

D/DRC Case

1319 Summerville Avenue

Cottontown/Bellevue Architectural Conservation District

TMS: 09113-02-06

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
CONSENT AGENDA
EVALUATION SHEET
Case #2

ADDRESS: 1319 Summerville Avenue

APPLICANT: Michael Haigler, Owner Agent

TAX MAP REFERENCE: TMS#09113-02-06

USE OF PROPERTY: Residential

REVIEW DISTRICT: Cottontown/Bellevue Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for exterior changes and preliminary certification for the Bailey Bill.

FINDINGS/COMMENTS:

The two-story Prairie style house located at 1319 Summerville Avenue was built in ca. 1925 and is a contributing structure in the Cottontown/Bellevue Architectural Conservation District. Significant architectural features on the primary façade include the original 9/1 and 8/1 historic wood windows, square brick porch piers with column supports, and port cochere. Except for the enclosure of a portion of the front porch, and an exterior metal stair located on the west side of the home running to an exterior second floor door, the exterior of the house has remained relatively unchanged over the years and retains a high degree of architectural integrity. The owners intend to rehabilitate the building while retaining and preserving its historic character. They are proposing to remove an exterior metal stair used to access the apartment on the second floor, open up a previously enclosed portion of the front porch, and add a one-story addition to the rear of the property.

The applicants are requesting preliminary certification for the Bailey Bill for a rehabilitation proposal that includes returning the dwelling into a single family house, rather than the duplex configuration it is currently, adding an interior stair, replacing the HVAC, updating the electrical and plumbing systems and all work associated with opening up the currently enclosed front porch. The removal of historic materials or alterations of features and spaces that characterize the property shall not be permitted.

The applicant estimated that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible for the Bailey Bill. Any work done prior to receiving preliminary certification for the Bailey Bill by the D/DRC will not be included in the cost estimate used to determine eligibility. Any expenses relating to the construction of the proposed addition will not count towards Bailey Bill expenditures.

PERTINENT SECTIONS FROM GUIDELINES

SECTION VI: Guidelines for Additions/Enclosures to Existing Buildings

A. PRINCIPLES

It is often necessary to increase the space of a building in order for it to continue to adapt to the owner's needs. Over time, a family's/business's space needs change and, in order to accommodate these needs, a building may need to be enlarged. While these additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

Additions shall not significantly alter original distinguishing qualities of buildings such as the basic form, materials, fenestration, and stylistic elements. They shall be clearly distinguished from original portions of the building and shall result in minimal damage to it. Character defining features of the historic building shall not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. The size and scale of the new addition shall be in proportion to the historic portion of the building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of the building. They should be constructed so that if removed in the future, the essential form and integrity of the building will be unimpaired.

B. GUIDELINES

Additions

1. Site additions so that they do not detract from or obstruct important architectural features of the existing building or others around it, especially the principle façade.

The new rear addition will be one story in height and set back from the principle façade.

2. Design additions to be compatible with the original structure in materials, style and detailing.

The new addition will be compatible with the original structure in materials, style and detailing.

3. Limit the size and scale of additions so that the integrity of the original structure is not compromised.

The addition will be limited to one story and will have a smaller footprint than the first floor of the original house.

4. Additions are also subject to the guidelines for new construction.

SECTION VII: Guidelines for Maintenance & Rehabilitation

A. General Principles

Rehabilitation is a practical approach to historic preservation. It is the process of repairing or altering a historic building while retaining its historic features. It represents a compromise between remodeling, which offers no sensitivity to the historic features of a building, and restoration, which is a more accurate but costly approach to repair, replacement, and maintenance.

GUIDELINES

1. DOORS

a. Principles

Significant features such as doors and entrances should be preserved wherever possible. Changes to door size and configuration should be avoided. Replacement doors should either match the original or substitute new materials and designs sympathetic to the original.

Sometimes new entrances are required for practical reasons or to satisfy code requirements. Placement of new entrances on principal facades should be avoided. New entrances can result in loss of historic fabric and detailing and change the rhythm of bays. New entrances should be compatible with the building and be located on side or rear walls that are not readily visible from the public right-of-way. If a historic entrance

cannot be incorporated into a contemporary use for the building, the opening and any significant detailing should, nevertheless, be retained.

b. Guidelines

i. Install new openings so that they carry on the same rhythm of existing openings and are compatible in size, materials and design.

The new opening for the doors leading out of the rear addition will be compatible in size, materials and design.

ii. Retain and repair historic door openings, doors, screen doors, trim, and details such as transom, sidelights, pediments, and hoods, where they contribute to the architectural character of the building.

All original doors and related features will be retained. The non-historic door opening on the exterior of the second floor on the west elevation will be in-filled with matching siding to blend with the rest of the elevation.

iii. Replace missing or deteriorated doors with doors that closely match the original, or that are of compatible contemporary design.

Not Applicable

iv. Place new entrances on secondary elevations away from the main elevation. Preserve non-functional entrances that are architecturally significant.

The rear addition will have new doors, which will match the original doors and open to the back of the property.

v. Add simple or compatibly designed wooden screen doors when necessary.

2. WINDOWS

a. Principles

Windows are a significant character-defining feature of any structure. They are like a piece of good furniture. Original windows were constructed so that individual components could be repaired, instead of requiring an entire new unit if one piece breaks or rots. This often means that an existing, historic window can be repaired for far less cost than a replacement. See the resource section for instructions on window repair and upgrade.

Repair of a historic window is the best first step when confronted with a damaged or deteriorated unit. If after careful evaluation, window frames and sash are so deteriorated they need replacement, new windows may be installed.

Replacement windows must be selected with care. They should generally match the original sash, pane size, configuration, glazing, materials, muntin and mullion detailing, and profile. Small differences between replacement and historic windows can make big differences in appearance.

If 50% or more are deteriorated or missing, then wholesale replacement of windows is allowable. When choosing replacements, the qualities of the original windows should be used as criteria. Consider the following features of the original:

- trim detail;
- size, shape of frame, sash;
- location of meeting rail;
- reveal or set-back of window from wall plane;
- materials, reflective qualities of glass.
- muntin, mullion profiles, configuration.

The new windows need not be exact replicas of the originals. In the Cottontown/Bellevue Architectural Conservation District, it is appropriate to substitute a

window configuration found during the home's period of significance for the original. For instance, many homes have four slender panes over a single pane.

b. Guidelines

i. When technically and economically feasible, repair of deteriorated or damaged windows shall be preferred over replacement.

Overall, windows are in good condition and will be retained. When the porch is opened up, wood windows located in that portion will be utilized in the addition.

ii. If replacement of a small number of units is deemed necessary after evaluating the sill, frame, sash, paint and wood surface, hardware, weather-stripping, stops, trim, operability, and glazing, replace with units that match the original in detailing, size, reflective quality, and materials.

Not Applicable

iii. If wholesale replacement is found to be necessary, either match the original unit or substitute a unit appropriate to the home's period of significance, maintaining the use of historic materials where possible. Replacement windows should either match the original or substitute new materials sympathetic to the original. At the time of publication of these Guidelines, wood and aluminum clad windows are the most appropriate replacement materials. The usage of other materials, including vinyl, will be reviewed and evaluated based upon their compatibility/appropriateness with the historically accurate materials. All approved materials must be a good visual substitute to wood/the historically accurate material. Every material reviewed shall be evaluated based on the detailing, size, reflective quality, and materials when compared to wood and the original unit. The items listed below will be used to determine the appropriateness of proposed windows and materials.

- *trim detail;*
- *size, shape of frame, sash;*
- *location of meeting rail;*
- *reveal or set-back of window from wall plane;*
- *materials, reflective qualities of glass.*
- *muntin, mullion profiles, configuration.*

Not Applicable

iv. Improve the thermal performance of existing windows and doors through adding or replacing weather stripping and adding storm windows which are compatible with the character of the building and which do not damage window frames.

Not Applicable

7. PORCHES

a. Principles

Porches serve as a covered entrance to buildings and a transitional space between the interior and exterior and are an important design feature on a house. They are often the principal location for ornamentation and detailing, such as brackets, posts and columns, and balustrades. Size, style, ornateness or simplicity, sense of openness, and detailing are all important attributes of porches. Such features should be preserved during the course of rehabilitating a building.

Because they are open to the elements, porches also require frequent maintenance and repair. Deteriorated porch features should be repaired rather than replaced. If replacement proves necessary, replacement features and materials should approximate the originals as closely as possible. If wholesale replacement is required, the new porch should be rebuilt based on historical research and physical evidence. If a porch or individual features of it are missing and no documentation or physical evidence is available, a new porch design that is compatible with the scale, design, and materials of the remainder of the building is appropriate. It is appropriate in the Cottontown/Bellevue district to replace missing or deteriorated features with compatible ones found on similar structures in the district.

Owners are often tempted to enclose porches for additional year round living space. Porch enclosures are strongly discouraged, they must be done in an appropriate manner, and will only be permitted after all other options have been examined and determined to not be attainable. Transparent materials, such as clear glass enclosures or screens that are set behind balustrade and structural systems and maintain the visual openness of a porch are permitted.

b. Guidelines

i. Retain porches and steps that are appropriate to a building.

The first floor porch will be returned to its original open configuration by removing non-historic in-fill. The ceiling in the enclosed area is currently beadboard. The beadboard will remain in place after the enclosed porch area is opened back up.

ii. If replacing deteriorated or missing features, it is appropriate to use other homes of the same style and period for the design of the new feature, as long as it is compatible with the structure.

The porch deck is deteriorated in several places. New tongue and groove wood flooring will be pieced in and painted to match. When the porch is opened back up, a new wood balustrade will be added. Those details will be deferred to staff.

iii. If enclosures are undertaken, maintain the openness of porches through the use of transparent materials such as glass or screens. Place enclosures behind significant detailing, so that the detailing is not obscured.

Not applicable.

Pertinent Review Criteria from the Bailey Bill Ordinance

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.

Historic materials will be retained. Historic features, including the port cochere, historic windows, historic chimney, and historic brick piers with wooden columns will remain unchanged.

(2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.

Their goal is to rehabilitate this house to be more in keeping with the historic nature of the district.

(4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.

The port cochere and other distinctive features, including the windows, front door & door surround, chimney, and all brick piers and wooden columns will be retained.

(5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Portions of the tongue & groove porch floor will be replaced and repainted to match existing, due to rot & deterioration.

(6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The applicants are not proposing any sandblasting or other chemical or physical treatments.

(7) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

The proposed addition will be compatible with the massing, size, scale & architectural features of the existing structure.

(8) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The new addition will be added to the rear of the first floor and could be removed in the future.

STAFF RECOMMENDATIONS:

*Staff finds that the proposal meets Section 6 and Section 7. Staff **recommends granting a Certificate of Design Approval** for this project with the following recommendations:*

- *A finalized design and window schedule to be submitted to staff.*
- *The smooth side of proposed hardieplank must be used on addition. No texture.*
- *The paired historic wood windows located on the first floor on the west elevation, closest to the sidewalk, will remain in place.*
- *All details deferred to staff*

*Staff **recommends that 1319 Summerville Avenue be given preliminary certification for the Bailey Bill**, conditional upon qualified rehabilitation expenses meeting or exceeding the 20% investment requirements.*

1319 Summerville Avenue – Cottontown Architectural Conservation District



1319 Summerville Avenue



Rear View of 1319 Summerville Avenue



Side View of 1319 Summerville Avenue



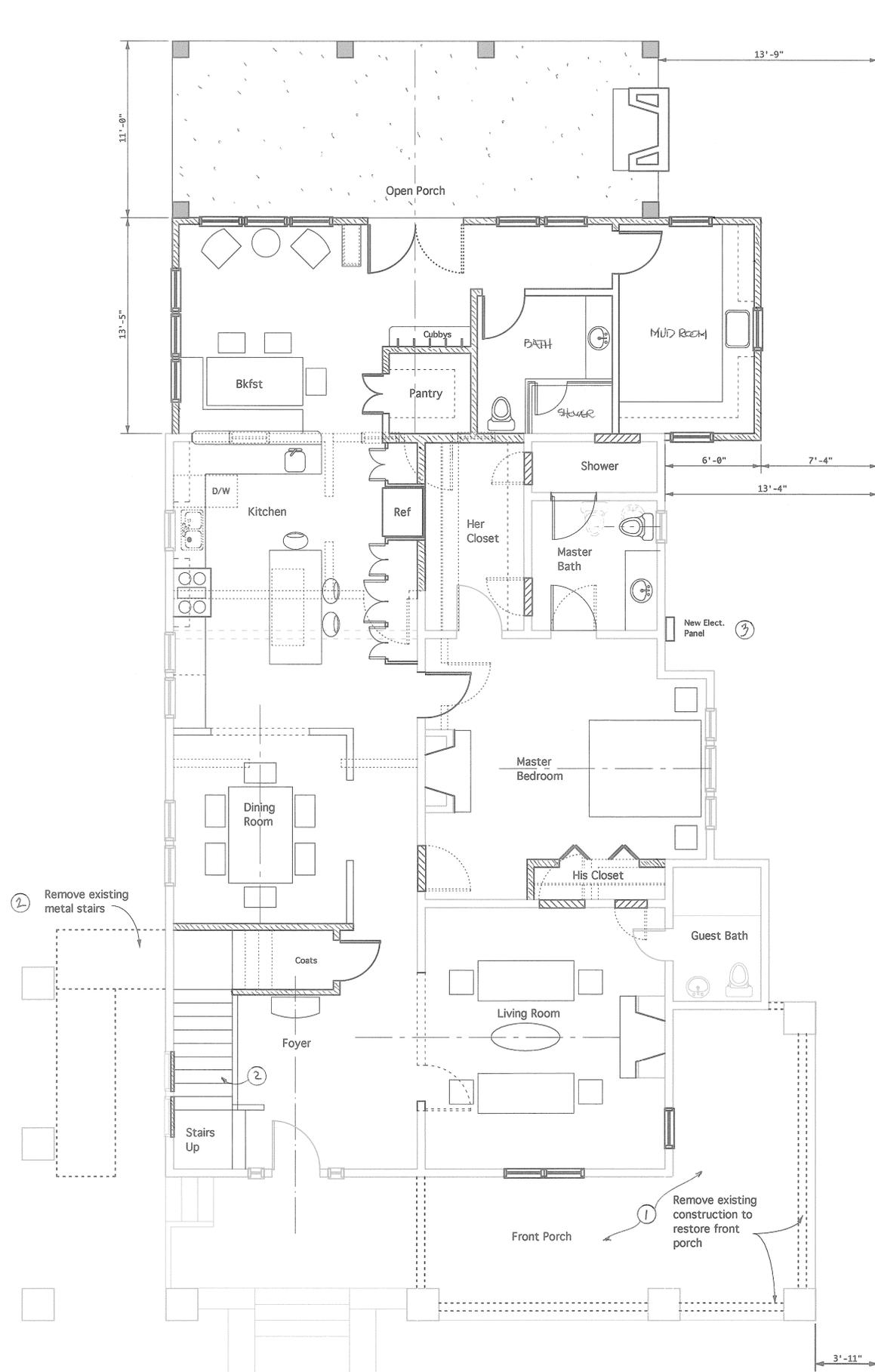
Front Porch of 1319 Summerville Avenue, Front View



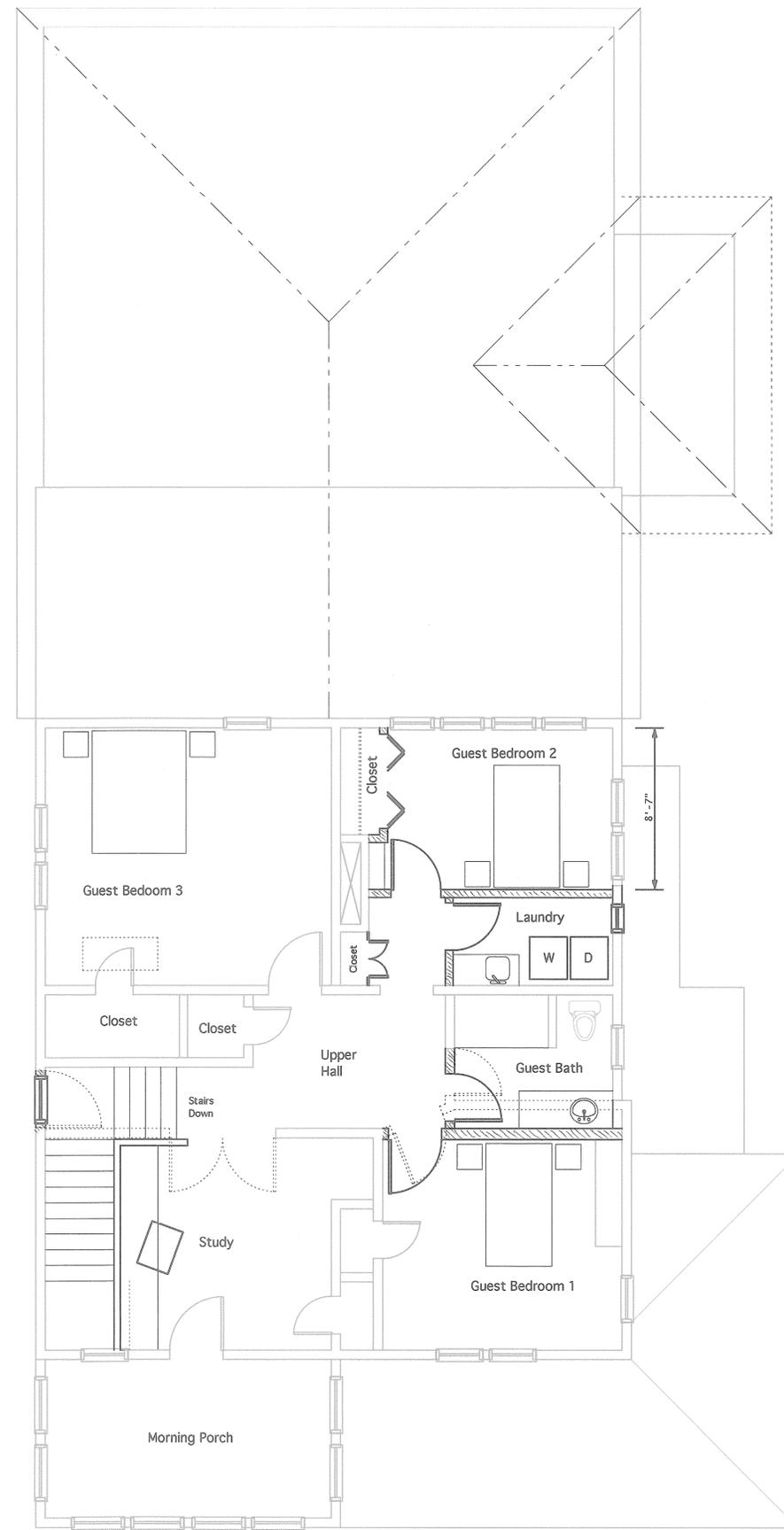
Side View of porch at 1319 Summerville Avenue



Front Porch of 1319 Summerville Avenue, Front View



1 **First Floor Plan**
 1/4" = 1'-0"
 Existing: 2200 + 830 = 3030



2 **Second Floor Plan**
 1/4" = 1'-0"

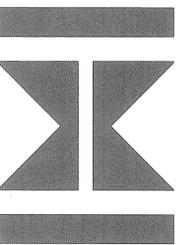
Project: **Swicord Residence**
 1319 Summerville St.
 Columbia, SC

Project:

Sheet Title: **Floor Plans**

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Drawn by: MWH
 Project #: 2014-11
 Date: 9/9/14
 Revisions:

Sheet **A2.0**



1

Front Elevation
1/4" = 1'-0"



2

Rear Elevation
1/4" = 1'-0"



3

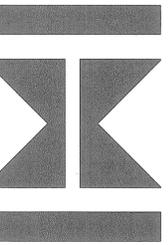
Right Side Elevation
1/4" = 1'-0"

Project: **Swicord Residence**
1319 Summerville St.
Columbia, SC

Sheet Title: **Exterior Elevations**

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Date: 9/9/14
Revisions:

Sheet **A3.0**

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CITY OF COLUMBIA
 PLANNING DEPARTMENT
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Front Porch: Exterior</u> Approximate date of feature <u>1925</u> <u>brick/siding;</u> Describe feature and its condition <u>windows</u> Front porch is currently enclosed, conditioned living space.</p> <p>Photograph No. <u>4-9</u> Drawing No. <u>A2.0 Note ①</u></p>	<p>Describe work and impact on feature</p> <p>Restore porch to original condition by removing framing, vinyl siding, and windows. Porch to be "open" with wood railing plus tongue & groove flooring. Repair damaged brick columns & front steps. Salvage existing windows (?) to be used on addition.</p>
<p>Architectural feature <u>Main stair</u> Approximate date of feature _____ Describe feature and its condition</p> <p>No interior staircase.</p> <p>Photograph No. <u>10-13</u> Drawing No. <u>A2.0 Note ②</u></p>	<p>Describe work and impact on feature</p> <p>Install interior staircase with wood treads to match existing floors. Remove existing exterior metal staircase; fill in door with matching siding...including matching existing soffit.</p>
<p>Architectural feature <u>Mech/Elec/Plumbing</u> Approximate date of feature <u>unk</u> Describe feature and its condition</p> <p>Undersized mechanical Outdated electrical Plumbing in need of repair</p> <p>Photograph No. <u>14-19</u> Drawing No. <u>A2.0 Note ③</u></p>	<p>Describe work and impact on feature</p> <ul style="list-style-type: none"> Update mechanical equipment to more energy efficient model, and size as necessary. Update electrical service (with new breakers and disconnect) to current code. Remove sub-breaker panels on interior and re-locate into new 200 amp service.
<p>Architectural feature <u>Floors/walls/ceilings</u> Approximate date of feature <u>1925</u> Describe feature and its condition</p> <p>Scratched/worn wood flooring. Cracked plaster walls. <u>Water-damaged</u> <u>sheetrock walls.</u> Water-damaged sheetrock ceiling.</p> <p>Photograph No. <u>20-22</u> Drawing No. <u>NA</u></p>	<p>Describe work and impact on feature</p> <p>Refinish existing tongue & groove wood flooring Repair damaged/cracked plaster walls Repair damaged/missing sheetrock ceiling.</p>