proposing a few exterior changes that are inconsistent with the character of the saltbox duplex mill houses on which the design of the proposed house is based. According to the guidelines, the proposed house “should mirror the character” and “continue the extreme consistency” of the original saltbox duplexes in the district. The revisions to the design include a single entry door instead of two, four porch supports instead of five, and vinyl siding instead of cement fiberboard siding. Staff cannot recommend approval for any of these proposed changes as they do not meet the intent of the guidelines.

All of the historic saltbox houses in the district were constructed as duplexes for mill workers; therefore, the two doors on the fronts of these buildings were an essential and functional component of the design. Although some of the original houses still serve as duplexes, a number have been converted to single family residences and still continue to function with both doors intact. The applicant has stated that a single entry door would be the most appropriate for the proposed house; however, a single entry door on the façade would be out of place for this type of house and would not continue the extreme consistency found on the existing saltbox duplexes. As a character defining feature, the two doors on the façade are necessary to meet the guidelines which state that two doors must be used even if a single family residence is being built. The guidelines for rehabilitation state that two matching doors must be retained on the front facades of saltbox structures, but it also says that both doors do not have to function as entries. Staff and the applicant have discussed the option of having two doors on the façade of the house with only one serving as a functional door. As such, the non-functional door could serve as a window if using a half-glass design door or be completely fixed in place if using a four-panel design. The non-

glass version could be a “faux” door on the exterior and walled over on the interior, which would solve the applicant’s concern of a door affecting the layout of bedroom and general flow of the floor plan.

The historic saltbox duplexes originally featured 1-story shed roofs supported by five square posts. Staff worked with the applicant extensively earlier this year to make the original submission reviewed by the D/DRC in July to be as true in character as possible to the historic duplexes. This resulted in two entry doors on the façade and five evenly spaced square porch supports. The applicant’s request to change from five porch supports to four on the façade appears to be directly related to the request for a single entry door, as one of the supports was originally placed in the center. As discussed above, the original houses featured two doors and five square posts on the façade, and according to the guidelines any new construction must mirror the character and continue the extreme consistency of the original architecture. Therefore, staff recommends changing the proposed design back to the configuration previously approved by the D/DRC in July.

Plastic, vinyl or PVC products are not permitted for any exterior building component visible from the public right-of-way in any of the City’s Architectural Conservation Districts. Therefore, vinyl siding has not been approved for use in any of these districts since they were created. The guidelines for Granby state that vinyl siding is not a preferred material for new construction, but might be permitted if found to match the detailing typically found on wood frame houses. The preferred siding for new construction is wood or cement fiberboard. The proposed vinyl siding does not replicate the installation techniques and overall detailing found on original houses with horizontal wood siding. It is installed in sheets or sections with special clips and channels that are not consistent with wood siding. Cement fiberboard is installed similarly to wood in that each piece is individually fastened with consistent reveals, shadow lines, and limited seams.

The applicant has stated that longevity and maintenance issues are key concerns with using products other than vinyl siding; however, staff is not convinced that the proposed vinyl siding would last any longer or be any more durable than wood or cement fiberboard. Beveled wood siding would be the most authentic choice, but staff realizes that cement fiberboard may not need to be painted as frequently as wood. In terms of longevity, vinyl siding is less rigid than wood or cement fiberboard and may fade, crack, or become brittle in a relatively short period of time compared to the other options.

The Granby Architectural Conservation District is unique in that it is the most architecturally consistent historic district in the City. The guidelines were written with this in mind and with the understanding that any new construction has the potential to reinforce or undermine existing historic patterns. With this proposal being the first new construction project since the district was created in 2010, it is very important that the details of the proposed house be as true to the character of the district as possible. This particular parcel is highly visible and the proposed house has the potential to set a precedent of how future new construction projects should be built within the framework of the guidelines.

The staff evaluation from July is included at the end of this document for reference, and the following pertinent sections from the guidelines address only the items that have changed from the original submission.

## **PERTINENT SECTIONS FROM THE GUIDELINES**

### **SECTION V: GUIDELINES FOR NEW CONSTRUCTION**

#### **A. PRINCIPLES**

*Given the extreme consistency of form and massing in the neighborhood, the impact of new construction will be considerable. The construction of new or replacement structures on any lots will greatly affect the district by either reinforcing or undermining existing historic patterns. Ninety-five percent of the structures in the district are saltbox structures and where they are predominant, any adjacent infill should mirror their character and continue the extreme consistency extant in their form, massing, rhythm of openings, setbacks, roof shapes, and so on. Replacement of or amendment to the few other structure types in the neighborhood should, as always, adhere to the principles below.*

#### **B. GUIDELINES**

- 6) *Sense of Entry: Construct facades with a strong sense of entry. Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. In a large section of Granby, the houses are duplexes and have two front doors and a covered porch at the front entry. On new construction which is within the context of the saltbox style homes, this pattern should be respected and duplicated even if a single family home is being built.*

The original submission that was approved by the D/DRC in July featured a 1-story full-façade, shed roof porch with two doors and five simple square wood posts. This design was recommended by staff as it was the original configuration used when the historic saltbox duplexes were built in the 1890s. The applicant is now proposing to change the design from two doors on the façade to one and five porch supports to four. The guidelines are very clear about the two front doors being “duplicated even if a single family home is built.” As stated earlier, staff has discussed options with the applicant on how to keep the two door design while only having one functional door. A single, center door on the façade would visually conflict with a center porch support, which is why the applicant has reduced the total number of porch supports to four. The guidelines require new construction to mirror the character and continue the extreme consistency, which means that two doors and five porch supports on the façade would be the most compatible design solution. Therefore, a single entry door and four porch supports would not meet the guidelines.

- 7) *Materials, Texture and Details: Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street. When selecting architectural details, consider the scale, placement, profile, and relief of details on surrounding structures for the basis of design decisions. Architectural detailing on Granby homes tends to be very minimal and simplicity should be a key element to any new construction, both in massing and detailing. In Granby, there is a preponderance of wood siding; therefore, the use of brick or stucco for siding would be inappropriate. Wood or cement fiberboard will be the preferred siding. Consideration should be given to board size, width of exposure, length, and trim detail such as corner boards on adjacent historic structures for specifications of any new material.*

*\*Vinyl is not a preferred material for siding in the district; however, in certain cases it might be permitted if it is shown that details typical of wood frame houses, such as inset windows, typical sized window sills, adequate reveal on siding, trim detailing, and so on, can be constructed. It will be the applicant's responsibility to provide required drawings and information which support their application for vinyl.*

**Entire house:** Plastic, vinyl or PVC products are not permitted for any architectural feature as these products are not visually compatible with historic materials.

**Walls:** The proposal previously approved by the D/DRC in July featured smooth horizontal cement fiberboard siding with fascia, cornice, and corner boards constructed of wood or cement fiberboard products. As discussed earlier, the applicant would like to change the siding material from cement fiberboard to vinyl. Vinyl siding has never been approved for new construction in any Architectural Conservation District, and is not a preferred material in Granby. Horizontal wood siding and smooth cement fiberboard are the preferred materials for new construction. The vinyl siding proposed by the applicant does have a reveal that is relatively consistent with wood siding, but the overall look of the product does not replicate the look or construction details typically associated with wood or cement fiberboard siding. Vinyl is installed in sheets instead of individual boards, and the fastening components and channels are unique to the vinyl siding industry. In a side-by-side comparison, it is easy to distinguish the differences between a house clad in vinyl and one clad in wood or cement fiberboard. This house will be placed very close to the street, which would make vinyl siding even more noticeable.

**Doors:** The applicant's proposal to change from two doors to one does not meet the guidelines. Staff recommends two doors with a 4-panel or a half-glass over 2-panel design to be closer to the original configuration of the historic saltbox houses. One door may be a fixed or faux door to allow the interior floor plan to be uninterrupted.

**Porch columns:** The applicant's proposal to change from five porch supports to four does not meet the guidelines. Staff recommends five square wood porch supports as approved previously.

**Fencing:** The applicant has proposed a vinyl fence which does not meet the guidelines as vinyl is not a permitted material.

## **SECTION VIII: GUIDELINES FOR FENCES/WALLS AND DRIVEWAYS/PARKING AREAS**

### **A. PRINCIPLES**

*Fences and walls serve to delineate property lines and as a barrier to distinguish between a yard, sidewalk, and street. Wooden picket fences of simple design would be the most appropriate in the rear.*

*New fences and walls should respect traditional materials, design, and scale. They should have a regular pattern and be consistent in design with those found in the same block or adjacent buildings. Wood is the*

*most appropriate material, particularly for simple frame buildings. Fences should complement the building and not obscure significant features.*

## **B. GUIDELINES**

1. *Design a fence or wall so that it is compatible with the associated structure in design and materials.*

The design of the house replicates a historic saltbox millhouse and therefore a simple fence design would be compatible. Wood is the most appropriate as it is a traditional material and is most prevalent in the district.

2. *Fences shall be no more than 4' in height in the front yard setback elevation and no more than 6' on side and rear elevations (more details provided at the end of the document in Section XII)*

The proposed fence has a maximum height of 6' which is compatible with the guidelines.

3. *The following materials are not permitted for fences or walls in the front or secondary front yard: chain link; vinyl; concrete block unless painted, stuccoed or veneered in brick; artificial siding material (ex. T-111, corrugated metal).*

The proposed fence is vinyl, which is not a permitted material unless the fence will not be visible from the public right-of-way. Staff recommends a simple wood privacy fence that may be painted if necessary.

## **STAFF RECOMMENDATIONS:**

*Staff finds that the proposed changes to previously approved plans do not meet Section V: Guidelines for New Construction or Section VIII: Guidelines for Fences/Walls and Driveways/Parking Areas and **does not recommend for a Certificate of Design Approval.***

- Staff recommends changing the proposed design of the house back to the configuration previously approved by the D/DRC in July
- A revised design for a wood privacy fence may be approved at staff level
- All details deferred to staff.

## **DETAILED CHANGE REQUEST**

Property: 204 Huger Street, Columbia, SC 29201

### 1) Vinyl Siding

Cement Fiberboard was included in the prior building plans per the recommendation of the City Planner's office. Upon review of page 15, paragraph 4 of the Granby Historic District Guidelines, "Vinyl [can be] permitted if it is shown that details of typical wood frame houses... can be constructed." Per the attached documents, vinyl siding is available with the appropriate specifications, including 4.5" reveal, smooth surface and clapboard style.

### 2) Single Front Entry

Dual doors were previously included in the building plans per the recommendation of the City Planner's office. During discussions with the draftsman and building contractors as part of the pre-construction phase of this project, it has been confirmed that dual entry will be detrimental to an appropriate and functional floor plan for this single family residence. In general, having two front doors adds no functional value to a single family residence and adds general confusion to the general public and visitors to the property.

Most importantly, it significantly limits the size of the master bedroom suite. A pre-construction review of the revised plans has determined that the owner's king size bedroom suite could not be added in an appropriate way to the current 13'3" x 11'4" space.

The design of this home has been significantly influenced by the constraints of the lot (lot shape, lot size, building code requirements for parking) as well as the building restrictions contained in the Granby Historic District Guidelines. As a result, this structure will be unique to any other comparable structures in the district. Because of the aforementioned factors, a single door entry is ultimately the most appropriate for this dwelling.

### 3) Vinyl Privacy Fence

Whereas the aforementioned vinyl siding meets the guidelines of the Granby Historic District, a vinyl privacy fence is requested for this property to provide a uniform appearance for the entire property. This fence will border the back yard, including the back property line, the left property line to connect with the middle of the left elevation along with a security gate for the driveway on the right elevation. The style of fence that will be utilized is a 6 foot, dog-ear privacy fence. This particular fence will emulate the look and design of a painted wood privacy fence. It will require low-maintenance with no re-painting and will not sustain the type of issues related to weathering that a wooden fence would.

In conclusion, these items are minor changes to the previously approved plans. When viewing the completely constructed home from Huger Street, the use of these materials will ensure that this home contributes to the revitalization of Columbia, SC and the Granby/Olympia neighborhoods for many years to come. These materials will require less maintenance and present a look which is more beneficial to the City of Columbia as well as to the resident.



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



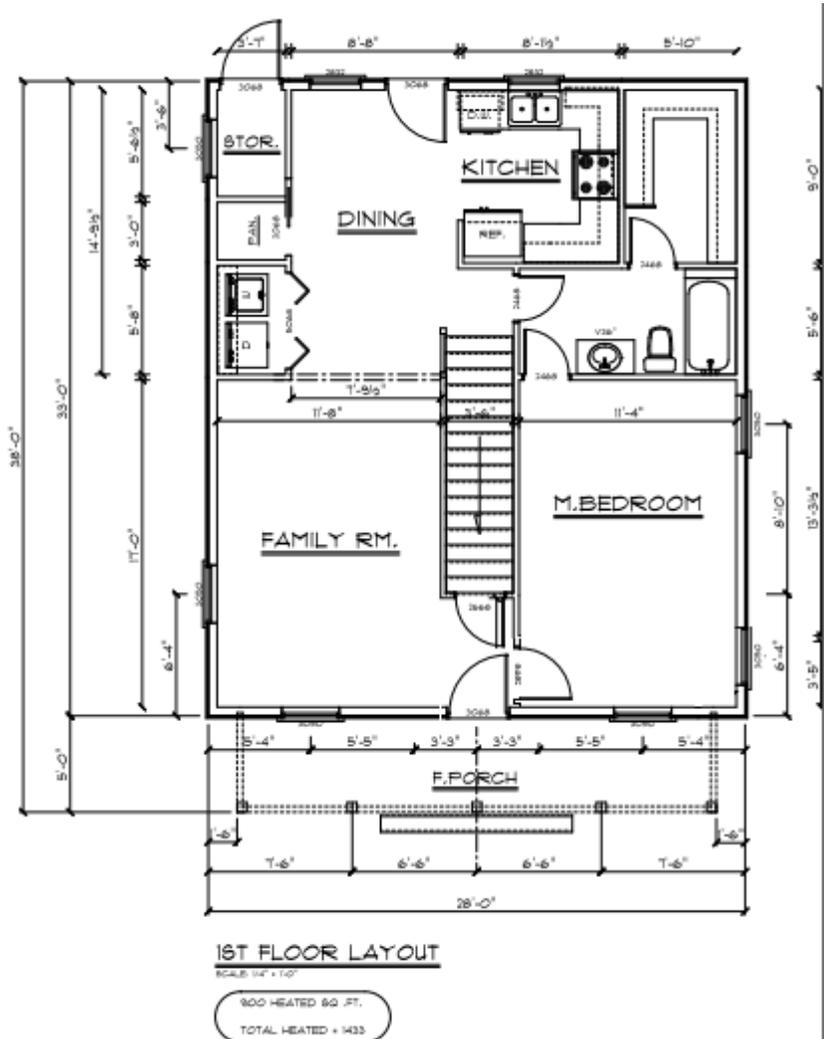
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

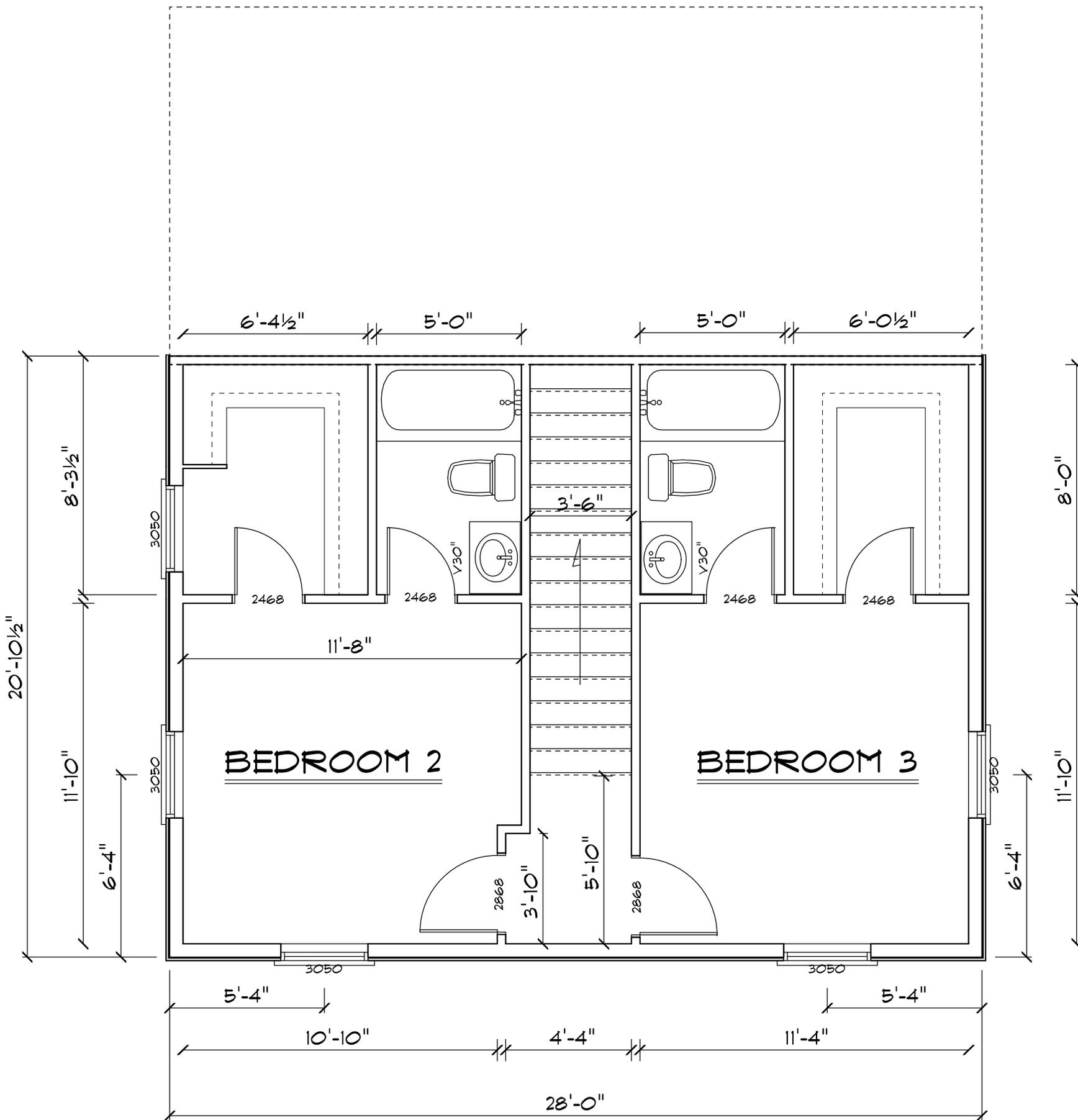


**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"





## 2ND FLOOR LAYOUT

SCALE: 1/4" = 1'-0"

533 HEATED SQ .FT.



Rebate Center

Order Tracker

Weekly Ad

Gift Registry

Welcome, Sign In



Select Your Store

Help Center

Services

Credit Center

Gift Cards

Departments

Project Center

Promotions

Search All

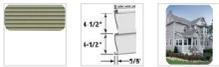
Enter SKU, Model # or Keyword

Cart (0)

Building Materials > Siding > Vinyl Siding > Standard Vinyl Siding



Click image for a larger view. Hover to zoom in.



### Restoration Smooth Double 4 1/2" Clapboard Vinyl Siding

Model Number: 3611842 | Menards® SKU: 1481918  
Variation: Cypress

Online Price <sup>?</sup>  
**View Price in Cart**  
~~Everyday Low Price: \$9.59~~

This product qualifies for mail-in rebates! Add this product to the cart for details.

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**Variation:**  
Cypress

\*Prices may vary by variation

13 Variations Found



Description | Accessories | Specifications



Add to Compare

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#### Required Accessories



**3/4" Pocket J-Channel**  
Variation: Colonial White

Please enter your location to get pricing and status for your local store.

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**3/4" Pocket J-Channel**  
Variation: Herringbone

Please enter your location to get pricing and status for your local store.

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**3/4" Pocket J-Channel**  
Variation: Warm Sand

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**3/4" Pocket J-Channel**  
Variation: Autumn Yellow

Please enter your location to get pricing and status for your local store.

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**3/4" Pocket J-Channel**  
Variation: Heritage Cream

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**3/4" Pocket J-Channel**  
Variation: Sandpiper

Please enter your location to get pricing and status for your local store.

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#### Online Availability



- Ship to Home  
*Not eligible for Ship to Home*
- Ship to Store - Free!

Quantity

- \* Minimum order quantity of 22
- \* Must be ordered in increments of 22

Select a Store & Buy

#### Store Availability



Enter Your ZIP Code for Store Information

## Description & Documents

Restoration Smooth™ double 4-1/2"clapboard siding features the industry's smoothest and lowest gloss finish that looks like planed, sealed and painted wood. It also provides premium features such as a StormRoll™ hem for added strength and wind load resistance, GripLock™ oversized lock and STUDfinder™ installation system.

- .044 thickness
- 11 pieces cover 100 Sq. Ft.
- Must be ordered in increments of 22
- Limited lifetime warranty
- Smooth
- 5/8" panel projection
- Class 1(A) fire rating
- Made in the USA

**Dimensions:** 9"H x 12' 1"L



**Technical Specifications:** [view PDF file](#)

To read PDF files, you need the Adobe Acrobat Reader 6.0 or higher. If you don't have it, [click here](#) and download it for free from Adobe's site.

## Specifications

<b>Thickness (in.) :</b> 0.044	<b>Length (in.):</b> 145
<b>Width (in.):</b> 9	<b>Exposure (in.) :</b> 9
<b>Coverage Per Piece (sq. ft.) :</b> 9.06	<b>Pcs. Per 100 Sq. Ft.:</b> 11
<b>Material :</b> Vinyl	<b>Profile:</b> Double 4.5" Clapboard
<b>Warranty :</b> Limited Lifetime	<b>Color:</b> Cypress
<b>Minimum Order Quantity :</b> 22	<b>Package Quantity :</b> 22
<b>Insulated :</b> No	

**Please Note:** Prices, promotions, styles and availability may vary by store and online. While we do our best to provide accurate item availability information, we cannot guarantee in-stock status and availability as inventory is sold and received continuously throughout the day. Inventory last updated 10/7/2014 at 5:00am EST. Online orders and products purchased in-store qualify for rebate redemption. Rebates are provided in the form of a merchandise credit check which can only be used in a Menards store.



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**Barrette Select White Dog-Ear Privacy Vinyl Fence Panel (Common: 72-in x 6-ft; Actual: 70-in x 5.7-ft)**

Item #: 137055 | Model #: 73002114



**\$76.36**

Lifestyle/in use images; accessories are not included

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**FREE Store Pickup**

Your order will be ready for pickup from **Lowe's Of Se Columbia, SC** by **10/21/2014**.

**Lowe's Truck Delivery**

Your order will be ready for delivery to you from **Lowe's Of Se Columbia, SC** by **10/21/2014**.

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Sent by carriers like UPS, FedEx, USPS, etc.

**Barrette Select White Dog-Ear Privacy Vinyl Fence Panel (Common: 72-in x 6-ft; Actual: 70-in x 5.7-ft) \$76.36**

**Description**

Select White Dog-Ear Privacy Vinyl Fence Panel (Common: 72-in x 6-ft; Actual: 70-in x 5.7-ft)

- Assembled panel size is 70-in x 68.25-in
- Coordinating items include: #73013947 post, 73003094 gothic post top, #73013962 decorative rail bracket kit, #73002172 vinyl fence cement - sold separately
- To make a gate, purchase the white gate kit model #73013824 - sold separately
- Panels can be installed to step over terrain
- Bracketed fence posts - sold separately
- 1-in x 6-in board size and 5/16-in spacing between pickets
- No-sag truss system with rails permanently attached to boards
- Heavy-duty, low maintenance vinyl construction
- Transferable limited lifetime warranty

**Specifications**

Type	Privacy	Warranty	Transferrable limited lifetime
Style	Dog-ear	Series	Select
Actual Length (Feet)	5.7	Collection	N/A
Actual Height (Inches)	70	Material	Vinyl
Manufacturer Color	White	Common Height (Inches)	72
Color/Finish Family	White	Common Length (Feet)	6

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
Case #6

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**ADDRESS:** 204 Huger Street

**APPLICANTS:** Philip Mouradjian, property owner

**TAX MAP REFERENCE:** TMS#08913-17-01

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Granby Architectural Conservation District

**NATURE OF REQUEST:** Request for a Certificate of Design Approval for new construction

**FINDINGS/COMMENTS:**

This proposal is for the construction of a new two-story single family residence on a vacant parcel in the Granby Mill Village, which is listed in the National Register of Historic Places and is a City of Columbia Architectural Conservation District. This project is the first entirely new construction proposal in the district since it was created in 2010. The design guidelines for the district state that new construction should mirror the character of the existing historic saltbox mill houses and continue the extreme consistency extant in their form, massing, rhythm of openings, setbacks, roof shapes, and so on. Staff has worked extensively with the applicant to refine the details of the proposal to be more in keeping with the character of the saltbox form that is so prevalent within the Granby Mill Village.

The design of the proposed house utilizes the saltbox roof form, a fenestration pattern consistent with historic mill houses, a 1-story full-façade shed roof porch, five square wood porch supports, and two doors on the façade to promote consistency with the extant saltbox duplex mill houses within the district. The house will feature 6/6 wood or aluminum-clad windows and smooth cement fiberboard siding.

The proximity to the railroad right-of-way as well as the size and shape of the lot upon which the house will be built may affect the placement and setback of the house. The guidelines discourage placing buildings in front of or behind existing façade lines. The applicant may have to request a zoning variance in order for the setback to be in line with the historic saltbox mill house on the adjacent parcel.

## PERTINENT SECTIONS FROM THE GUIDELINES

### SECTION V: GUIDELINES FOR NEW CONSTRUCTION

#### A. PRINCIPLES

*Given the extreme consistency of form and massing in the neighborhood, the impact of new construction will be considerable. The construction of new or replacement structures on any lots will greatly affect the district by either reinforcing or undermining existing historic patterns. Ninety-five percent of the structures in the district are saltbox structures and where they are predominant, any adjacent infill should mirror their character and continue the extreme consistency extant in their form, massing, rhythm of openings, setbacks, roof shapes, and so on. Replacement of or amendment to the few other structure types in the neighborhood should, as always, adhere to the principles below.*

#### B. GUIDELINES

- 1) *Height: The characteristic height in Granby Mills is 1 to 2 stories. Construct new buildings to a height that is compatible with the height of surrounding historic buildings. Where there is extreme consistency in height of structures, adjacent new construction should replicate the height.*

The proposed house will be constructed on a vacant lot on Huger Street between the railroad tracks and an existing historic 1890s saltbox mill house. The design for the new house is based on the saltbox duplex form that helps characterize the district; therefore, it will replicate the height of these structures.

- 2) *Size & Scale: The size and scale of a new building shall be visually compatible with surrounding buildings.*

The size and scale of the proposed house is visually compatible with surrounding buildings. Staff recommends that a scaled drawing be supplied to ensure that the dimensions of the new house are compatible with existing historic houses.

- 3) *Massing: Arrange the mass of a new building (the relationship of solid components such as walls, columns, etc.) to open spaces (such as windows, doors and arches) so that it is compatible with existing historic buildings on the block or street.*

The massing of the proposed house is compatible with existing historic buildings on the block or street. The fenestration pattern on the façade matches those commonly found on historic saltbox mill houses. The fenestration on the right side is slightly different than typically seen but is still compatible.

- *Maintain the character of the streetscape by duplicating massing found in the neighborhood. Particularly important, and what will be a significant factor of the review process, is the massing of buildings found immediately adjacent to new construction.*

The design for the proposed new construction is based on the historic saltbox form of the duplex immediately adjacent to the building site, which means the proposed massing will maintain and reinforce the character of the streetscape.

- 4) *Directional Expression: Site the entrance of the building so that it is compatible with surrounding buildings.*

The directional expression of the proposed house is virtually identical to the duplex next door and is compatible with other surrounding buildings.

- 5) *Setback: Locate the new building on the site so that the distance of the structure from the right of way is similar to adjacent structures. In Granby, houses are typically close to the street with shallow front yards.*

- *Do not violate the existing setback pattern by placing buildings in front of or behind existing façade lines.*

The size and shape of the proposed building site may affect the placement and setback of the house. The site is triangularly shaped and is much narrower on the street side than it is at the rear of the parcel. This type of lot is not uncommon in the district, especially near the railroad tracks. Several houses were built with portions of the buildings extending beyond the designated lot lines and into the railroad right-of-way.

The applicant provided a rough draft site plan for the proposed new construction; however, a setback measurement was not indicated. The historic mill house on the adjacent parcel to the right appears to have a setback of approximately 15 feet. As the guidelines discourage placing buildings in front of or behind existing façade lines, staff recommends situating the building so that it aligns with the house next door. If necessary, the applicant may need to request a zoning variance in order for the setback to be in line with the historic saltbox mill house on the adjacent parcel. Reducing the driveway width may also allow the house to be positioned closer to the street.

- 6) *Sense of Entry: Construct facades with a strong sense of entry. Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. In a large section of Granby, the houses are duplexes and have two front doors and a covered porch at the front entry. On new construction which is within the context of the saltbox style homes, this pattern should be respected and duplicated even if a single family home is being built.*

The proposed house features a 1-story full-façade, shed roof porch supported by five simple square wood posts. This configuration is based on the original saltbox houses found in the district. Although the house will be a single family residence, the proposal shows two front doors that are within the context of the saltbox style.

- 7) *Rhythm of Openings: Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) are visually compatible with historic buildings on the block or street.*
- *Maintain a similar ratio of height to width in the bays of the façade.*
  - *Do not introduce incompatible façade patterns that upset the rhythm of openings established in surrounding structures.*

The rhythm of openings for the proposed house is visually compatible with other historic buildings found in the district. The relationship of width to height of windows and doors, and the rhythm of solids to voids are visually compatible with historic buildings nearby.

- 8) *Roof Shapes: Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. Nearly all of the buildings in Granby have simple pitched roofs with either front or side gables; front porch roofs tend to be either shed roofs or half hip roofs.*
- *Do not introduce roof shapes or pitches that are not found in the area.*

The side elevations show a 10/12 pitch for the primary roof and a similar pitch for the 1-story front porch shed roof; however, the façade elevation shows a lower pitched roof for the porch. The front porch roofs on historic saltbox houses in the district typically have a pitch that is closer to that of the primary roof. Staff recommends increasing the front porch roof pitch to be more visually compatible with other saltbox houses in the district and possibly using the one next door as an example.

- 9) *Outbuildings: Construct garages and storage buildings so that they reflect the character of the existing house and are compatible in terms of height, scale, roof shape, and appropriate scale and massing. Place such buildings away from the primary façade of the building. Do not allow outbuildings to obscure character-defining features of a building. Building materials must be visually compatible with the house and/or historically accurate. Historically accurate materials are preferred. Scale and massing of a new outbuilding should be subordinate to that of the main structure to which it is associated.*

No outbuildings are proposed at this time.

- 10) *Materials, Texture and Details: Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street. When selecting architectural details, consider the scale, placement, profile, and relief of details on surrounding structures for the basis of design decisions. Architectural detailing on Granby homes tends to be very minimal and simplicity should be a key element to any new construction, both in massing and detailing. In Granby, there is a preponderance of wood siding; therefore, the use of brick or stucco for siding would be inappropriate. Wood or cement fiberboard will be the preferred siding. Consideration should be given to board size, width of exposure, length, and trim detail such as corner boards on adjacent historic structures for specifications of any new material.*

**Entire house:** Plastic, vinyl or PVC products are not permitted for any architectural feature as these products are not visually compatible with historic materials.

**Windows:** The applicant is proposing 6/6 wood or aluminum-clad wood windows with exterior muntins. Staff recommends using windows with 5/8" putty glazed muntin profiles to be visually compatible with historic windows in the district. All windows will be trimmed out with simple headers and surrounds to be visually compatible with other saltbox houses in the district. Materials used for trim will be wood or smooth cement fiberboard products to comply with the guidelines.

**Walls:** The elevations submitted to staff show smooth horizontal cement fiberboard siding with fascia, cornice, and corner boards constructed of wood or cement fiberboard products. The applicant did not specify the reveal of the siding, but staff would recommend a reveal of approximately 4.5" to be consistent with the beveled wood siding originally used on the historic saltbox houses in the district.

**Doors:** The façade elevation shows two doors which is a common rhythm seen in the district. The proposed doors are a 6-panel design, which staff would recommend changing to a 4-panel or a half-glass over 2-panel design to be closer to the original configuration of the historic saltbox houses. The doors will be constructed of wood or insulated fiberglass. Frosted, leaded or stained glass is not consistent with the character of the neighborhood; therefore, any glass used in the doors will be clear.

**Porch columns:** The proposed columns feature simple square porch supports constructed of wood and may be wrapped with smooth cement fiberboard. The porch floor will feature tongue and groove wood boards.

**Foundation:** The house will feature a brick foundation.

**Fencing:** Staff will work out any fence and gate details with the applicant if required as fences and walls can be reviewed by staff.

**Driveway:** A concrete driveway will be placed on the right side of the house and will terminate into a parking area at the rear of the house. The maximum total width of the driveway is 12 feet per City ordinance; however, the applicant may have to reduce the width of the driveway for the setback to be in line with the house on the adjacent parcel.

#### **STAFF RECOMMENDATIONS:**

*Staff finds that the proposed new construction generally complies with Section V: Guidelines for New Construction and **recommends granting a Certificate of Design Approval** for a new two-story single-family residence at 204 Huger Street with the following conditions:*

- Setback of the house shall be flush with 200-202 Huger Street
- Smooth horizontal cement fiberboard siding shall be used with a reveal of approximately 4.5"
- Windows shall be 6/6 wood or aluminum-clad with 5/8" exterior muntins
- The front porch roof pitch shall be increased to be more visually compatible with historic saltbox houses in the district
- Front doors shall be wood or insulated fiberglass with a 4-panel design, or a half-glass over 2-panel design with optically clear glass
- All details deferred to staff.



204 Huger Street – Proposed site for new construction



200-202 Huger Street – ca. 1890s historic saltbox mill house



204 Huger Street – Proposed building site and existing retaining wall



204 Huger Street – View showing proximity to railroad crossing



325 Piccadilly Street – Example of 1890s historic saltbox with wood siding

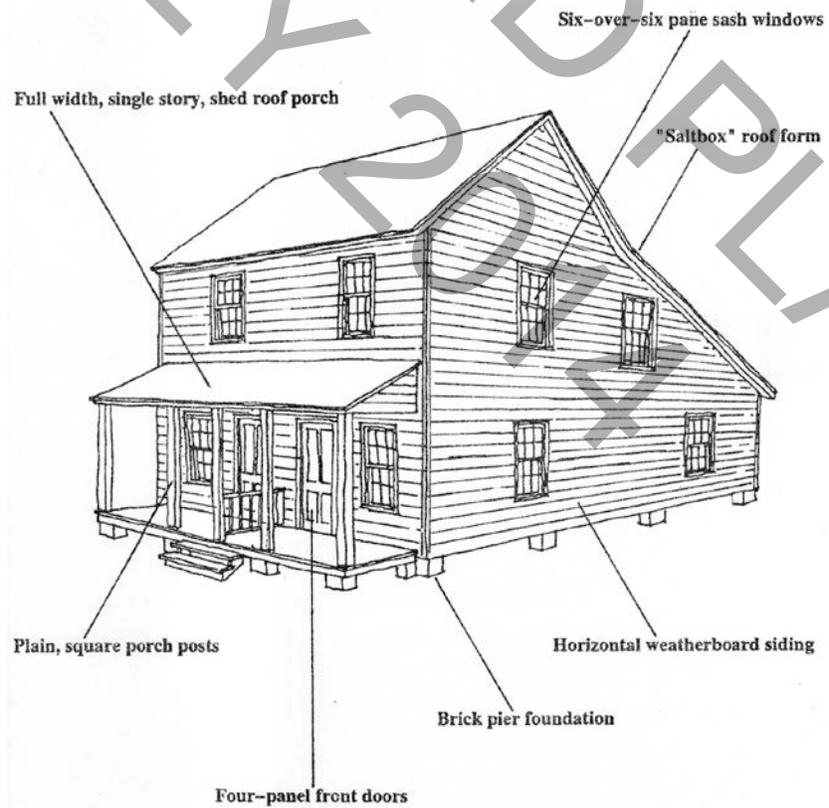
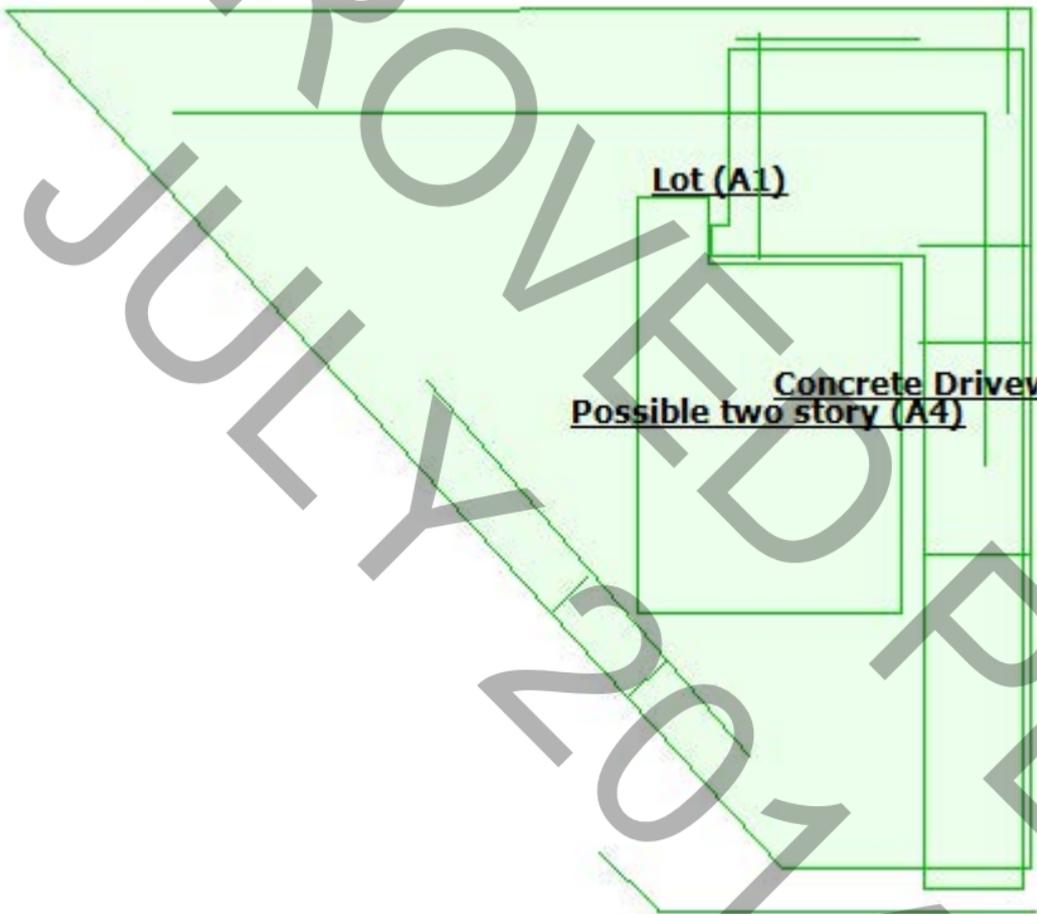


Diagram showing original saltbox configurations



Lot (A1)

Concrete Driveway (A3)  
Possible two story (A4)

