



## D/DRC Case

1601 Heyward Street

**Wales Garden Architectural Conservation District**

TMS: 11306-07-37

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
**Case #1**

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**ADDRESS:** 1601 Heyward Street

**APPLICANT:** Eric Weisfeld, property owner

**TAX MAP REFERENCE:** TMS#11306-07-37

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Wales Garden Architectural Conservation District

**NATURE OF REQUEST:** Request Certificate of Design Approval for exterior changes and preliminary certification for the Bailey Bill.

**FINDINGS/COMMENTS:**

Situated on a corner lot, the brick two-story house located at 1601 Heyward Street was built ca. 1927 and is a contributing structure in the Wales Garden Architectural Conservation District. The house features a high level of architectural integrity with the exception of the original front door being replaced and the gabled roof vents being removed. The fascia boards and bead board soffits were previously covered with synthetic materials, but the applicant has already removed these to expose the original wood. The applicant intends to rehabilitate the building by repairing architecturally significant features such as the original windows, porch columns and corbels. Due to years of water infiltration from poor runoff, the house requires a significant amount of stabilization repairs to the front porch where the brickwork and concrete are deteriorated. The applicant has already removed some of the deteriorated materials to investigate the extent of the damage.

As part of the rehabilitation plan, the applicant is proposing to install additional columns on the front and side porches for aesthetic purposes. The existing columns appear to be original, and staff was not provided any physical or documentary evidence to show the house ever featured more columns than it currently has. Staff cannot recommend adding conjectural features, but this recommendation would change if evidence was submitted to prove that the house originally featured multiple columns as proposed by the applicant.

In addition to rehabilitating the house, the applicant is also proposing to demolish a one-story, 32' x 18' non-historic outbuilding/carport that is located on the right rear of the property. This request is being made to accommodate a two-story, 32' x 31' rear addition to the existing house. As proposed, the lower portion of the addition is primarily a garage to replace the building that is being demolished, while the upper portion is designated as living space. The proposed addition will connect to the second floor of the house via a 14' x 5' hyphen. The first floors of the house and the addition will not be connected; however,

wrought iron gates will be installed below the second floor hyphen to create a breezeway from one side of the property to the other.

The applicant is requesting preliminary certification for the Bailey Bill as part of the proposed rehabilitation plan to the historic portion of the house. The estimated qualified rehabilitation expenses exceed the 20% minimum investment threshold needed to make the project eligible for the Bailey Bill. The rehabilitation proposal includes retaining and repairing all historic architectural features including windows, doors, decorative features, etc. The removal of historic materials or alterations of features and spaces that characterize the property shall be avoided. Additional work including roofing, structural repair, masonry repair, window repair, storm windows, exterior paint, electrical work, plumbing, and new HVAC installation will count toward the investment threshold. Any work done prior to receiving preliminary certification for the Bailey Bill by the D/DRC will not be included in the cost estimate used to determine eligibility.

Although the proposed addition is quite large, it is not uncommon to find large historic properties on corner lots within the district. The addition; however, will be highly visible due to the fact that all plants and trees were removed from the property recently. The applicant has proposed installing a 6' high brick wall with landscaping on the Pickens Street side to help minimize the visibility of the addition. The lower portion of the addition will function primarily as a garage; however, the garage doors on the right side will not be highly visible from the public right-of-way as they are approximately 100' from the front sidewalk. The addition will be connected to the house by a hyphen on the second floor only, which should allow for the least amount of alterations to the historic portion. The district's guidelines state to limit the size and scale of an addition so that it is clearly subordinate to the original structure. The proposed addition is definitely smaller than the original, but it is certainly not diminutive. The footprint of the proposed addition is approximately 36% smaller than the existing house and the proposed roofline is approximately 4' lower than the original roofline.

There have been two proposals for large additions in other districts that have been approved by the D/DRC for construction but denied for the Bailey Bill. One of these projects was a corner lot with a garage addition; however, there was no clear differentiation between the new addition and the historic portion, and the changes altered the historic character of the original house. The other was a large addition that encompassed the entire rear of a house and a portion of the side, which changed the essential form and integrity of the house and could not easily be removed. The proposal for 1601 Heyward Street is different than these two examples in that the size of the proposed addition is not out of character for the district and it could be removed in the future if necessary without irreversibly damaging the historic portion of the house.

A site plan and elevations for both sides of the addition are included with this evaluation, but no rear elevations have been provided. Staff recommends for the fenestration on the rear of the addition to be consistent with rest of the house; perhaps with six vertically aligned windows with three on the first floor and three on the second floor. An elevation would need to be submitted to staff for review before the project could proceed.

## Pertinent Sections from the Guidelines

### SECTION VII

#### GUIDELINES FOR MAINTENANCE & REHABILITATION

Rehabilitation is a practical approach to historic preservation. It is the process of repairing or altering a historic building while retaining its historic features. It represents a compromise between remodeling, which offers no sensitivity to the historic features of a building, and restoration, which is a more accurate but costly approach to repair, replacement, and maintenance. Original materials should be preserved, not only for their historic value, but also because they are usually of better quality and longer lasting than materials obtainable today.

#### DOORS

Significant features such as doors and entrances should be preserved wherever possible. Changes to door size and configuration should be avoided. Replacement doors should either match the original or substitute new materials and designs sympathetic to the original.

Sometimes new entrances are required for practical reasons or to satisfy code requirements. Placement of new entrances on principal facades should be avoided. New entrances can result in loss of historic fabric and detailing and change the rhythm of bays. New entrances should be compatible with the building and be located on side or rear walls that are not readily visible from the public right-of-way. If a historic entrance cannot be incorporated into a contemporary use for the building, the opening and any significant detailing should, nevertheless, be retained.

#### Guidelines

1. *Install new openings so that they carry on the same rhythm of existing openings and are compatible in size, materials and design.*

The existing window configuration on the original portion of the house will be retained. Therefore, there will be no new door openings created with this plan.

2. *Retain and repair historic door openings, doors, screen doors, trim, and details such as transoms, sidelights, pediments, and hoods, where they contribute to the architectural character of the building.*

All historic doors, sidelights and transoms will be retained and repaired. The existing front door is not historic and will be replaced with a door that is more architecturally compatible with the house, such as a half-glass door as shown on the elevations.

#### WINDOWS

Windows are a significant character-defining feature of any structure. Original windows were constructed so that individual components could be repaired, instead of requiring wholesale replacement if one piece rots or breaks. This often means that an existing, historic window can be repaired for less cost than a replacement.

Repair of a historic window is the best first step when confronted with a damaged or deteriorated unit. If after careful evaluation, window frames and sash are so deteriorated they need replacement, new windows may be installed.

Replacement windows must be selected with care. They should generally match the profile, materials, and detailing of the originals. Small differences between replacement and historic windows can make big differences in appearance.

If 50% or more are deteriorated or missing, then wholesale replacement of windows is allowable. When choosing replacements, the qualities of the original windows should be used as criteria. Consider the following features of the original:

Trim detail;  
Size, shape of frame, sash;  
Location of meeting rail;  
Reveal or set-back of window from wall plane;  
Materials, reflective qualities of glass;  
Muntin and mullion profiles, pane configuration.

The new windows need not be exact replicas of the originals. It would be appropriate to substitute a window pane configuration for one found on homes built during the neighborhood's period of significance. For instance, within this district, 1/1 windows may be substituted for other configurations such as 8/8 or 4/1.

### **Guidelines**

1. *When technically and economically feasible, repair of deteriorated or damaged windows shall be preferred over replacement.*

All historic wood windows that are visible from the public right-of-way will be repaired.

2. *Improve the thermal performance of existing windows and doors through adding or replacing weather stripping and adding storm windows which are compatible with the character of the building and which do not damage window frames.*

Storm windows have not been proposed, but may be added to improve the thermal performance of the historic wood windows. This is a detail that can be approved at staff level if proposed later.

### **ROOF PITCH/MATERIAL**

Roofs are highly visible components of historic buildings. They are an integral part of a building's overall design and often help define its architectural style. The most common residential roof types are gable, hip or a combination.

Where existing roofing material is non-original, the existing roof may be retained, replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style.

Rooftop additions are another common change to historic buildings. The addition should be designed to be distinguished from the historic portion of the building; be set back from the wall plane; and be placed so it is inconspicuous when viewed from the street.

## **Guidelines**

1. *Preserve the original roof form in the course of rehabilitation.*

There are no plans to alter the roof form; however, staff would be willing to recommend reconstructing the louvered attic vents that were previously removed.

2. *Preserve historic roofing materials when technically and economically feasible.*

The roofing materials are typical asphalt/fiberglass shingles and are not historic. They may be replaced in kind if necessary. Any damaged or rotted roof sheathing will be repaired or replaced during this process.

3. *Replace deteriorated roof surfacing with new material, such as composition shingles or tabbed asphalt shingles, in dark shades that match the original in composition, size, shape, color, and texture.*

See guideline #2 above. Any replacement roofing surface will match the existing roof in composition, size, shape, color and texture.

4. *Retain or replace where necessary: dormer windows, cupolas, cornices, brackets, chimneys, cresting, weather vanes, and other distinctive architectural or stylistic features that give a roof its essential character.*

Any damaged or rotted wood will be replaced with wood that duplicates the original in size, shape, profile, thickness and texture as closely as possible. Replacement material should consider original characteristics and detailing. The chimneys will be repaired and repointed to match the historic brickwork as closely as possible in material type, size, shape, mortar composition, consistency, color and tooling.

## **EXTERIOR SIDING**

### **Masonry**

Wales Garden has many masonry buildings. It is important to keep the masonry in good repair, leaving it as unchanged as possible. Masonry features, such as brick cornices or terra cotta detailing, and surface treatments, modeling, tooling, bonding patterns, joint size and color are important to the historic character of a building. These features should be retained.

### **Guidelines**

1. *Identify, retain, and preserve masonry features that are important to defining the overall historical character of the buildings such as walls, brackets, railings, cornices, door pediments, steps, and columns; and joint and unit size, tooling, and bonding patterns, coatings, and color.*

The applicant's proposal does not call for the removal of any historic architectural features or materials.

2. *Clean masonry surfaces with the gentlest method possible, such as water and detergents and natural bristle brushes. Sandblasting is prohibited.*

No harsh treatments of any kind will be used on historic materials.

3. *Retain wooden materials and features such as siding, cornices, brackets, soffits, fascia, window architrave, and doorway pediments. These are essential components of a building's appearance and architectural style.*

Wood materials and architectural features including columns and corbels will be retained and repaired.

4. *Repair or replace, where necessary, deteriorated material duplicating in size, shape, and texture the original as closely as possible. Consider original characteristics such as board width, length, exposure, and trim detailing when selecting a replacement material. Artificial replacement siding over wood or brick is not permitted. Where a structure has asbestos or masonite as original siding, it may be replaced with wood, brick, or other more appropriate materials.*

Severely deteriorated or rotted wood will be replaced in kind as necessary.

While masonry is the most durable historic building materials, it is also the most susceptible to damage by improper maintenance or repair techniques or abrasive cleaning methods. Sandblasting and other abrasive cleaning methods are specifically prohibited. Sandblasting not only changes the visual qualities of brick, it damages or destroys the exterior glazing, increasing the likelihood of rapid deterioration of the brick and water damage to the interior of the building.

Painting historic masonry is another concern. The color of masonry, particularly brick, is often an important part of the character of a building. In addition to color, the bonding pattern, treatment of mortar joints, and texture are significant parts of brick buildings. Where brick and other masonry finishes were unpainted, they should generally remain so. Painting obscures detailing and alters the distinguishing original qualities of a building. Under some circumstances, particularly where the brick quality is poor or abrasive cleaning methods have been used, painting brick may be appropriate as a protective measure.

The brickwork of this house has never been painted and will not be painted as part of this proposal.

## **PORCHES**

Porches serve as a covered entrance to buildings and a transitional space between the interior and exterior and are an important design feature on a house. They are often the principal location for ornamentation and detailing, such as brackets, posts and columns, and balustrades. Size, style, ornateness or simplicity, sense of openness, and detailing are all important attributes of porches. Such features should be preserved during the course of rehabilitating a building.

Because they are open to the elements, porches also require frequent maintenance and repair. Deteriorated porch features should be repaired rather than replaced. If replacement proves necessary, replacement features and materials should approximate the originals as closely as possible. If wholesale replacement is required, a porch or individual features of it are missing and no documentation or physical evidence is available, a new porch design that is compatible with the scale, design, and materials of the remainder of the building is appropriate.

Owners are often tempted to enclose porches for additional year round living space. Although porch enclosures are generally not recommended, they can be done in an appropriate manner. Transparent materials, such as clear glass enclosures or screens

that are set behind balustrade and structural systems and maintain the visual openness of a porch are permitted.

### **Guidelines**

1. *Retain porches and steps that are appropriate to a building.*

The applicant is proposing to install two additional columns on each side of the front porch and the side porch to create a grouping of three columns. The existing columns appear to be original, and staff was not provided any physical or documentary evidence to show the house ever featured more columns than it currently has. Staff cannot recommend adding conjectural features, however, staff could recommend for the recreation of missing features if evidence was submitted to prove that the house originally featured the proposed configuration.

2. *If replacing deteriorated or missing features, it is appropriate to use other homes of the same style and period for the design of the new features as long as it is compatible with the structure.*

The historic configuration and architectural integrity of the porches appear to be intact. The columns are in good condition and only require simple repairs to the bases. It does not appear that any porch features are missing.

3. *If enclosures are undertaken, maintain the openness of porches through the use of transparent materials such as glass or screens. Place enclosures behind significant detailing, so that the detailing is not obscured.*

The applicant does not intend to enclose any of the porches.

## **SECTION VIII GUIDELINES FOR ADDITIONS**

It is often necessary to increase the space of a building in order for it to meet the owners' changing needs. While additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

### **Guidelines**

1. *Site additions so that they do not detract from or obstruct important architectural features of the existing building or those around it, especially the principal façade.*

The proposed 32' x 31' addition is situated on the rear of the property and connects to the existing portion of the house via a 14' x 5' hyphen on the second floor. The first floors of the house and the addition will not be connected in order to create a breezeway from one side of the property to the other. As proposed, the addition will not detract from or obstruct important architectural features including the principal façade as it is placed approximately 100' from the sidewalk in front of the house.

As proposed, the rear addition will be constructed of brick that will match the existing brickwork of the historic portion of the house, and is stepped back 5' to differentiate the new addition.

2. *Design additions using materials and detailing compatible with the original structure.*

The addition will feature materials and detailing compatible with the original portion of the house. The left side of the addition features a 21' x 8' inset porch on the left side with seven smooth Tuscan columns. Inset porches are not typical in the district, but this feature will be minimally visible once the proposed 6' high brick wall is constructed. The new brick veneer proposed for the addition will match the historic brickwork as closely as possible in material type, size, shape, mortar composition, consistency, color and tooling.

The proposed window configuration matches the 6/1 historic wood windows. Staff recommends wood or aluminum clad windows with 5/8" muntins/grids. No plastic, vinyl, or PVC products will be used.

3. *Limit the size and scale of an addition so that it is clearly subordinate to the original structure.*

The proposed addition is larger than the typical request, but is still smaller than the original structure by approximately 36%. It is not as wide or as deep as the existing house, and the roofline is lower by approximately 4 feet. The size of the proposed addition is not out of character for the district as there are a number of original large houses and ones that have been substantially enlarged with additions. Therefore, it is compatible with the massing, size, and scale of the historic property.

4. *Design dormer additions to be subordinate to the overall roof mass and in scale with those that may have been used originally in the neighborhood.*

N/A

## **Pertinent Sections from the Bailey Bill Ordinance**

### **Sec. 17-698. Eligible rehabilitation.**

(a) Standards for rehabilitation work. To be eligible for the special tax assessment, historic rehabilitations must be appropriate for the historic building and the historic district in which it is located. This is achieved through adherence to the following standards:

(2) *Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

Staff does not recommend installing two additional columns on the corners of the porches as proposed because it will create a false sense of historical development.

(5) *Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The rehabilitation proposal includes retaining and repairing all historic architectural features including windows, doors, and decorative features. Only severely deteriorated or damaged features will be replaced in kind. If the applicant chooses to reconstruct the gabled roof vents that were previously replaced, staff will work with

the applicant on the design and sizing details. Staff will also work with the applicant on the design details for the front porch columns if documentary, physical, or pictorial evidence substantiates the proposal to install additional columns on the porches.

- (7) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*

The addition, as proposed, will be connected to the historic portion of the house with a hyphen to differentiate the new from the old and to limit the amount of damage to historic materials. The addition uses architectural features that complement the house and is compatible with the massing, size and scale of the historic property and its environment.

- (8) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed addition features a hyphen that connects to the second floor only. This preserves the essential form and integrity of the historic portion of the house, and would allow the addition to be removed entirely in the future if necessary without irreversibly damaging the house.

#### **STAFF RECOMMENDATIONS:**

*Staff finds that the proposal meets Section VII – Guidelines for Maintenance & Rehabilitation, Section VIII – Guidelines for Additions, and Section 17-698 of the Bailey Bill ordinance. Staff **recommends granting a Certificate of Design Approval** for this project with the following conditions:*

- *Existing column placement for front and side porches shall be retained*
- *A rear elevation of the addition showing fenestration shall be submitted to staff for approval*
- *A brick sample for the addition shall be submitted to staff for approval*
- *The design of the new front door shall be submitted to staff for approval*
- *The windows on the addition shall be 6/1 wood or aluminum-clad windows with 5/8" muntins/grids and shall be consistent with existing window sizes*
- *All details deferred to staff.*

*Staff **recommends that 1601 Heyward Street be given preliminary certification for the Bailey Bill**, conditional upon qualified rehabilitation expenses meeting or exceeding the 20% investment requirements.*

CITY OF COLUMBIA  
 PRESERVATION PLANNING OFFICE  
**REHABILITATED HISTORIC PROPERTY APPLICATION**  
**PART A - CONTINUED**

**5. DESCRIPTION OF PROPOSED WORK**

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature <u>Plumbing/Electrical</u> Approximate date of feature <u>original</u> Describe feature and its condition <u>outdated, Not to code</u>	Describe work and impact on feature  <u>Rehab entire systems bringing them to code.</u>
Photograph No. _____ Drawing No. _____	
Architectural feature <u>BRICK</u> Approximate date of feature <u>original</u> Describe feature and its condition <u>Sediment issues, cracks chimney in disrepair</u>	Describe work and impact on feature  <u>Bringing everything back to its original state. Bringing chimney back to original design.</u>
Photograph No. _____ Drawing No. _____	
Architectural feature <u>Windows</u> Approximate date of feature <u>original</u> Describe feature and its condition <u>CRACKS</u>	Describe work and impact on feature  <u>Repair as needed</u>
Photograph No. _____ Drawing No. _____	
Architectural feature <u>DOORS</u> Approximate date of feature <u>original</u> Describe feature and its condition <u>Front door isn't original some incorrect hardware</u>	Describe work and impact on feature  <u>Replace front door with one more indicative of the time (1920s)</u>  <u>Replace hardware</u>
Photograph No. _____ Drawing No. _____	

CITY OF COLUMBIA  
 PRESERVATION PLANNING OFFICE  
**REHABILITATED HISTORIC PROPERTY APPLICATION**  
**PART A - CONTINUED**

**5. DESCRIPTION OF PROPOSED WORK (Continued):**

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature <u>Main Stairs</u> Approximate date of feature <u>original</u> Describe feature and its condition previous owner removed bannisters & walked in staircase.	Describe work and impact on feature Bringing staircase back to original construction.
Photograph No. _____ Drawing No. _____	
Architectural feature <u>Floors / Walls / Ceiling</u> Approximate date of feature <u>original</u> Describe feature and its condition Floors - settling, unlevel Walls - cracked, unlevel Ceilings - cracked & unlevel	Describe work and impact on feature Repair imperfections and damages of floors, walls & ceilings.
Photograph No. _____ Drawing No. _____	
Architectural feature <u>Columns</u> Approximate date of feature <u>original</u> Describe feature and its condition Some bases & caps are cracked and/or in disrepair. some columns are missing.	Describe work and impact on feature Repair existing columns. Replace missing columns.
Photograph No. _____ Drawing No. _____	
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition	Describe work and impact on feature
Photograph No. _____ Drawing No. _____	

\*Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.

1601 Heyward Street – Wales Garden Architectural Conservation District

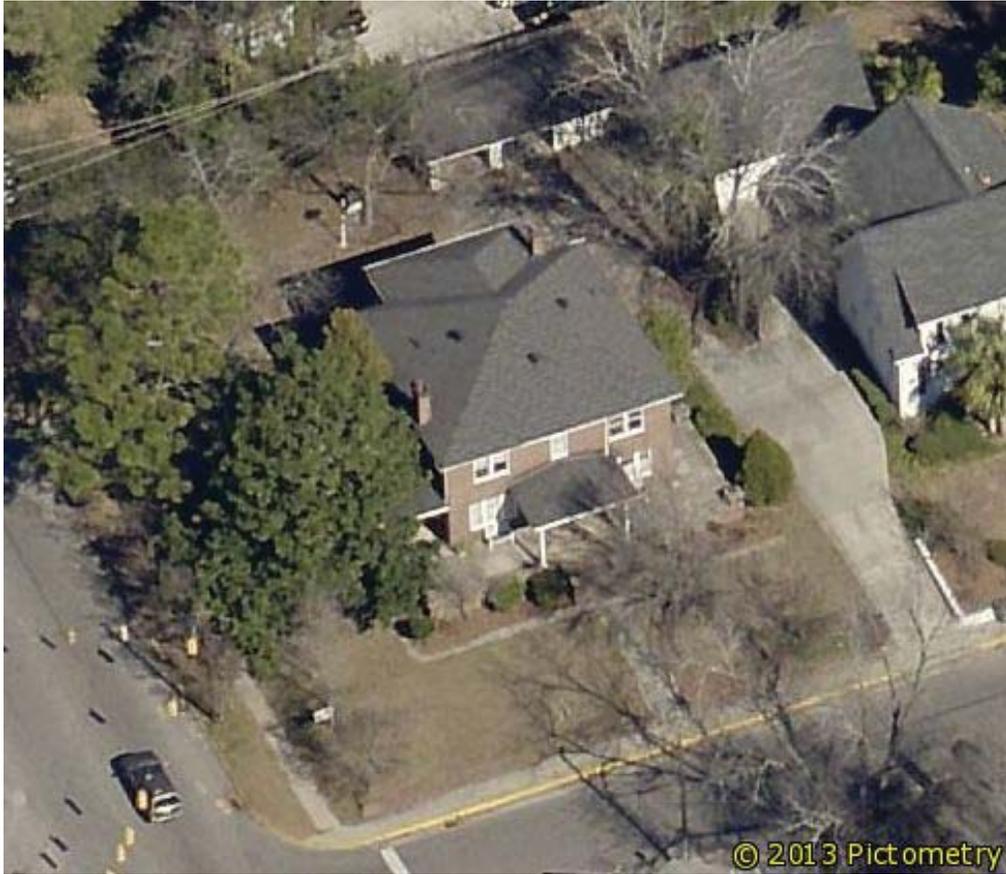


1601 Heyward Street – January 1993 – Note gabled roof vents



1601 Heyward Street – June 2010 – Before plants and trees were removed

1601 Heyward Street – Wales Garden Architectural Conservation District



1601 Heyward Street prior to all plants and trees being removed

Above – Pictometry Below – Google (Pickens Street side)



1601 Heyward Street – Wales Garden Architectural Conservation District



1601 Heyward Street – Existing conditions



1601 Heyward Street – Pickens Street side porch view

1601 Heyward Street – Wales Garden Architectural Conservation District



1601 Heyward Street – right side view showing shared driveway



1601 Heyward Street – left side view

1601 Heyward Street – Wales Garden Architectural Conservation District



1601 Heyward Street – Pickens Street side view showing proposed addition location



1601 Heyward Street – rear view

1601 Heyward Street – Wales Garden Architectural Conservation District



106 Pickens Street – Located behind 1601 Heyward Street  
Note single corner columns



1605 Heyward Street – Adjacent to and shares driveway  
with 1601 Heyward Street

1601 Heyward Street – Wales Garden Architectural Conservation District



Triple corner columns on 400 Saluda Avenue in Wales Garden

*Photos submitted by applicant*



Front View



1 2 3 4  
1" = 4'  
Scale

Left side view



Left side View



Left side View

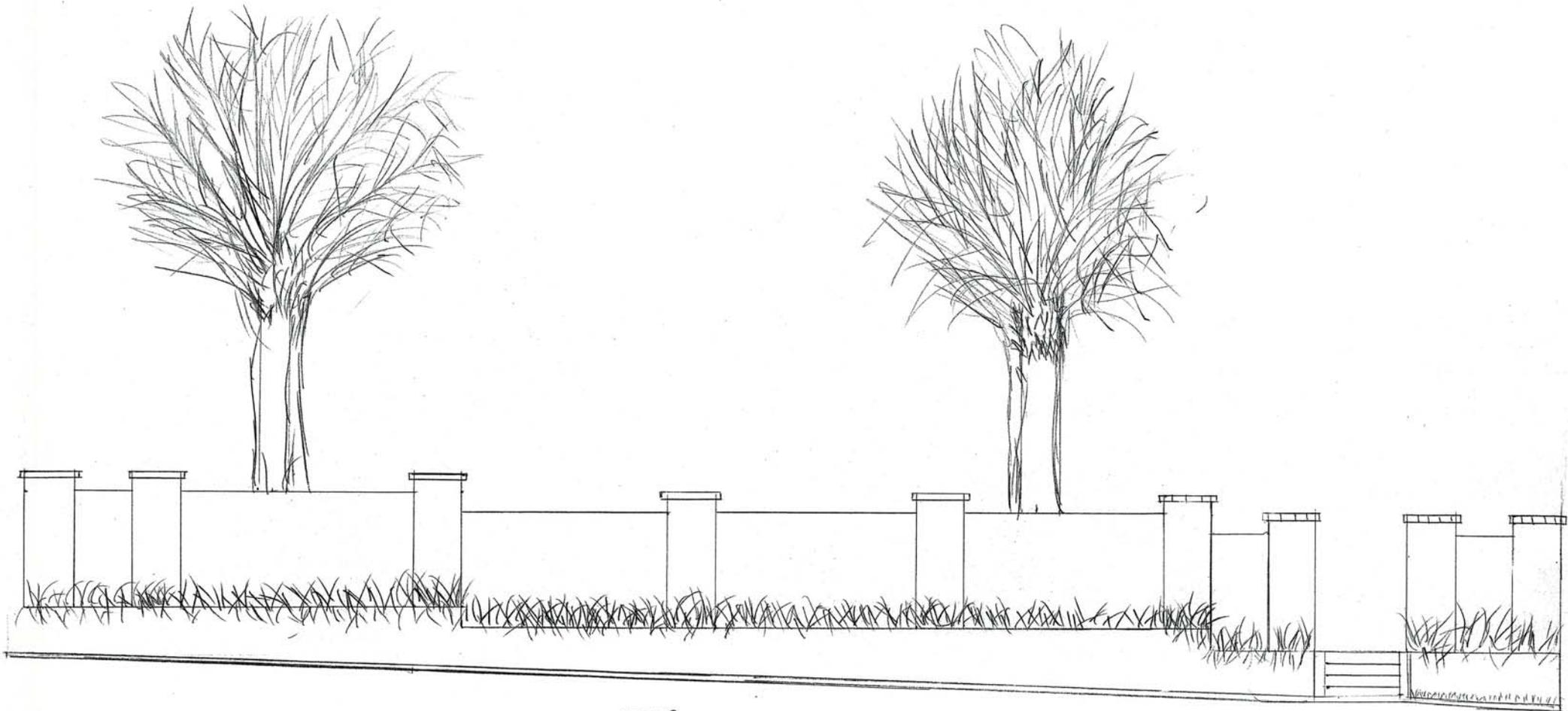


Scale  
1" = 4'

Rightside View

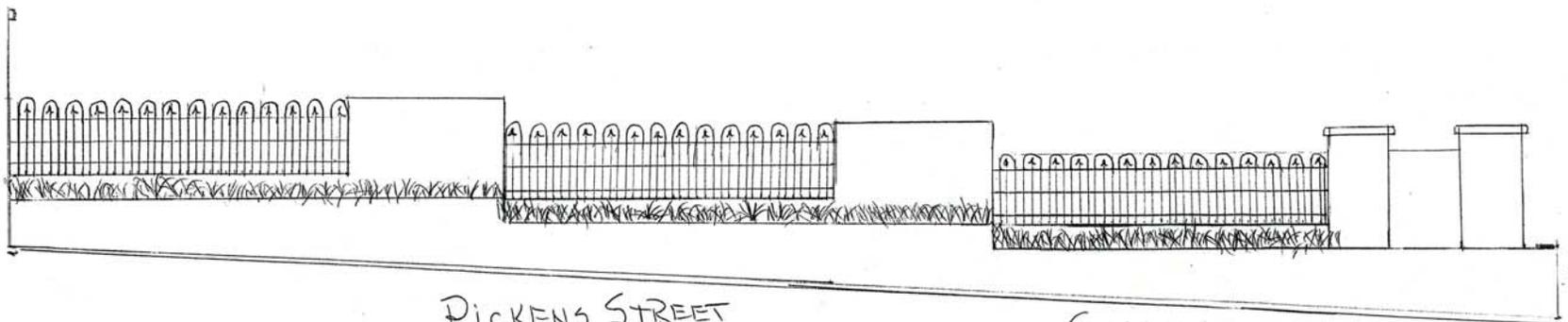


Scale 1" = 4'



PICKENS STREET

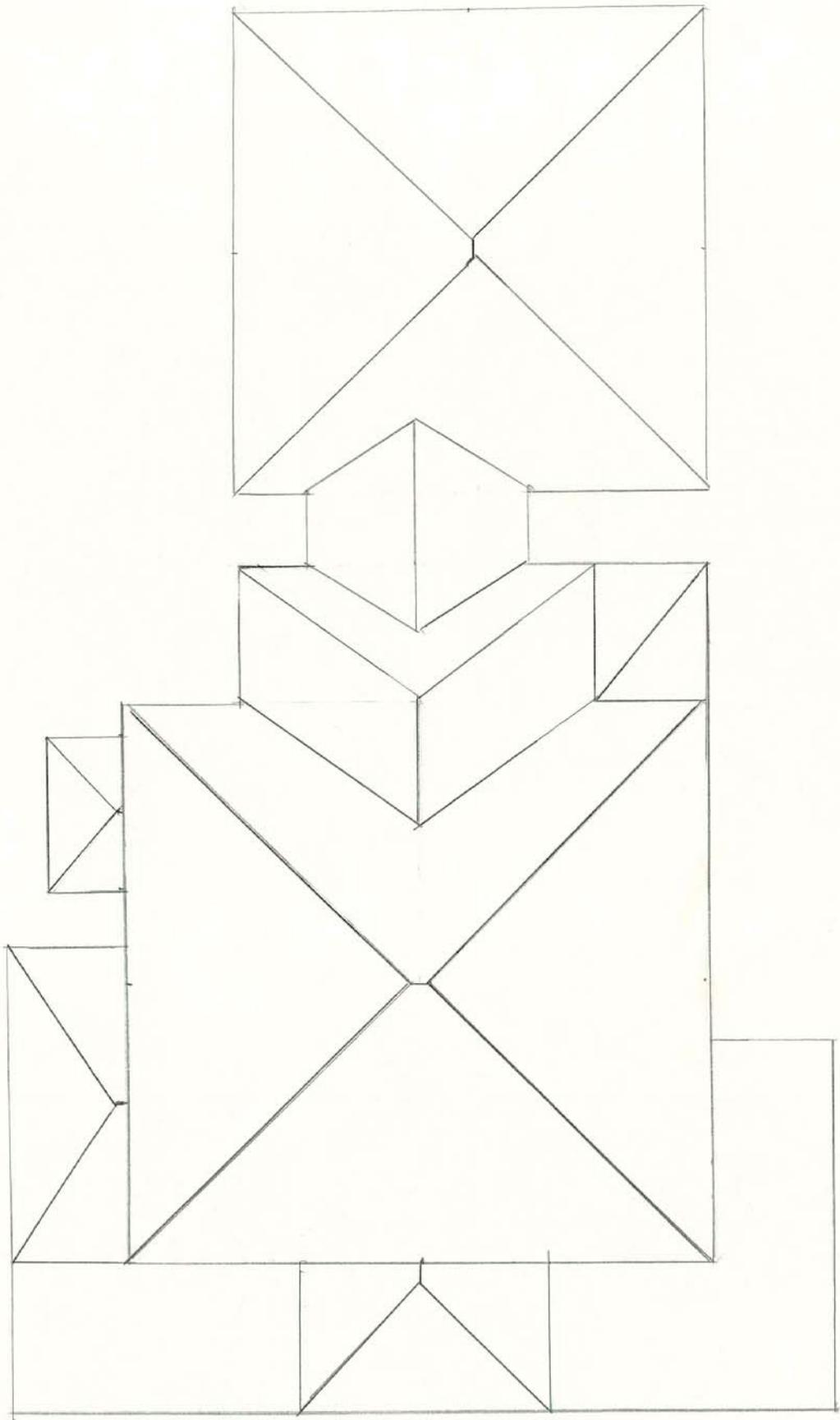
SCALE  
1" = 4'



PICKENS STREET

SCALE  
1" = 4'

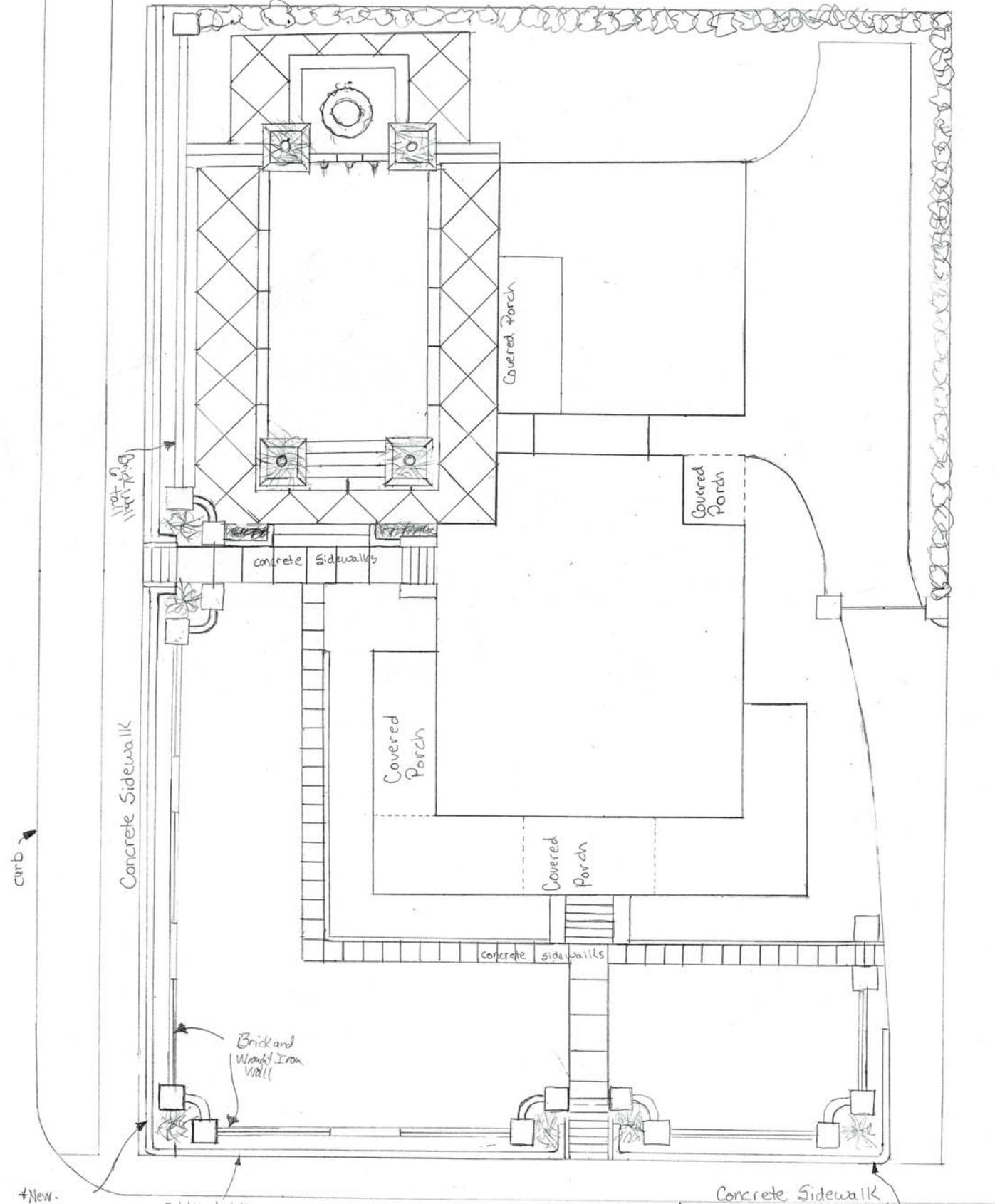
PICKENS STREET



HEYWARD STREET

SCALE  
1" = 8'

PICKENS STREET



HEYWARD STREET

+New- continuing brick retaining wall. (1 foot off of City sidewalk)

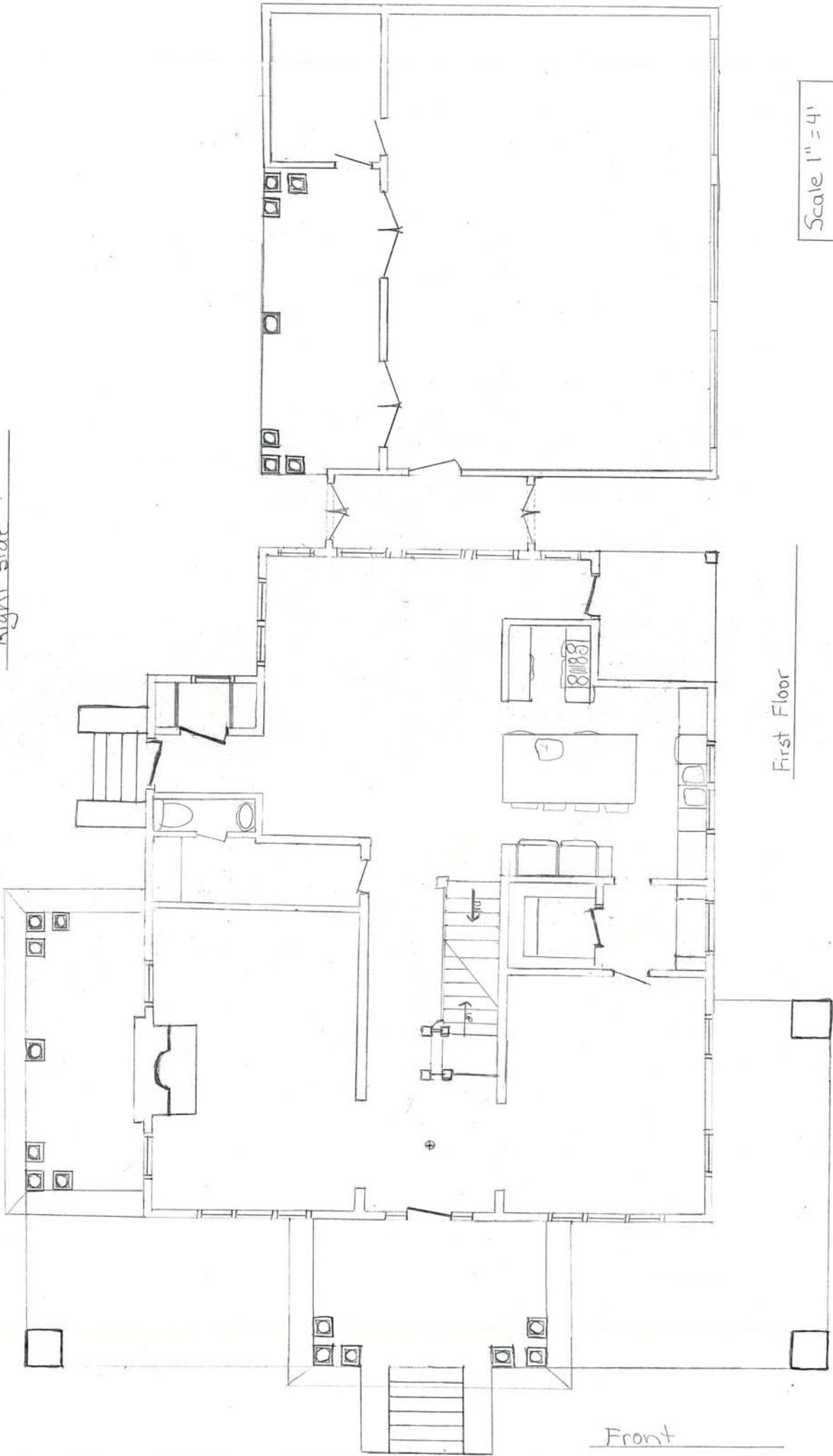
Existing brick retaining wall

Concrete Sidewalk

Existing brick retaining wall

SCALE 1/8"  
1" = 8'

Right side



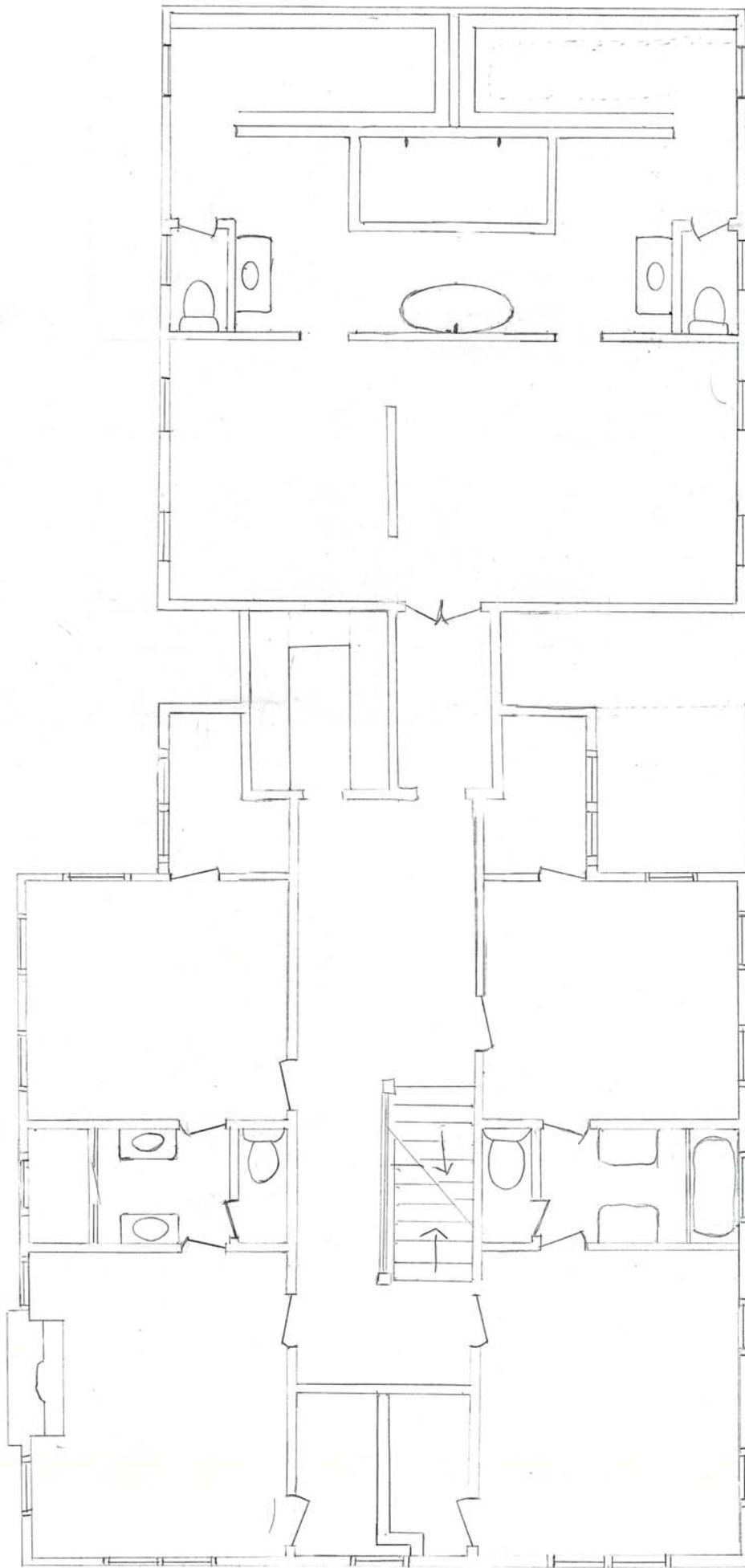
Scale 1" = 4'

First Floor

Left side

Front

Right side



Scale  
1" = 4'

Second Floor

Left side

Front