
DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case #4

ADDRESS: 2305 Lincoln Street

APPLICANT: James Frost, II, property owner

TAX MAP REFERENCE: TMS# 09012-15-14

USE OF PROPERTY: Residential

REVIEW DISTRICT: Elmwood Park Architectural Conservation District

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes and preliminary certification for the Bailey Bill.

FINDINGS/COMMENTS:

The wood sided 2-story house located at 2305 Lincoln Street was built ca. 1907 and is a contributing structure in the Elmwood Park Architectural Conservation District as well as the Elmwood Park National Register Historic District. The house has sat vacant for some time and needs rehabilitation due to deferred maintenance. It has had relatively few exterior alterations over the years and therefore retains a high level of architectural integrity. The owners intend to rehabilitate the building while retaining and preserving its historic character. They are proposing a second story addition to be installed directly above an existing 1-story addition on the rear. In addition, a new 1-story laundry/mudroom that extends beyond the existing footprint is being proposed.

The applicants are requesting preliminary certification for the Bailey Bill for a rehabilitation proposal that includes retaining and repairing historic architectural features and materials including historic wood columns, windows and siding, repairing the electrical and plumbing systems, replacing the roof, and replacing the HVAC system. The removal of historic materials or alterations of features and spaces that characterize the property shall be avoided. Additional work that will count toward the investment threshold includes structural repairs, siding repair, installing storm windows, and adding attic insulation. Interior work and new construction costs will not be included.

The applicant estimates that qualified rehabilitation expenses for this project will meet or exceed the 20% minimum investment threshold needed to make the project eligible. Any work done prior to receiving preliminary certification for the Bailey Bill by the D/DRC will not be included in the cost estimate used to determine eligibility.

Review of projects in Elmwood Park falls under Section 17-674(d) of the Ordinance. Bailey Bill requirements (Section 17-695) follow these as well, so the language is not duplicated in this evaluation.

Pertinent Sections from the Guidelines

Sec. 17-674 (d) Criteria for review of design of structures and sites.

- (1)b. *In architectural conservation districts and protection areas, the historic character of a district shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.*

The applicant's proposal intends to retain and repair all historic materials on the exterior that are visible from the public right-of-way.

- (5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

The rehabilitation of the roofing, siding, historic wood windows and all other exterior architectural elements will preserve the distinctive features, finishes, and construction techniques.

- (6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

All historic architectural features including windows, siding, and exterior decorative items shall be retained. However, it is expected that a limited amount of water damaged, rotted, and/or deteriorated woodwork may need to be replaced if necessary. Only the deteriorated portion of an otherwise structurally sound feature shall be replaced.

Wholesale replacement is not recommended. Any repairs to areas visible from the public right-of-way must use like materials (i.e., replace wood with wood, metal with metal, brick with brick, stone with stone, etc.). New material shall duplicate the original in size, shape, profile, thickness and texture as closely as possible. Replacement material should consider original characteristics such as board width, length, exposure, and trim detailing.

- (7) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The exterior of the building shall be cleaned using the gentlest methods possible. Low to medium pressure water, non-ionic detergents and natural bristle brushes is the preferred method. High pressure water, harsh chemicals or sandblasting is not permitted. If high pressure equipment is used, it should be regulated to no more than 400psi, or mitigated by using higher degree nozzle tips to produce a wider fan pattern. In addition, the distance between the spray and the historic material should be increased to prevent irreversible damage to historic materials. Nozzle tips that could abrade or destroy historic material should not be used. Any proposed cleaning method should be tested in an inconspicuous area on the building to determine effectiveness and compatibility.

- (8) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The rehabilitation proposal includes adding a second story to a previously enclosed 1-story porch on the rear of the house. It also includes removing an existing non-historic mudroom, open deck and screen porch on the rear to make room for a new 1-story laundry/mudroom with an open deck and rear stoop. The 2-story portion of the addition will utilize the existing footprint of the house while the new 1-story laundry/mudroom will be all new construction beyond the existing footprint. A small portion of the revised bathroom on the right rear corner will bump out as new construction as well.

Staff typically recommends stepping additions in 8"-12" to differentiate the new from the old, but doing so in this case would cause an unusual construction detail for the 2-story addition since it will be placed directly on top of the existing 1-story section of the house. The proposed new 1-story laundry/mudroom addition on the right rear; however, could be stepped in without resulting in any unusual detailing. As proposed, the 1-story addition provides access to the house via a recessed entry/stoop. This area features a narrow wall that is on the same plane as the existing house. Staff recommends recessing this wall slightly to preserve the original right side corner and to differentiate the all-new 1-story addition from the existing house.

Staff also noticed that the proposed recessed entry has an additional header feature shown on the elevations. Staff would recommend removing this element to make the entry/stoop more architecturally compatible with the front porch.

- (9) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed addition will not impair the essential form and integrity of the house. Once constructed, it is unlikely that the second story addition will ever be removed. The smaller 1-story addition would be able to be removed relatively easy in the future if necessary without affecting the original footprint.

For new construction, the standards shall be used in conjunction with the following review items used for new construction in historic districts with established guidelines:

- (8) *Roof shape:* Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings.

The proposed second story addition will utilize a half-hip roof with a 4/12 pitch that appears to continue the form of the existing 1-story section. Main roof pitches in the district are typically no less than 6/12, so the 4/12 pitch could be increased slightly to be more compatible with other houses in the district. Perhaps a 6/12 hip roof with a center ridgeline would work as well. Staff would be happy to work with the applicant on exploring these options. The new 1-story addition will feature a half-hip roof with a 4/12 pitch. All roofing surfaces will feature architectural shingles.

- (9) *Materials, textures, details:* Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street.

Entire house: Plastic, vinyl or PVC products are not permitted for any architectural feature.

Windows: The applicant is repairing the existing wood windows and adding storm windows for energy efficiency. Staff recommends relocating the original windows on the rear of the house to the new second story addition. Any new windows on the additions shall be 2/2 wood windows with exterior muntins to match the existing historic windows.

Walls: The existing historic wood siding on the house shall be retained, repaired, and painted. The walls of the addition shall be horizontal wood siding to match the thickness and reveal of the historic wood siding. Wood corner boards and trim shall be used to demarcate the building's original corners. Cement fiberboard may be used on areas that are not visible from the public right-of-way.

Shutters: The house does not currently feature shutters and the applicant has not proposed installing them at this time.

Door: The existing front door is not original. The applicant would like to replace the door with one that is more compatible with the style of the house and more consistent with historic houses in the district. Staff recommends using a wood half- to three-quarter glass door. Frosted, leaded or stained glass is not consistent with the character of the neighborhood.

Porch columns: The existing porch columns will be retained and repaired. The existing balustrade is missing balusters and is spaced too far apart to meet current building codes. Staff will work with the applicant on determining the best approach for a new balustrade with appropriately sized turned balusters.

Foundation: The 1-story laundry/mudroom addition will require a new foundation. Staff recommends a brick foundation to match the existing historic brickwork.

Fencing: Staff will work out any fence and gate details with the applicant as fences and walls can be reviewed by staff.

Driveway: No plans to revise the existing driveway have been submitted.

STAFF RECOMMENDATIONS:

*Staff finds that the proposal meets Section 17-674 (d) Criteria for review of design of structures and sites, and **recommends granting a Certificate of Design Approval** for 2305 Lincoln Street with the following conditions:*

- *All historic architectural features including columns, windows, siding, and exterior decorative items shall be retained*
- *The right side wall of the 1-story laundry/mudroom shall be stepped in a minimum of 8" to differentiate the all-new addition from the existing house*

- *The additional header feature on the new side entry/ stoop shall be removed to be more architecturally compatible with the front porch*
- *The walls of the addition(s) shall be horizontal wood siding to match the thickness and reveal of the historic wood siding*
- *Any new windows on the additions shall be 2/2 wood windows with exterior muntins to match the existing historic windows*
- *All details deferred to staff.*

Staff recommends that 2305 Lincoln Street be given preliminary certification for the Bailey Bill, conditional upon qualified rehabilitation expenses meeting or exceeding the 20% investment requirements.

2305 Lincoln Street – Elmwood Park Architectural Conservation District



2305 Lincoln Street – façade



2305 Lincoln Street – left side view

2305 Lincoln Street – Elmwood Park Architectural Conservation District

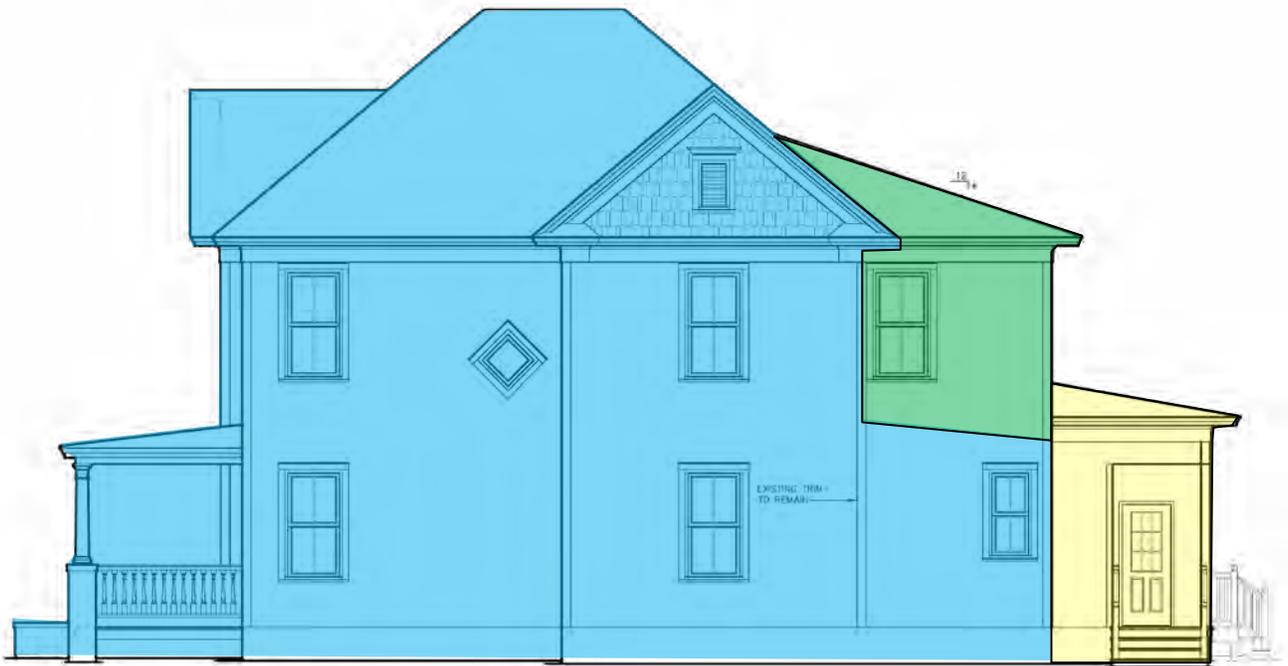


2305 Lincoln Street – right side view



2305 Lincoln Street – rear view of non-historic screened porch

2305 Lincoln Street – Elmwood Park Architectural Conservation District



RIGHT ELEVATION 1/8" = 1'-0"

2305 Lincoln Street – Proposed additions



Existing house form



Proposed second story addition above existing 1-story enclosed porch



Proposed 1-story addition beyond existing building footprint

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
 REHABILITATED HISTORIC PROPERTY APPLICATION
 PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

<p>Architectural feature <u>Wood Siding</u> Approximate date of feature <u>1910</u> Describe feature and its condition Several rotten boards need replacing. All exterior paint chipping and needs replaced</p> <p>Photograph No. _____ Drawing No. <u>A2/A5</u></p>	<p>Describe work and impact on feature</p> <p>Replace rotten boards Repaint and properly treat the wood before. Will drastically improve appearance.</p>
<p>Architectural feature <u>Wood Windows</u> Approximate date of feature <u>1910</u> Describe feature and its condition Need re-glazing Add new storm windows</p> <p>Photograph No. _____ Drawing No. <u>A2/A5</u></p>	<p>Describe work and impact on feature</p> <p>Re-glaze all exterior windows Replace all storm windows</p>
<p>Architectural feature <u>Mechanical</u> Approximate date of feature <u>N/A</u> Describe feature and its condition System is currently inoperable</p> <p>Photograph No. _____ Drawing No. <u>A3</u></p>	<p>Describe work and impact on feature</p> <p>Replace mechanical w/ new 5 ton unit and ductwork</p>
<p>Architectural feature <u>Main Stair</u> Approximate date of feature <u>1910</u> Describe feature and its condition Poor condition</p> <p>Photograph No. _____ Drawing No. <u>A3</u></p>	<p>Describe work and impact on feature</p> <p>Re-paint and re-finish floors of stairwell</p>

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>Plumbing</u> Approximate date of feature <u>N/A</u> Describe feature and its condition <p style="font-size: 1.2em; margin-top: 10px;">Plumbing needs updating</p>	Describe work and impact on feature <p style="font-size: 1.2em; margin-top: 10px;">Update plumbing lines</p>
Photograph No. _____ Drawing No. <u>A3</u>	
Architectural feature <u>Walls</u> Approximate date of feature <u>1910</u> Describe feature and its condition <p style="font-size: 1.2em; margin-top: 10px;">Remaining plaster to be replaced</p>	Describe work and impact on feature <p style="font-size: 1.2em; margin-top: 10px;">Replace plaster with sheetrock</p>
Photograph No. _____ Drawing No. <u>A3</u>	
Architectural feature <u>Fireplaces</u> Approximate date of feature <u>1910</u> Describe feature and its condition <p style="font-size: 1.2em; margin-top: 10px;">Paint, clean & restore all fireplaces</p>	Describe work and impact on feature <p style="font-size: 1.2em; margin-top: 10px;">Paint, clean & restore all 4 fireplaces where needed</p>
Photograph No. _____ Drawing No. <u>A3</u>	
Architectural feature <u>Floors</u> Approximate date of feature <u>1910</u> Describe feature and its condition <p style="font-size: 1.2em; margin-top: 10px;">Refinish hardwood floors</p>	Describe work and impact on feature <p style="font-size: 1.2em; margin-top: 10px;">Refinish hardwood floors, where needed</p>
Photograph No. _____ Drawing No. <u>A3</u>	

**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

2305 Lincoln Street, Columbia, SC 29201



Exterior Elevations Pictures

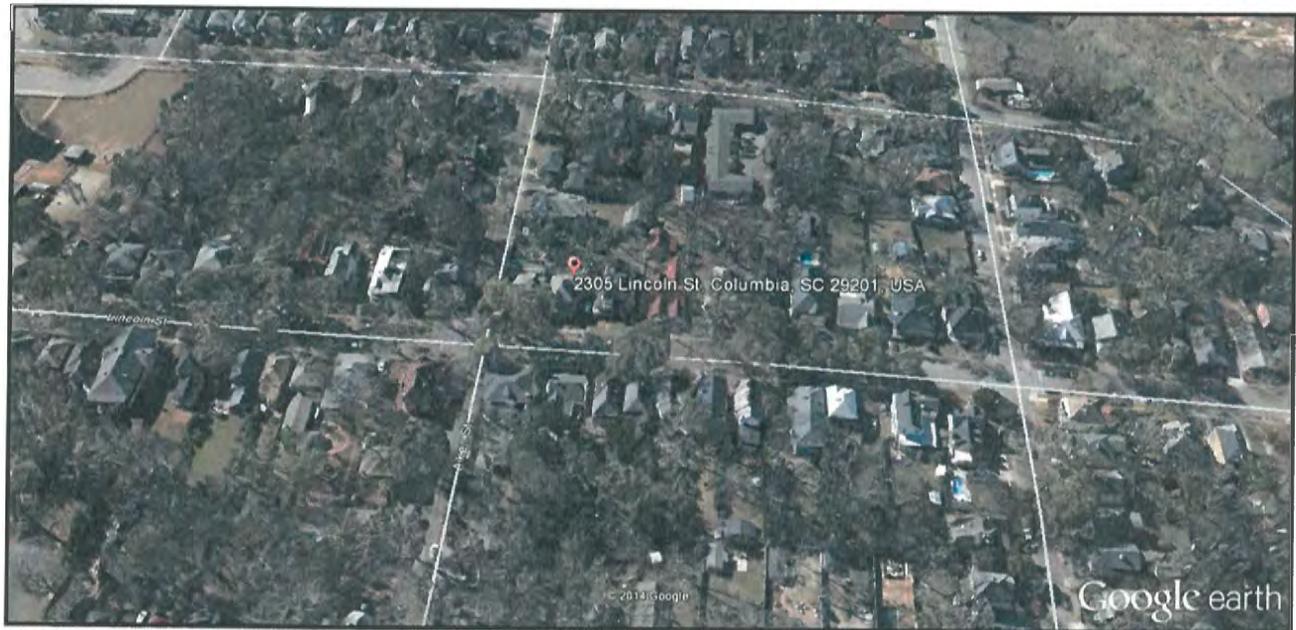
2305 Lincoln Street, Columbia, SC 29201



10

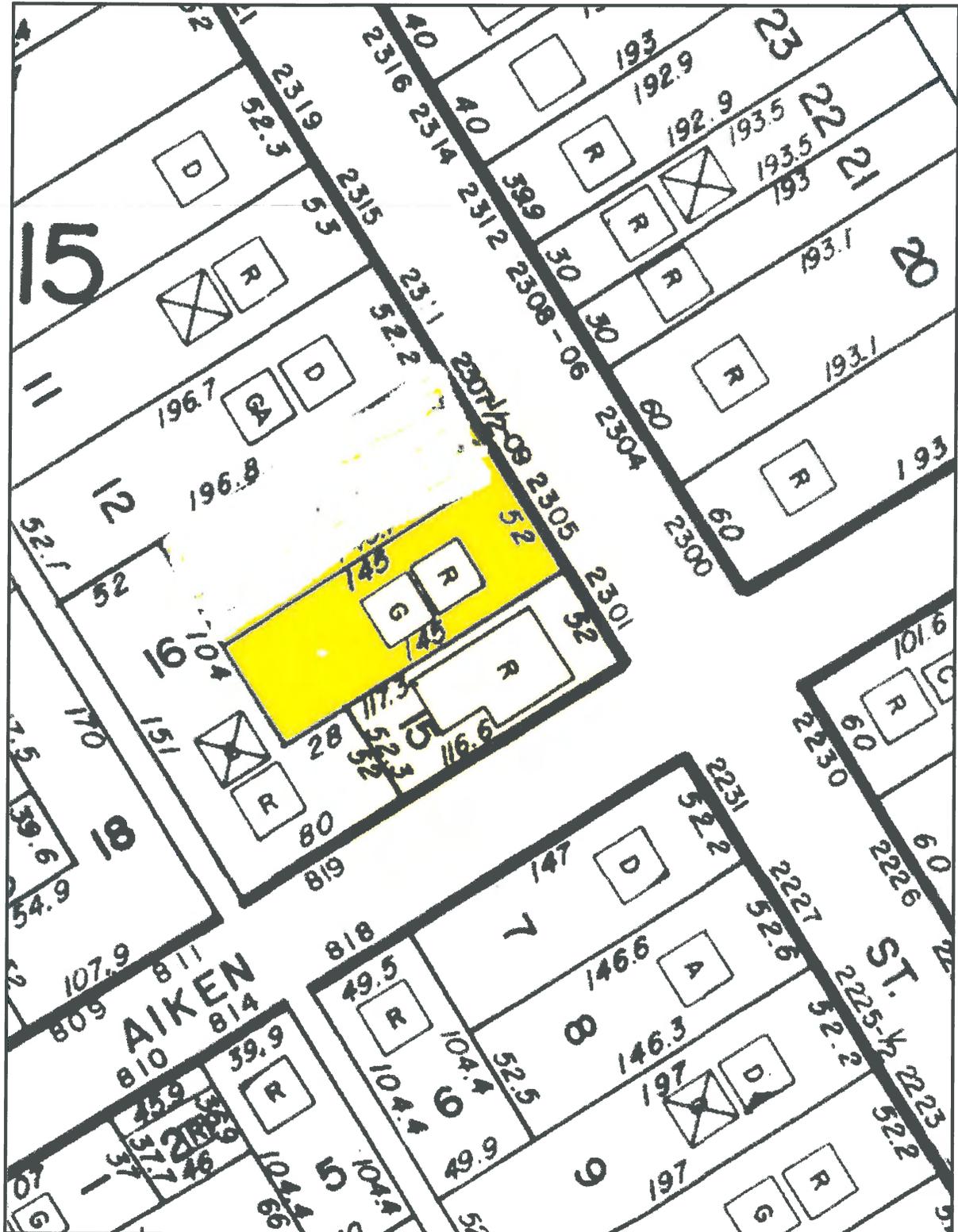
Aerial Photo

Client	SouthEastern Evaluation						
Property Address	2305 Lincoln St						
City	Columbia	County	Richland	State	SC	Zip Code	29201
Lender/Client	First Community Bank						



Tax Map

Client	SouthEastern Evaluation						
Property Address	2305 Lincoln St						
City	Columbia	County	Richland	State	SC	Zip Code	29201
Lender/Client	First Community Bank						



Subject Photograph Addendum

Client	SouthEastern Evaluation						
Property Address	2305 Lincoln St						
City	Columbia	County	Richland	State	SC	Zip Code	29201
Lender/Client	First Community Bank						



Front View



Rear View



Street Scene



Kitchen



Family Room



Bathroom (1)



Bedroom



Bathroom (2)



Bedroom



Bedroom



Left Side View

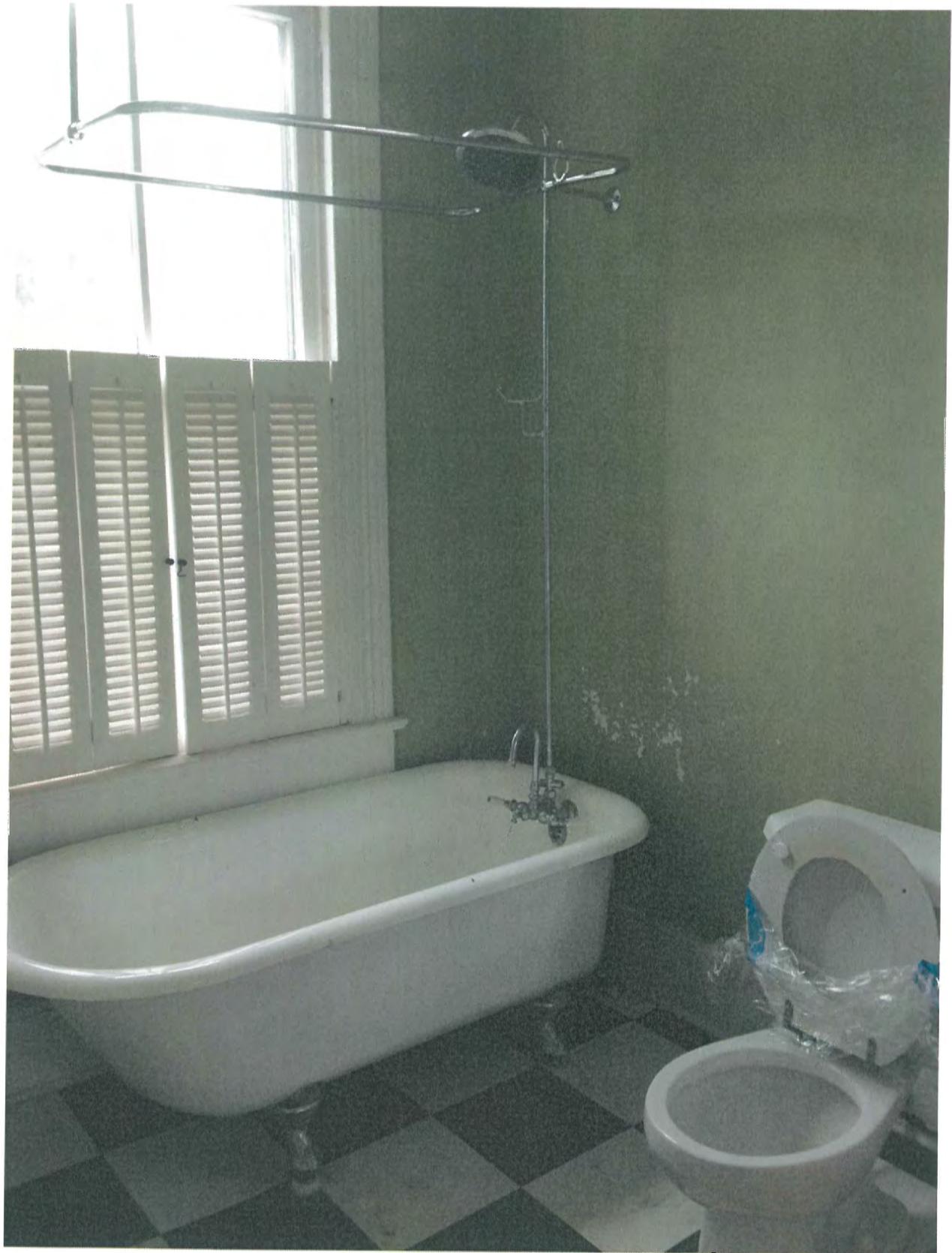


Right Side View

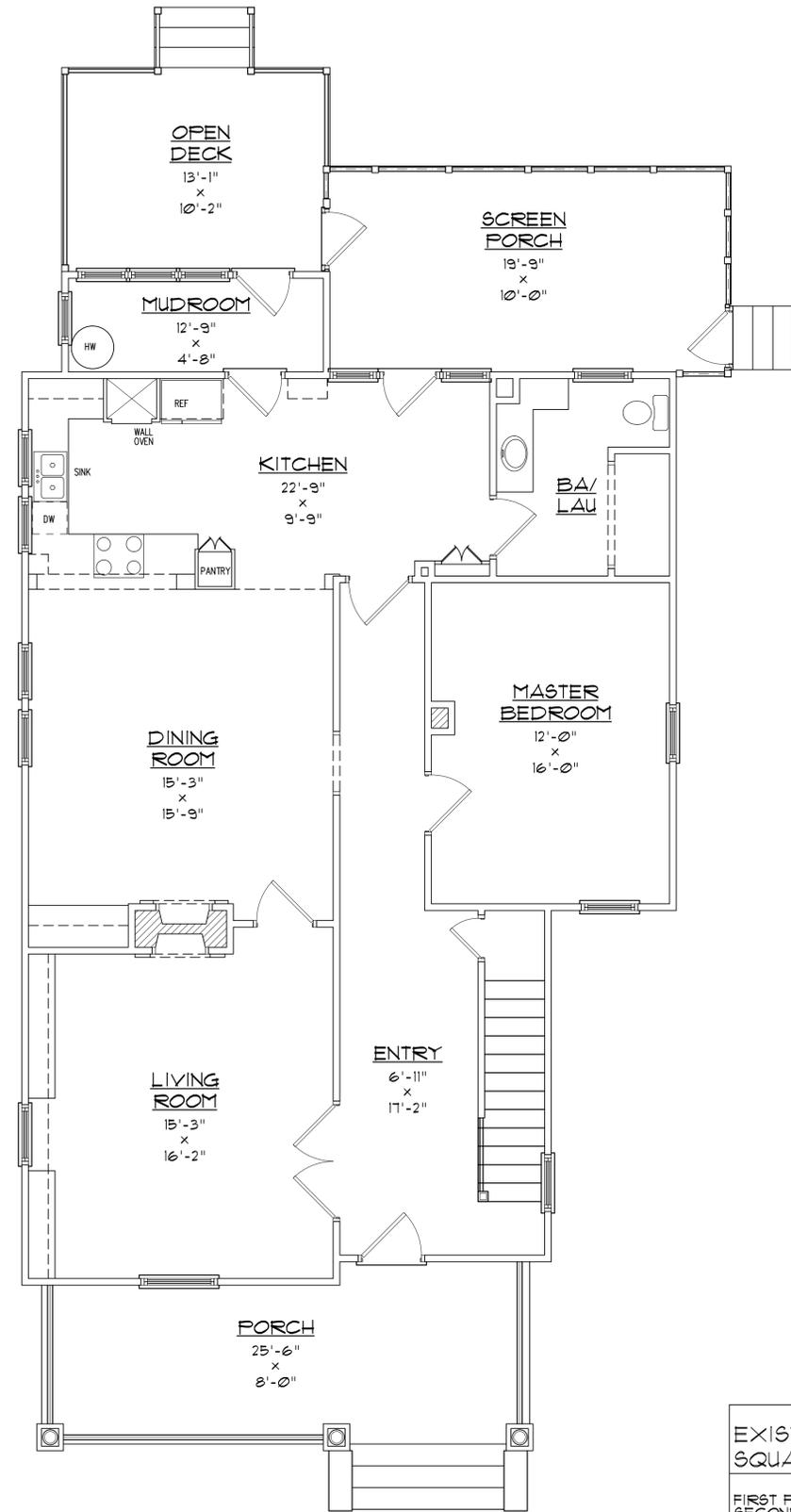






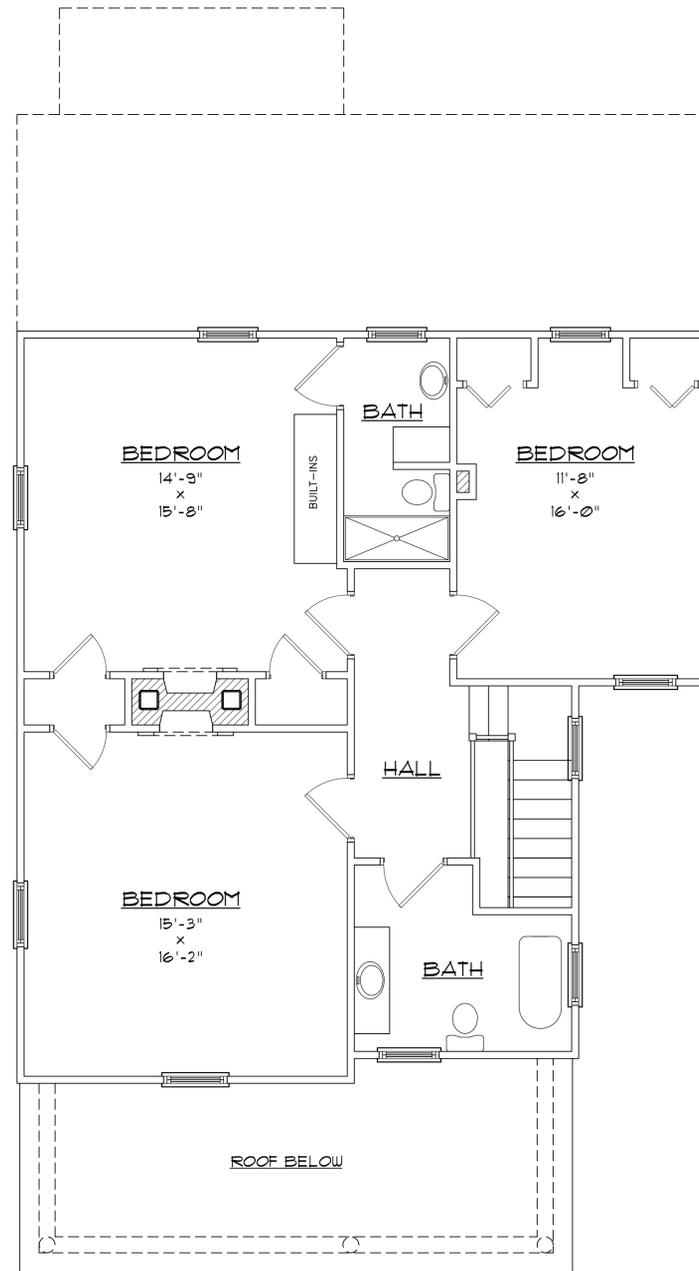






FIRST FLOOR PLAN 1/4"=1'-0"

EXISTING SQUARE FOOTAGE:	
FIRST FLOOR	1428 SQ. FT.
SECOND FLOOR	1029 SQ. FT.
TOTAL	2457 SQ. FT.
FRONT PORCH	204 SQ. FT.



SECOND FLOOR PLAN 1/4"=1'-0"

JOB NAME

PRIVATE RESIDENCE

© 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED

SHEET DESCRIPTION

EXISTING FLOOR PLANS

DRAWN BY	MJD
CHECKED BY	MJD
JOB NUMBER	202231
DATE	9.16.14
DRAWING CODE	EFL
SHEET NUMBER	A-1

DAV
ARCHITECTURE

24 OFFICE PARK COURT
COLUMBIA SC 29233
803.699.0844
803.403.8981 FAX
MDAVIS@DAVISARCHITECTURE.COM



8'-5" FIN. WIN. HGT.
 10'-1 1/2" CL. NG./FLT. HGT.
 (AT FIRST FLOOR)

8'-2" FIN. WIN. HGT.
 9'-7" CEILING HGT.
 (AT SECOND FLOOR)

EXISTING
 FRONT ELEVATION 1/4"=1'-0"



EXISTING
 RIGHT ELEVATION 1/4"=1'-0"



8'-5" FIN. WIN. HGT.
 10'-1 1/2" CL. NG./FLT. HGT.
 (AT FIRST FLOOR)

8'-2" FIN. WIN. HGT.
 9'-7" CEILING HGT.
 (AT SECOND FLOOR)

EXISTING
 LEFT ELEVATION 1/4"=1'-0"

JOB NAME

PRIVATE RESIDENCE

© 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED

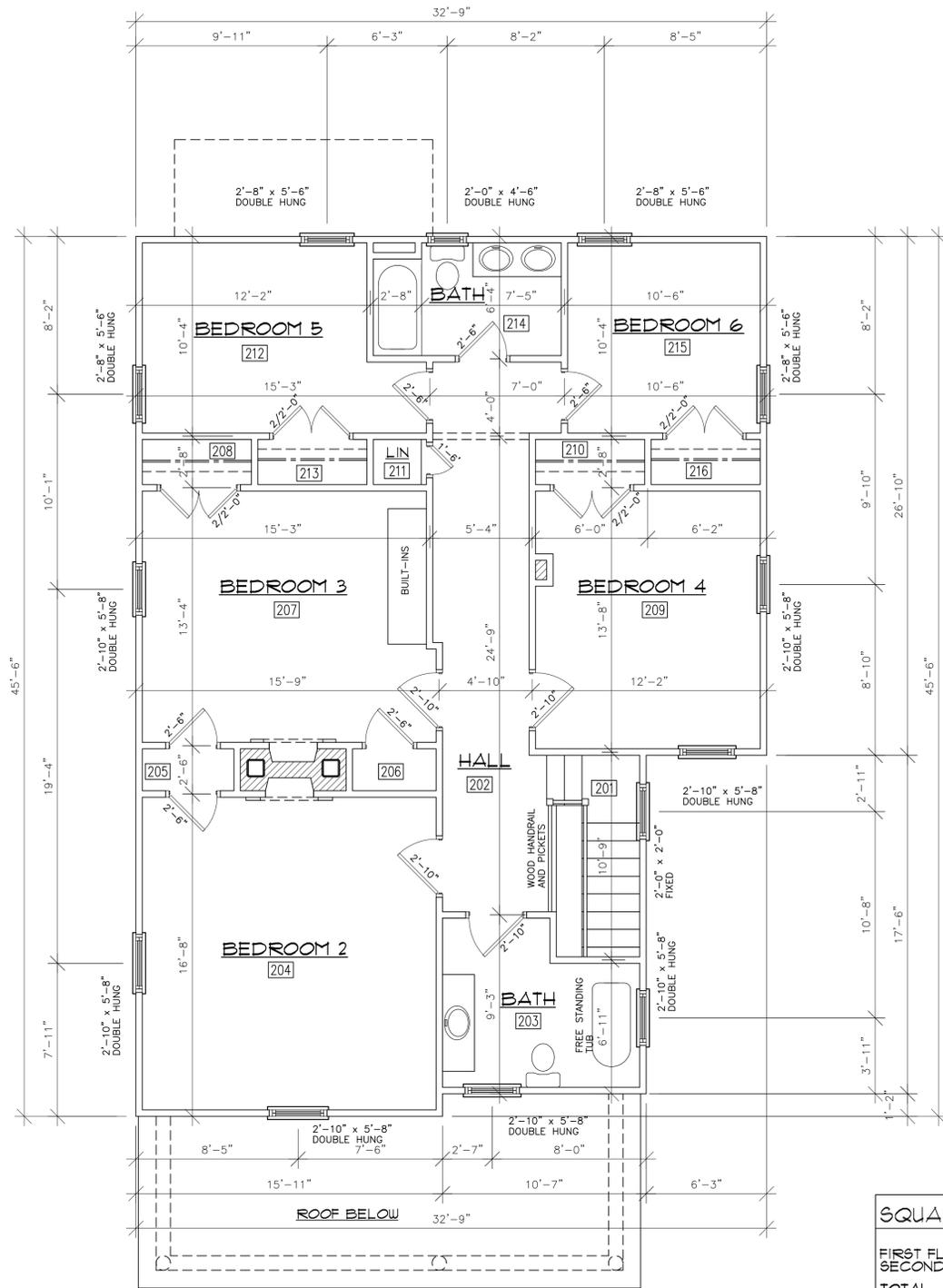
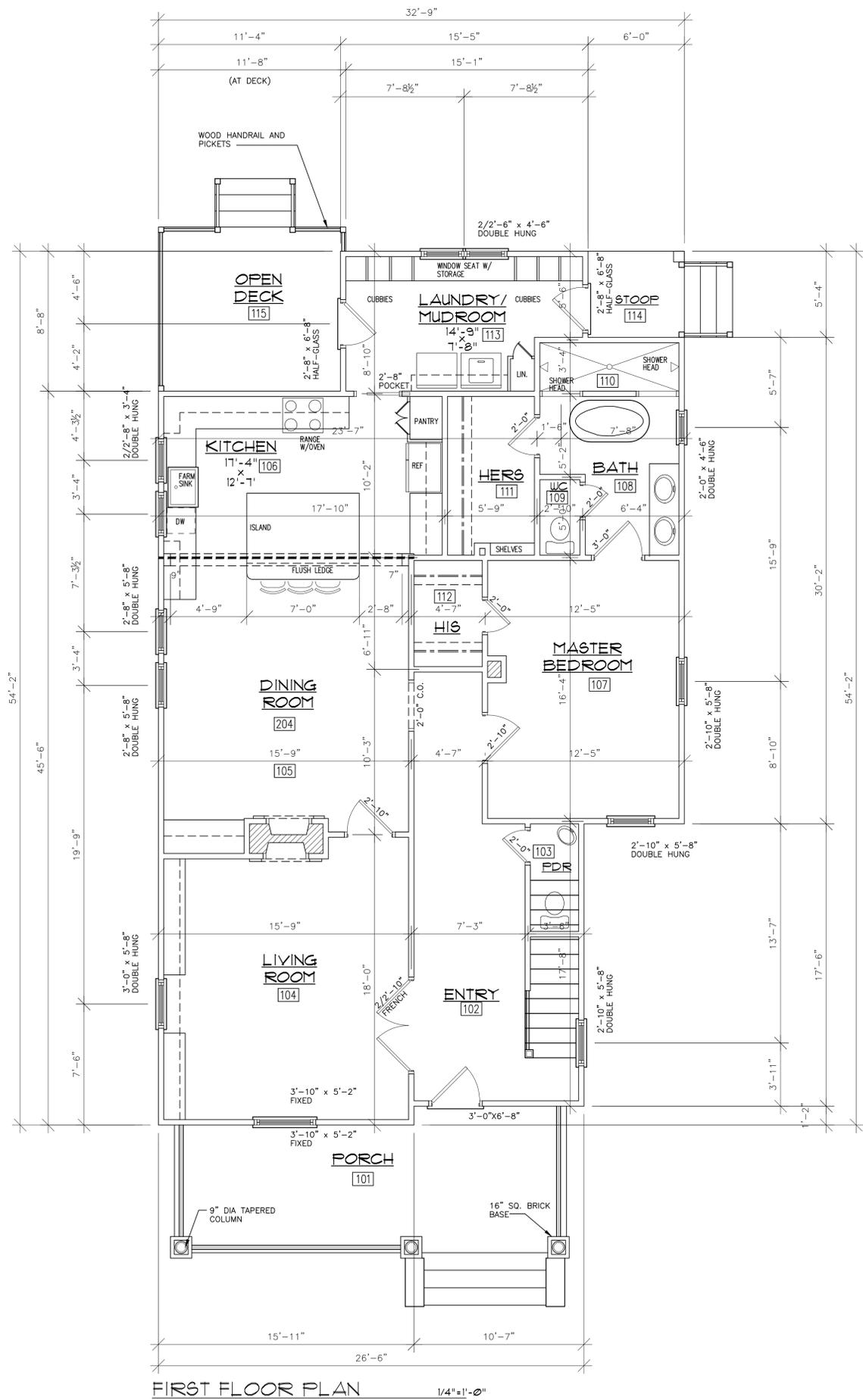
SHEET DESCRIPTION

EXISTING ELEVATIONS

DRAWN BY	MJD
CHECKED BY	MJD
JOB NUMBER	202281
DATE	9.16.14
DRAWING CODE	EEL
SHEET NUMBER	A-2

DAV
 ARCHITECTURE

24 OFFICE PARK COURT
 COLUMBIA SC 29233
 803.699.0844
 803.403.8961 FAX
 MDAVIS@DAVARCHITECTURE.COM



SQUARE FOOTAGE:

FIRST FLOOR	1514 SQ. FT.
SECOND FLOOR	1361 SQ. FT.
TOTAL	2875 SQ. FT.
FRONT PORCH	204 SQ. FT.
REAR STOOPE	32 SQ. FT.
REAR DECK	115 SQ. FT.

JOB NAME
PRIVATE RESIDENCE
 © 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED
 SHEET DESCRIPTION
NEW FLOOR PLANS

DRAWN BY	MJD
CHECKED BY	MJD
JOB NUMBER	202291
DATE	9.16.14
DRAWING CODE	FL
SHEET NUMBER	A-3

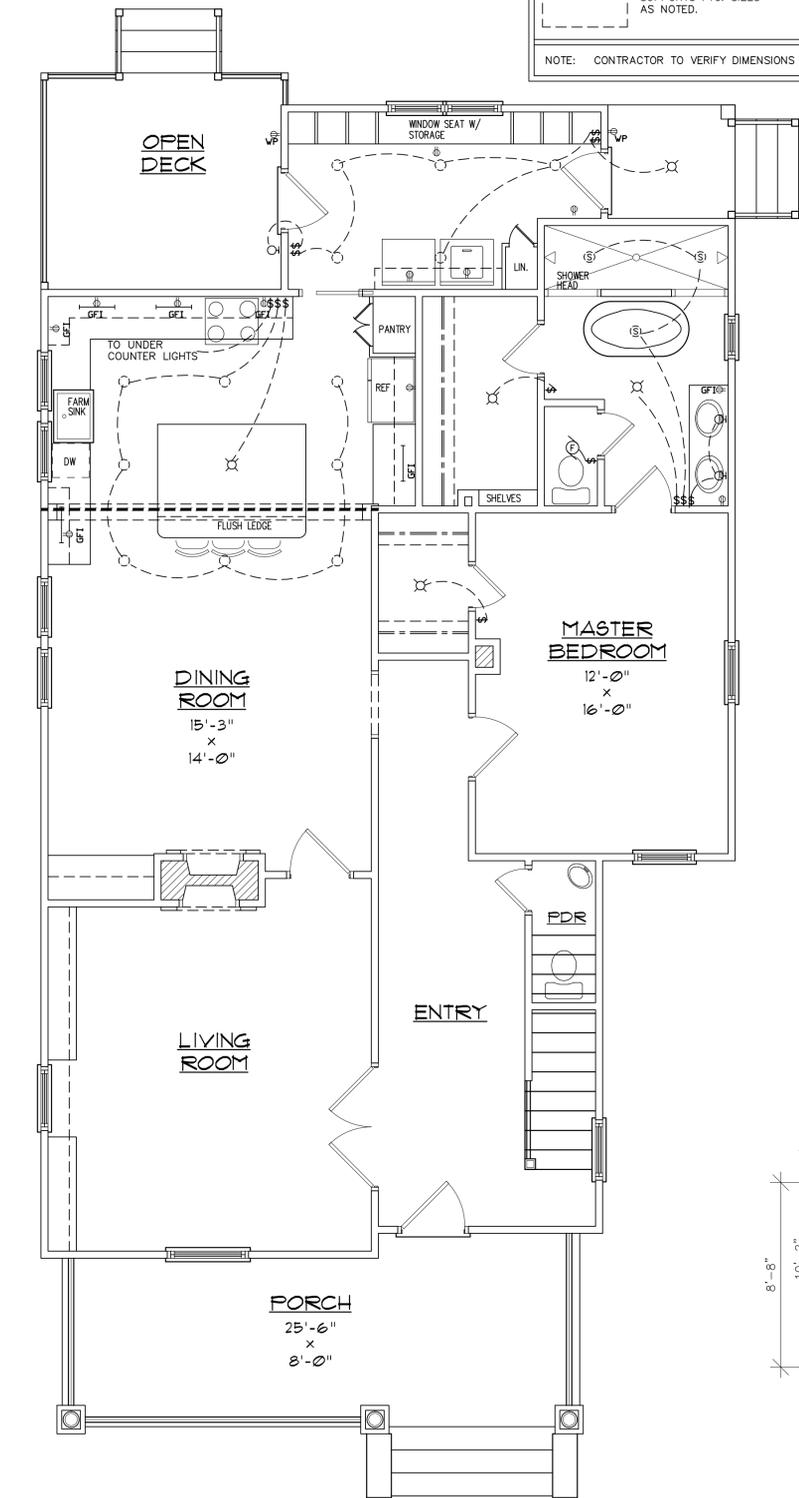


NOTE: DAVIS ARCHITECTURE IS NOT LICENSED TO PROVIDE ENGINEERING SERVICES. THESE ELECTRICAL LAYOUTS ARE ONLY AN INDICATION OF THE SCOPE OF THE WORK TO BE PERFORMED. THESE SCOPE DRAWINGS ARE TO BE REVIEWED BY A LICENSED ENGINEER OR LICENSED CONTRACTOR AND AMENDED AS NEEDED PRIOR TO CONSTRUCTION.

FOOTING LEGEND	
	NOTE: PROVIDE 3/4" PLYWD. SUBFLR AT ALL AREAS
	8" X 16" BRICK PIER W/20" X 28" CONC. FTG. (TYP.)
	8" X 16" BRICK PIER W/20" X 28" CONC. (DROPPED 9 1/4" TYP.)
	THICKENED CONC. FTG. TO RECEIVE BEAM /HEADER SUPPORTS FTG. SIZES AS NOTED.
NOTE: CONTRACTOR TO VERIFY DIMENSIONS	

GENERAL NOTES:

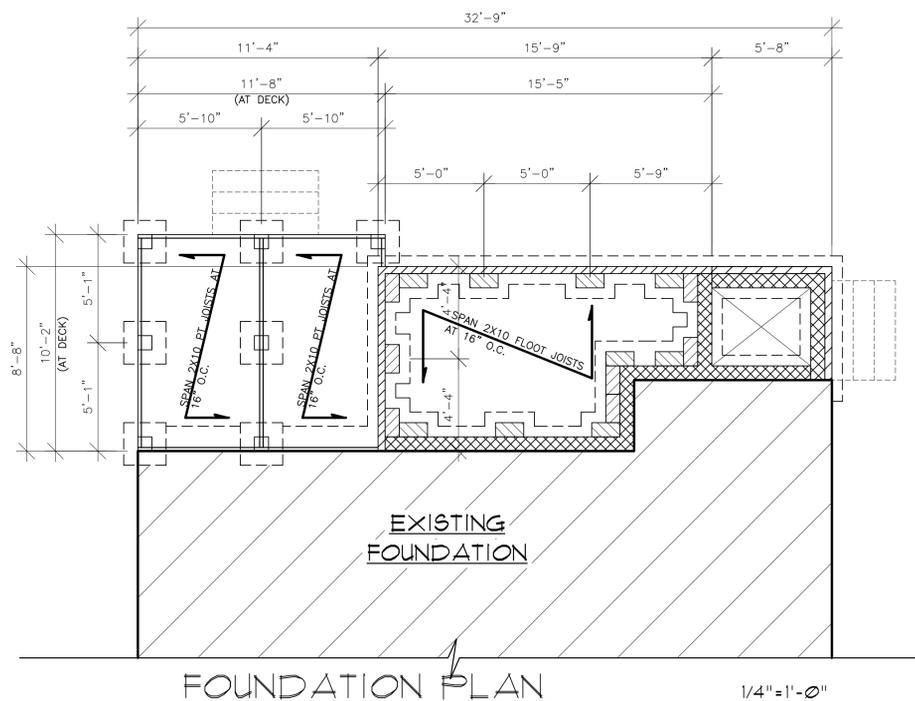
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO DAVIS ARCHITECTURE FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. **PLUMBING FIXTURE** LOCATIONS ARE NOT TO BE SCALED OFF DRAWINGS. LOCATIONS SHOWN ARE APPROXIMATE. PLUMBING CONTRACTOR IS TO VERIFY ACTUAL WALL THICKNESSES AND FINISH MATERIALS TO ENSURE ADEQUATE SPACE IS PROVIDED FOR THE PLUMBING FIXTURES THAT HAVE BEEN SELECTED.
4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL OF SUITABLE BEARING CAPACITY. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
5. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
6. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
7. ALL COLUMNS OR SOLID FRAMING DESIGNED TO CARRY LOADS SHOULD EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT BEARING POINTS DESIGNED TO CARRY THE LOAD.



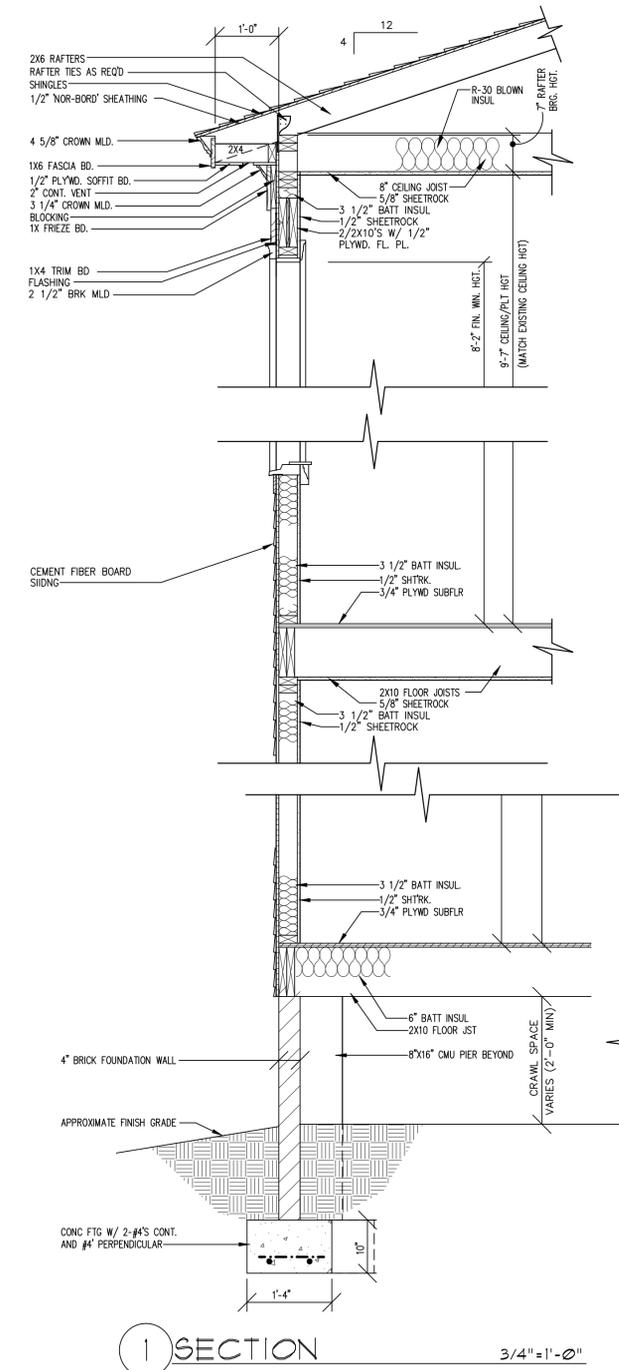
ELECTRICAL LAYOUT 1/4" = 1'-0"

ELECTRICAL LEGEND		

PROVIDE ARC FAULT CIRCUIT INTERRUPTERS (AFCI) AS REQUIRED BY THE NATIONAL ELECTRIC CODE



FOUNDATION PLAN 1/4" = 1'-0"



SECTION 1 3/4" = 1'-0"

PRIVATE RESIDENCE
 FOUNDATION PLAN / ELECTRICAL LAYOUT / SECTION
 © 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED
 SHEET DESCRIPTION

DRAWN BY	MJD
CHECKED BY	MJD
JOB NUMBER	202291
DATE	9.16.14
DRAWING CODE	FO
SHEET NUMBER	A-4

DAV
ARCHITECTURE

24 OFFICE PARK COURT
COLUMBIA SC 29233
803.699.0844
803.403.8981 FAX
MDAVIS@DAVISARCHITECTURE.COM



FRONT ELEVATION 1/4"=1'-0"

8'-5" FIN. WIN. HGT.
10'-1 1/2" CLING/PLT. HGT.
(AT FIRST FLOOR)

8'-2" FIN. WIN. HGT.
9'-7" CEILING HGT.
(AT SECOND FLOOR)



LEFT ELEVATION 1/4"=1'-0"

8'-5" FIN. WIN. HGT.
10'-1 1/2" CLING/PLT. HGT.
(AT FIRST FLOOR)

8'-2" FIN. WIN. HGT.
9'-7" CEILING HGT.
(AT SECOND FLOOR)



RIGHT ELEVATION 1/4"=1'-0"

8'-5" FIN. WIN. HGT.
10'-1 1/2" CLING/PLT. HGT.
(AT FIRST FLOOR)

8'-2" FIN. WIN. HGT.
9'-7" CEILING HGT.
(AT SECOND FLOOR)



REAR ELEVATION 1/4"=1'-0"

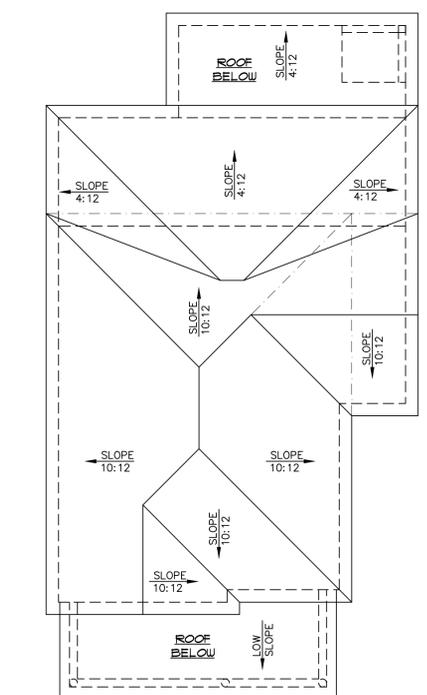
JOB NAME

DRAWN BY MJD
CHECKED BY MJD
JOB NUMBER 202231
DATE 9/16/14
DRAWING CODE EL
SHEET NUMBER A-5

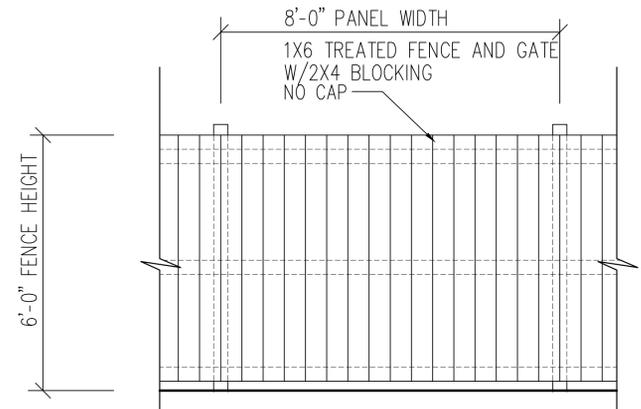
PRIVATE RESIDENCE
© 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED
SHEET DESCRIPTION
NEW ELEVATIONS

DAV
ARCHITECTURE
24 OFFICE PARK COURT
COLUMBIA SC 29223
803.699.0844
803.403.8981 FAX
MDAVIS@DAVARCHITECTURE.COM

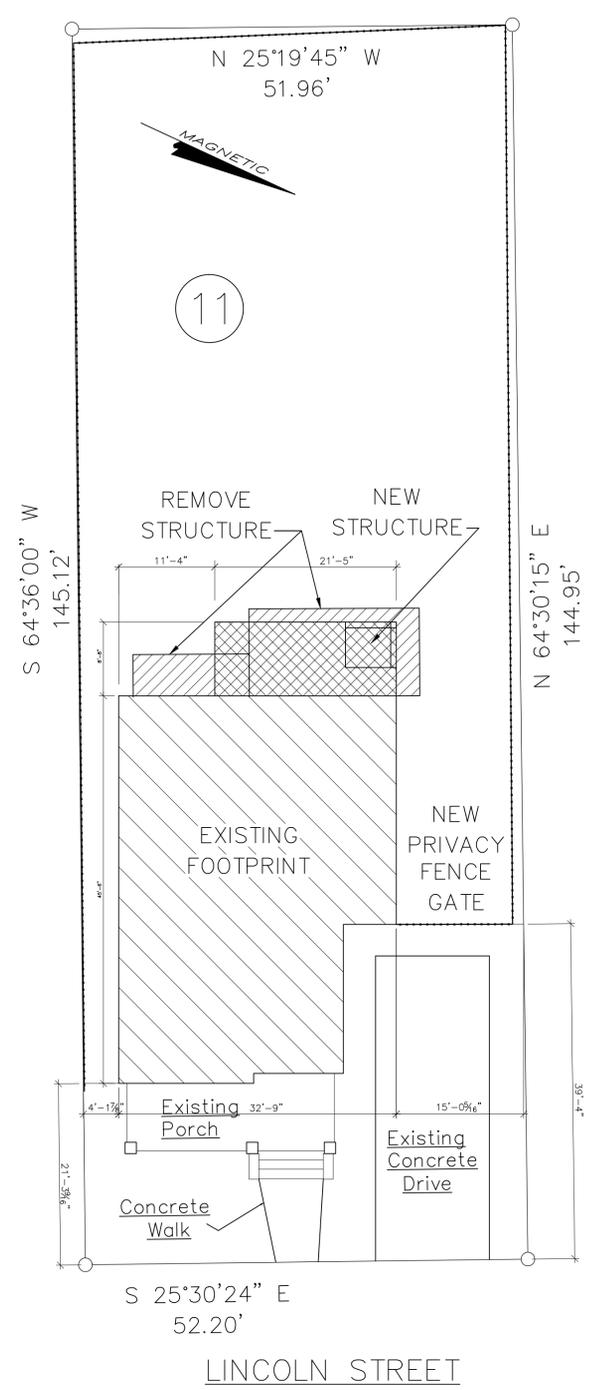
FINISH SCHEDULE						
NUMBER	NAME	FLOORING	BASE	WALLS	CEILING	
					MATERIAL	HEIGHT(AFF.)
101	FRONT PORCH	TREATED T&G DECKING	N/A	EXTERIOR VENEER	BEAD BOARD PANELS	10'-1 1/2"
102	ENTRY	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
103	POWDER ROOM	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
104	LIVING ROOM	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
105	DINING ROOM	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
106	KITCHEN	TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
107	MASTER BEDROOM	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
108	MASTER BATH	TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
109	WATER CLOSET	TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
110	SHOWER	TILE	TILE	TILE	SHEETROCK	10'-1 1/2"
111	HEK CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
112	HIS CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
113	LAUNDRY/MUDROOM	TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	10'-1 1/2"
114	STOOP	TREATED T&G DECKING	N/A	EXTERIOR VENEER	BEAD BOARD PANELS	10'-1 1/2"
115	OPEN DECK	TREX DECKING	N/A	EXTERIOR VENEER	N/A	10'-1 1/2"
201	STAIRS	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
202	HALL	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
203	BATH	HARDWOOD/TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
204	BEDROOM 2	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
205	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
206	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
207	BEDROOM 3	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
208	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
209	BEDROOM 4	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
210	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
211	LINEIN	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
212	BEDROOM 5	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
213	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
214	BATHROOM	TILE	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
215	BEDROOM 6	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"
216	CLOSET	HARDWOOD	10" BASE BD W/ BASE CAP	SHEETROCK	SHEETROCK	9'-7"



ROOF PLAN 1/8" = 1'-0"



PRIVACY GATE 1/2" = 1'-0"



SITE PLAN 1" = 10'-0"

JOB NAME

PRIVATE RESIDENCE
 © 2014 DAVIS ARCHITECTURE, INC. ALL RIGHTS RESERVED
 SHEET DESCRIPTION
 ROOF PLAN / SITE PLAN

DRAWN BY MJD
 CHECKED BY MJD
 JOB NUMBER 202231
 DATE 9.16.14
 DRAWING CODE RF
 SHEET NUMBER A-6

