

D/DRC Case

522 Lady Street

West Gervais Street Historic Commercial District

TMS: 08912-05-01

**DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
EVALUATION SHEET
Case # 6**

ADDRESS: 522 Lady Street

APPLICANT: Scott Lambert, architect/agent

TAX MAP REFERENCE: TMS# 08912-05-01

USE OF PROPERTY: Commercial

REVIEW DISTRICT: W. Gervais Historic Commercial District/City Center

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes and preliminary certification for the Bailey Bill

FINDINGS/COMMENTS:

Very typical of the warehouse district in which it was built, this is a simple one-story brick building used for warehouse and office purposes over the years. It has been heavily altered-during this time, with original window openings bricked in and concrete block additions at the front of the building on Huger Street and a later small brick addition at the rear of the building. There are no original windows or doors intact. Still, it is reminiscent of the architecture and original uses of buildings in the historic district and is one of the few extant buildings from the time period along Huger Street.

This was originally built in 1926; its original occupant was the Jeff Hunt Machinery Company which maintained a business at this address for 30 years. The Crane Company followed for a brief period but the Columbia Cigar and Candy Company acquired the building by 1965 and kept its business there until 1997.

The plans are to rehabilitate the building for office use, re-establishing some of the original openings and removing less sensitive additions from the building. Additionally, a new entry is proposed on the Lady Street side. As all four sides of this building are visible from a public right of way, each elevation is discussed and reviewed below.

The Secretary of the Interior Standards for Rehabilitation provide the foundation for the W. Gervais guidelines, as well as the Bailey Bill, and the City Center/Design Development Guidelines are also referenced for site improvements. The Criteria is listed immediately below:

Bailey Bill Criteria based upon the Secretary of the Interior Standards for Rehabilitation:
Section 17-695, City of Columbia Zoning Ordinance

- (1) The historic character of a property shall be retained and preserved; the removal of historic materials or alterations of features and spaces that characterize each property shall be avoided.*
- (2) Each property shall be recognized as a physical record of its time, place and use; changes that create a false sense of historical development shall not be undertaken.*

- (3) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
- (4) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property should be preserved.*
- (5) Deteriorated historic features shall be repaired rather than replaced; where the severity of deterioration requires replacement of a distinctive feature, the new should match the old in design, color, texture, and other visual qualities and, where possible, materials; replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
- (6) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used; the surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- (7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.*
- (8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

West elevation (Huger Street):

Originally, the front building was a small brick office structure, recessed in on both sides, and was apparently a stand-alone structure when built. The roofline is a stepped parapet with small stuccoed rectangular openings immediately below. A cornice is formed of a wide band of concrete. These features will be maintained as required (#1 of the Bailey Bill Criteria). One can see that over the years two concrete block additions have been added to either side of the original brick entry. These are proposed for removal, a great improvement which will allow the original footprint of the building to read more clearly.

New windows will be re-established in the original openings of the front office building. As yet, there is no documentary evidence of what the window configurations were, although these long narrow windows could have been either wood or metal and probably had a different configuration than the larger warehouse windows. Given the lack of documentation, staff is recommending approval of a simple 1/1 design for the new windows.

The original door opening at the center of the front office building is still marked by steps leading to it and a new door will be installed here, per #1 of the Bailey Bill Criteria. However, the opening will not actually act as an entrance for the building; this has been done before on other buildings in the Vista where historic and/or urban design review requires an entry but where an entry would present challenges for the occupants. Staff is happy to work with the owners/applicants on details for materials and configuration of the door if the Commission approves.

Should the existing masonry require maintenance or attention, item #6 of the Bailey Bill Criteria requires non-abrasive, appropriate methods for cleaning and repointing brick. Please note that a red replacement brick is proposed where inappropriate gray brick has been introduced around the window openings. Materials are shown at the end of the packet and the applicants may have samples at the meeting.

There is a small brick retaining wall which runs along the front of this property as it faces Huger Street. These small walls were very typical of the period and staff recommends keeping and reusing it.

North elevation (Lady Street):

This elevation of the large warehouse building is another primary elevation since it fronts Lady Street. As one can tell from the photographs of existing elevations, many openings have either been cut in and/or filled in over time. There are large warehouse openings which may or may not be original and which have been bricked in, inconsistent window sizes and location, some extant window sills (although irregular in placement) and so on. It is likely that as various owners' needs changed, they adapted the building's openings to accommodate, with little attention paid to consistency of architecture. There is some consistent detailing in the upper part of the building, the cornice area, as well as a running bond pattern immediately below. As stated earlier, there are no photographs of this building originally so the window configuration is in question, although metal windows were common for this type of building and this time period. The window configuration may have been quite simple or may have been some configuration of fixed panels with awning windows which opened in, and so on. New windows therefore could be aluminum clad but should certainly avoid a typical storefront feel, so the profiling and dimensions of muntins will be important. Staff is continuing to explore what would be appropriate and is comfortable working out the details with the applicants if the DDRC approves.

Toward Huger, the smaller front office building will show original window openings re-established and existing details maintained. The connection between this building and the larger warehouse building will also be re-created by way of a glass hyphen. This feature will be visible since the later concrete block additions will be removed. The hyphen is appropriately inset in terms of both height and width and will clearly be a new feature although compatible. The new construction meets #7 as stated of the Bailey Bill Criteria:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Along the main warehouse building, the architect has proposed full size windows where there were bricked-in large windows or smaller windows, whose width has been kept but whose height has been raised to match the others. There are some smaller windows which align just under the running bond pattern which have been bricked in too; there are no plans to re-open these but they will remain as is. A new window was originally proposed at the front right corner of this elevation, toward Huger Street, where the original brick does not reflect any previous openings. Staff therefore does not recommend for this particular window, since this is another primary elevation and the introduction of an opening where there was none at all changes the understanding of the original building. A larger bricked-in opening along this wall, which perhaps functioned as a loading dock, will be re-established as a large window. Again, the design of this is still to be determined but staff is comfortable working out the configuration with the applicants.

Entry

The entry on Lady Street is a prominent addition to the building. As this building fronts two streets, the owners found an entry on this street would be a more accessible point for employees and clients than Huger Street. The entry is a large glass and anodized aluminum panel curtain wall which encloses a required egress stair which allows access to ground, mezzanine, and rooftop offices. The effort here was to make a transparent entry, allowing the basic form of the building to be read, while introducing a new contemporary element (see #7 & 8 of Criteria). At rooftop, the stair tower extends out as an addition which incorporates a conference room and outdoor area. A small stair tower (for egress) is also included toward the south side of the roof. The buildings at rooftop are glass and aluminum composite metal panel. Like the entry, the glass will be insulated and almost clear in appearance.

(7) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the historic property and its environment.

The new entry is constructed so as to allow the original building underneath to be understood. One opening is proposed at the mezzanine level for an entry there but falls within an existing bricked-in opening; otherwise, other existing openings will either be left as is or will be un-bricked and re-used.

The new entry is streamlined and simple and uses materials that clearly differentiate it from the original building. The use of glass as a major element helps to diminish the size; another option would be to forego the aluminum panels entirely on the corners and simply use glass.

(8) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the additions were removed in the future, the building could still be understood and the essential form and integrity of the property would be intact.

East Elevation (facing Trustus):

This is the back of the building, the side that faces Trustus Theater, and is partially obscured by a later addition. There are various types of brick and bricked-in openings on this side of the building, indicating a fair amount of change. Some of the openings that are bricked-in are wider than the openings on the west and north elevations. The new windows therefore are a bit wider themselves. There is one large proposed window at the center of the building where it appears that a loading dock once was. This opening goes all the way to the ground as a reference to a loading dock.

South Elevation (facing alley):

This is the least prominent elevation on the building. Once again there are bricked-in windows, of various sizes, as well as two loading docks, partially if not fully bricked-in. The architect has re-opened the loading docks as large windows and re-established a rhythm of openings along this façade. A new window opening at the front corner of the building is proposed; since this is not a primary elevation and the window is proportional with other openings, this would be an acceptable change.

Signage

Amount and location of signage is as regulated in the city's zoning ordinance. Signage should not obscure historic elements of decoration or windows. Signage has not yet been discussed but may be reviewed at staff level.

Site Plan: City Center Guidelines

Site improvements may be approved at staff level but are included here. Parking is handled at the rear of the lot, facing Trustus, with additional spaces along the alley on Geddes Street. The City's Land Development Planner is satisfied with the site plan with the exception that screening hedges need to be installed near parking spaces. This would mean screening hedges at either end of the parallel parking spaces on Geddes Street as well as hedges on either end of the spaces at the rear of the building. Additionally, some encroachments may be required. Staff is happy to work out details with the applicants. Landscaping requirements within the City's Design District are also listed below for consideration:

6.8.2 Surface Parking

Street trees should be provided along all street frontage and spaced at 35- to 40-foot intervals. Continuous landscape screening (along 100 percent of the street frontage except at entrances and exits) must be provided by an evergreen or deciduous hedge. This should be included along Lady Street. Street trees should be installed at a minimum size of 2 1/2-inch caliper and should be 14 to 16 feet high.

Street trees as shown on the landscape plan seem to be adequate per the guidelines with the exception of Geddes Street where a shade tree placed in the center of the row of parallel spaces there would comply with the requirement of a shade tree within 40' of every parking space (suggest combining the two "paved" areas between some of the parallel spaces into one planting space, although this will be less than standard planting space for the tree.)

Hedges should be installed at a minimum height of 24 inches, with a maximum spacing of 30 inches; hedges should be maintained at a height of 36 to 42 inches. Hedges should be installed in a minimum 5-foot wide continuous landscape zone.

Hedges should be installed as mentioned previously and per the Land Development Planner. An evergreen hedge or low masonry wall (30-36" tall) is needed to screen the row of parking that runs perpendicular to Gervais (to screen this row from Gervais);

Screening as above for the same row of parking at south end of the row to screen parking from Geddes;

Screening on the east end of the parallel parking row to screen these from Huger.

Solid masonry walls 30 to 36 inches high can be substituted for hedges to screen parking areas; Materials should match the site's exterior building materials. Where such walls replace hedges, the 5-foot landscape zone should be maintained.

This is an option for the applicants along Lady Street.

Interior parking lot landscaping should be provided to divide lots into groups of parking spaces and break large expanses of parking. Parking lots should have one landscaped island and one shade tree per twenty parking spaces. The minimal size of an interior landscaped parking island should be 200 square feet. Landscaped islands at least 5 feet in width shall be introduced in all parking areas at intervals not exceeding 100 feet. A minimum of 10 percent of the total area of the lot shall be dedicated to landscaped areas.

The plan appears to meet this requirement.

4.4 Service and Loading Areas

Service and loading areas should be located to minimize their visibility from public streets. On blocks with multiple sides facing gateway streets, individual determinations of the more visually significant frontages will be required. Refuse containers and actively-used service and loading areas must be screened from view by the buildings they serve or by solid masonry walls which are designed as an integral part of the building, finished with compatible materials and with a minimum height of six feet. If screening walls are located adjacent to public use areas, they must be buffered from view with a landscaped strip at least eight feet wide. Wherever possible, ground-mounted mechanical equipment should be located within a screened service area. Where this is not feasible, mechanical equipment should be located where it is not visible from streets, sidewalks and adjacent properties. Areas used for occasional service or loading (less than one day per week, or less than one hour per day) may be treated according to the guidelines for surface parking lots.

Some small screening may be needed for the loading area indicated on the southwest portion of the lot. Staff is happy to work out details with the applicant.

BAILEY BILL PRELIMINARY CERTIFICATION

The application includes new windows and doors, removal of insensitive later additions, a new roof, maintenance of the existing skylights, cleaning the brick, and so on. These are all approvable as described in the evaluation above and are eligible expenses for the project.

Staff Recommendations:

Staff recommends approval of the exterior changes proposed for 522 Lady Street as it meets the Secretary of the Interior Standards for Rehabilitation as well as the City's Design District guidelines Sections 4.4 and 6.8.2 for site improvements with the following conditions:

Staff continues to work with the applicants on the correct window configuration for the warehouse section of the building as well as details on the front door facing Huger Street;

Applicant will submit information about methods of cleaning and repointing brick for staff approval;

The existing low wall along Huger Street will be retained;

Hedges meeting the landscape ordinance will be installed as needed and as described near each parking area; one shade tree along Geddes will be required with details to be worked out with the Land Development Planner;

Encroachments may be required where paving is proposed in City right-of-way;

Staff to work with applicants on any desired lighting in parking areas;

All other details deferred to staff.

Staff Recommendations for preliminary certification of the Bailey Bill:

Staff recommends approval for preliminary certification for the Bailey Bill for 522 Lady Street as it meets the criteria for the Bailey Bill (as stated in Section 17-695 of the City's Zoning Ordinance), and with the condition that staff continue to work with the applicants regarding window configuration for the warehouse section of the building and any other outstanding details.

CITY OF COLUMBIA
PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - PRELIMINARY REVIEW FORM

This application is used by the City to review rehabilitation work on historic properties, in accordance with South Carolina 1976 Code Section _____, and pertinent regulations. A separate application should be submitted for each historic building, unless they were functionally-related during the historic period, in which case they can be submitted as a historic complex. Applications must include attachments as listed below and the required review fee to be considered complete. Submit application to Preservation Planning Office, PO Box 147, 1136 Washington Street, Columbia, SC 29217. Phone: 803.545.3222; fax: 803.733.8647.

1. PROPERTY INFORMATION

Historic Name of Property (if known) Palmetto Candy and Cigar Building
Address 522 Lady Street
City Columbia, South Carolina (ZIP) 29201
Use: Owner-occupied, or Income-producing
Estimated project start date May 2014 Estimated project completion date March 2015
Estimated project costs \$ 3,850,000.00
Fair market value of building \$ _____
Has an application for federal Investment Tax Credits been filed for this property? Yes No

2. HISTORIC DESIGNATION

The property must have been designated "historic" by the local government allowing this incentive.
Significance:
Construction Date: 1929 Describe major alterations or additions (give dates): _____

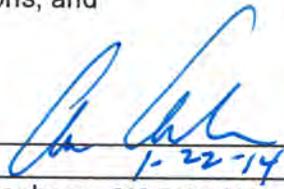
This building is a:
 City Landmark Building Contributing structure in local historic district Contributing structure in National Register District outside of City National Register structure
Give BRIEF overview of the history of the building: The structure is a one-story masonry building built ca. 1929 and was known as the Palmetto Candy & Cigar Building. Additional uses over the years have been difficult to determine.

3. ATTACHMENTS

The following information is needed to process your application. Please send complete information with the initial submission:

- An original signed and completed application;
- A Cashier's Check for \$150, made out to the City of Columbia for single family residences or duplexes; \$300 for all other properties;
- Location map showing where the building is located;
- Photographs clearly showing not only the areas to be rehabilitated, but also overall views of the building;
- Sketched or architectural floor plans of pre-rehabilitation conditions; and
- Sketched or architectural floor plans of the proposed work.

4. OWNER INFORMATION

Name 522 Lady Assoc. Signature 
Address 1333 Main St. #305, Columbia, SC 29201 Date 1-22-14
Daytime Telephone 803-540-3444

PRESERVATION PLANNING OFFICE USE ONLY

The work as described in this application and attachments appears to meet the Standards for Rehabilitation and would receive final approval if completed as described.
 The work as described in this application and attachments would meet the Standards for Rehabilitation if the Special Conditions on the attached sheet are met.
 The work as described in this application and attachments does not appear to meet the Standards for Rehabilitation and is not approved for this property. The attached sheet describes the specific problems with the proposed work.

Authorized Signature _____ Date _____
 See attached sheets

CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

5. DESCRIPTION OF PROPOSED WORK

Use the spaces below to describe the proposed work. Architectural features would include items such as: roof; exterior brick or siding; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for the federal Investment Tax Credits, you may use a copy of the description of the proposed work from the federal form for this section, but your submittal must still include the information in sections 1 through 4.

Architectural feature _____ Approximate date of feature _____ Describe feature and its condition Photograph No. _____ Drawing No. _____	Describe work and impact on feature
Architectural feature _____ Approximate date of feature _____ Describe feature and its condition Photograph No. _____ Drawing No. _____	Describe work and impact on feature
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CITY OF COLUMBIA
 PRESERVATION PLANNING OFFICE
REHABILITATED HISTORIC PROPERTY APPLICATION
PART A - CONTINUED

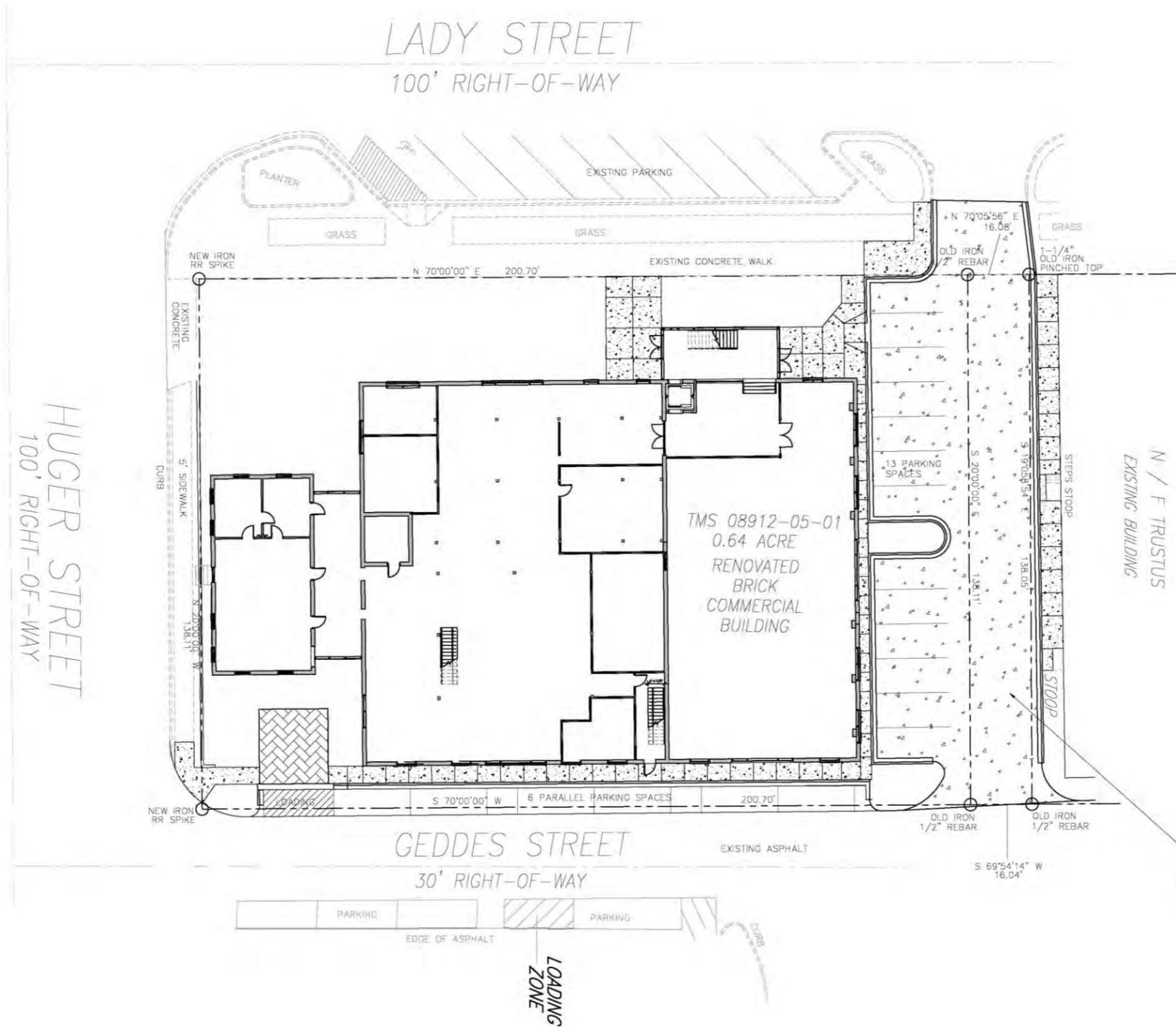
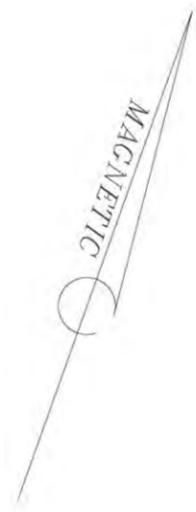
5. DESCRIPTION OF PROPOSED WORK (Continued):

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural feature _____ Approximate date of feature _____ Describe feature and its condition Photograph No. _____ Drawing No. _____	Describe work and impact on feature
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**Fair market value means the appraised value as certified to the DDRC by a real estate appraiser licensed by the State of South Carolina, the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted, or the most recent appraised value published by the Richland County Tax Assessor.*

Enlarged Site Plan



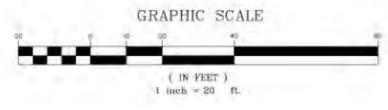
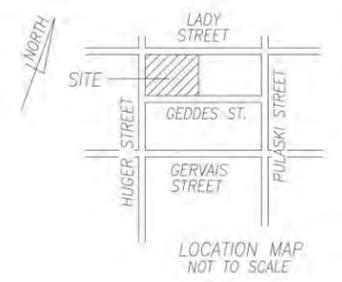
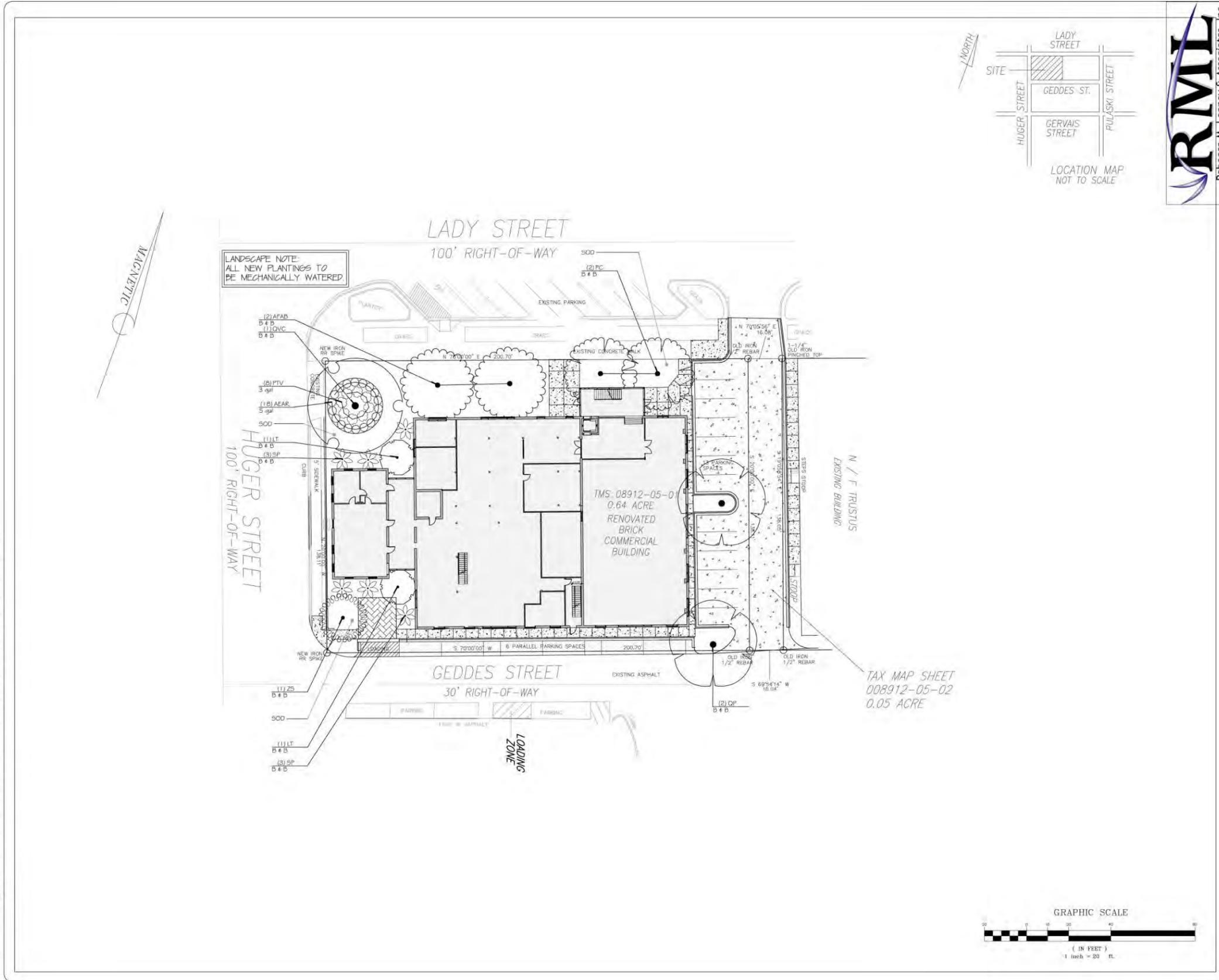
GENERAL NOTES

- SURVEY WAS COMPLETED BY ASSOCIATED E & S, INC. ON AUGUST 28, 2013. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
- OWNER: LANDTECH HOLDINGS LLC
 1333 MAIN STREET, SUITE 305
 COLUMBIA SC 29201
 PHONE NUMBER: 803-540-3444
 TMS: 08912-05-01
 ZONING: M-1
 DEVELOPMENT ADDRESS: 552 LADY STREET
 TOTAL ACREAGE: 0.64 ACRES
 DISTURBED AREA: 0.4 ACRES
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0094H, DATED FEBRUARY 20, 2002, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X".
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- TOTAL BUILDING SQ.FT = 27,400 SF
- ONSITE PARKING PROVIDED = 19 SPACES

LEGEND

NEW	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
		BUILDING
N/A		LIGHT POLE
		CURB AND GUTTER
		CONCRETE SURFACE
		BITUMINOUS SURFACE
	N/A	PAVER SURFACE
	N/A	CHAIN LINK FENCE
	N/A	KEY NOTE REFERENCE

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RML
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 P.O. Box 24, Ballentine, SC 29002 • rml@rebecca-looney.com • 803.240.7990

architecture construction services planning historic consulting
 P.O. Box 1258 Columbia, SC 29202
 1514 Main Street, Suite 1000, Columbia, SC 29201



552 LADY STREET
552 LADY STREET DEVELOPERS
 552 LADY STREET

REV.	DATE	DESCRIPTION
1		REVISION FROM
2		REVISION FROM
3		REVISION FROM

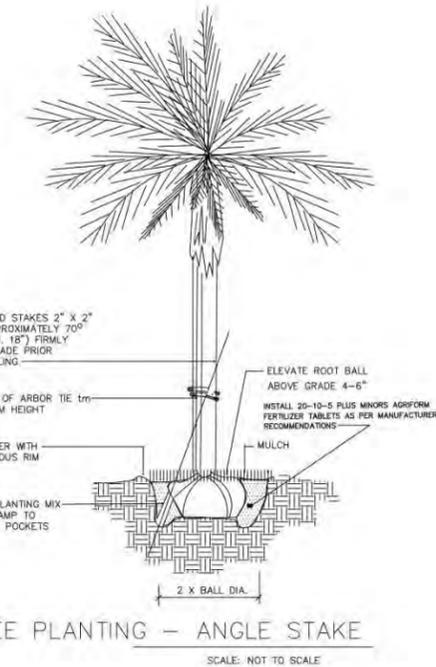
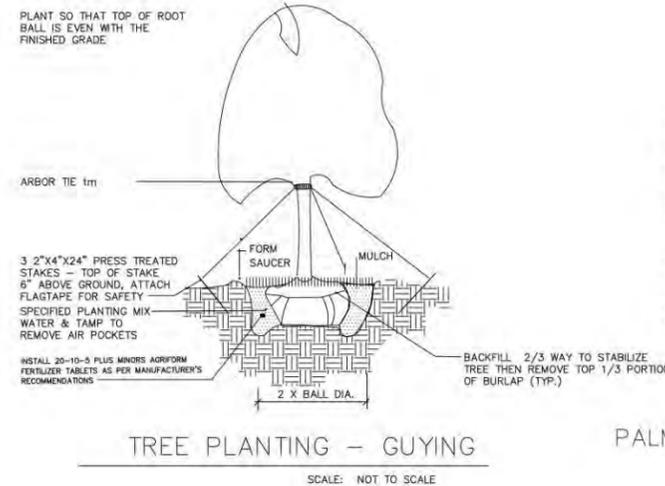
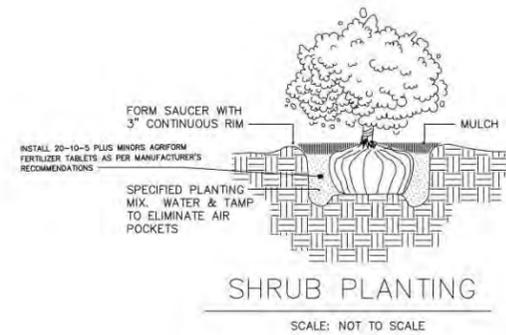
PLANTING PLAN
 PROJ. NO.:
 DRAWN BY: RML
 DATE: 01.08.2014
L1.0

LANDSCAPE SPECIFICATIONS

- The term contractor shall refer to the landscape contractor in landscape specifications. Landscape installation shall include all aspects indicated on the plans and specifications including but not limited to such things as plantings, irrigation installation, landscape lighting, construction of hardscapes elements, etc.
- Pre-construction meeting to be held on site prior to installation of irrigation or plantings.
- The contractor shall notify the landscape architect if existing conditions are found to be different than shown on the landscape plan. The contractor shall keep a full set of the landscape planting plans, details and specifications and irrigation plans on site at all times while work is in progress. Request clarification from landscape architect if conflicts occur between any of the plans. It is highly recommended to make a site visit prior to submitting a bid.
- All plant material shall conform to 'American Standard for Nursery Stock', latest edition. All plant material to be symmetrical and typical of their species unless otherwise indicated on plans by landscape architect. Plant material shall be sound, healthy, vigorous, and free from disease and pest and shall have a normal root system. Plant material shall be covered during transporting to avoid wind damage. Plant material not found to be acceptable according to these specifications shall be removed from site and replaced at contractor's expense.
- All plant material shall be warranted against death or unhealthy condition for a period of one (1) year from date of written final acceptance by landscape architect of the landscape installation. Theft of plants, vandalism or lack of reasonable care shall exclude plantings from this warranty. Owner to provide adequate watering and reasonable care during the warranty period.
- Irrigation system shall be warranted for a period of one (1) year from date of written final acceptance by landscape architect of the irrigation system installation. Provide owner with accurate as-built for irrigation and sleeve installation along with manuals for operating systems.
- No part of this work shall be performed or installed in any location or manner which may endanger the health, safety or welfare of the owner or public now or in the future.
- The contractor agrees to assume sole and complete responsibility for their performance on job site. They shall be responsible for site conditions pertaining to their work during the course of landscape installation of this project including safety of all persons and property. That this requirement shall apply continuously and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner, general contractor and landscape architect harmless from any and all liability, real or alleged, in connection with his/her performance on work on this project, excepting liability arising from the sole negligence of the owner, general contractor or landscape architect.
- During construction all on-site plant material must be watered and all work must be maintained by the contractor until final written acceptance by landscape architect.
- The contractor shall comply with all applicable rules, regulations, laws and ordinances imposed by authorities having jurisdiction over this project site. Any part of the plans, notes or specifications that are in conflict with these rules, regulations, laws or ordinances shall not apply and the contractor shall immediately give written notice to the landscape architect of the conflict.
11. Sizes given are minimums. Install sizes and varieties as per plans unless written approval by landscape architect.
12. All substitutions must be requests in writing and can only be approved by the landscape architect in writing. Any request for on-site meetings must be scheduled with a minimum of 48 hours notice to the landscape architect.
13. Landscape installation shall include but not be limited to grubbing out weeds, tilling, planting, mulching, weed control and clean up. Remove all existing sod, weeds and debris in proposed beds prior to installation.
14. Grade at start of landscape installation shall be +/- 0.1' finished grade. Fine grade to remove rocks 2" diameter or greater and debris. Fine grade to eliminate any depressions that would hold water. Contractor is responsible for maintaining on-site drainage during installation. No import or export of soil is in scope of these specifications. The contractor is responsible for installing any erosion control devices necessary to insure the containment of any and all sediment from leaving the construction site. Contractor shall not change grade to cause runoff to stand or cause runoff to flow toward building.
15. All grades shall slope away from building enough for positive drainage away from the building to occur. Inform landscape architect if there are any drainage problems prior to landscape installation.
16. Call to locate utilities prior to digging. Contact landscape architect if there are any conflicts with existing utilities and proposed plantings or irrigation installation. Contractor shall be responsible to coordinate with general contractor and site package contractor all underground utilities on-site prior to digging.
17. All planting beds are to be amended with the following materials per 1,000 sq ft:
 - Topdress beds with three (3) cubic yards of mushroom compost
 - Fifteen (15) lbs. of agricultural gypsum
 Then machine till to depth of 4-6". Do not till within the dripline of existing trees and shrubs.
18. The burden of the proof of soil amendment rests with the contractor. Soil tests may be required at the contractor's expense in order to confirm amendment of soil.
19. Install mechanical irrigation system prior to plantings. Install drip lines after plantings are completed to make sure emitters set in the most efficient locations for watering plantings.
20. All chemicals on-site to be kept in their original containers and shall be handled, installed and disposed of in accordance to prevailing laws.
21. Plant shrubs and trees slightly elevated above finished grade. Install as per details.
22. Remove tags from plant material that could cause girdling of the plant in the future.
23. Tree calipers shall be measured 6" above rootball for trees 4" caliper or less and 12" above rootball for trees greater than 4" caliper.
24. Trees shall not be planted within 4' of buried utilities. Relocate slightly if necessary. Contractor responsible for locating utilities prior to digging. Trees shall not be planted closer than 4' from the edge of hard surfaces such as curbing, patios and sidewalks.
25. Rootball for containerized plants shall hold soil when removed from pot but not be rootbound. No B&B plants shall be accepted if rootball is broken or loose.
26. All planting holes for trees and shrubs shall be two (2) times the diameter of the rootball. Set plant with top of rootball slightly elevated. Backfill for all plantings shall be amended soil being 3 parts soil from pit: 1 part mushroom compost. Mix evenly. Set plant in center of hole. Plant plumb and with best side turned out toward highest visibility. Backfill in manner that avoids air pockets. Install 21 gram agnform fertilizer tablets as per manufacturer's recommendations.
27. Set B&B plants in hole. Backfill 2/3 amended soil to stabilize, remove top 1/3 portion of burlap and bend wire back so upon completion of backfilling with amended soil all wire and burlap will be below grade. Do not have any burlap or wire exposed above grade upon completion of backfilling.
28. Apply pre-emergent herbicide for weed control to all planting beds prior to mulching as per manufacturer's recommendations. Check label for compatibility with plant material. Do not apply pre-emergent to any areas to receive seed.
29. Mulch with brown cypress mulch to the depth of 2".
30. Do not prune any trees or shrubs without written prior approval from landscape architect.
31. Guy and stake all trees as per details shown on plan. Guy in manner that avoids putting stress on smaller limbs and avoid wires scarring bark due to wind movement.
32. Keep all plants watered well during installation process. Deep water all plantings within 24 hours of initial installation.
33. All areas not designated as planting beds shall be sodded. Sod area shall be tilled to the depth of 4-6" then fine graded and rocks and debris removed. Eliminate any unevenness prior to sodding.
34. Sod shall be fresh cut Tifway 419 Bermuda grass. Sod shall be well rooted and shall hold together when picked up from the corners. Lay sod with tight joints. Avoid overlapping.
35. Roll sod with a water ballast to have good soil to root contact. Water within 8 hours of installation and keep well watered during the establishment period. Do not roll sod on slopes that exceed 3:1.
36. Apply pre-emergent to all sodded areas.
37. Apply LESCO 16-4-8 fertilizer to all areas to be sodded as per manufacturer's recommendations.
38. Clean up site daily of all materials associated with the landscape installation until completion of the installation. Keep tools safely placed to avoid injuries.
39. The contractor shall maintain the landscape throughout the landscape installation process until written final acceptance of the landscape installation by landscape architect. Any plants that die or are found to be in an unhealthy condition during the warranty time shall be replaced at the contractor's expense within three (3) weeks of notification of death or decline. Any irrigation repairs needed shall be done in a timely manner to protect the health of the plantings.

PLANT SCHEDULE

LARGE TREE DECIDUOUS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	AFAB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple Red Fall color	B & B	2" Cal	10-12' ht.	2
	PC	Pistacia chinensis / Chinese Pistache	B & B	2" Cal	10' ht.	2
	QP	Quercus phellos / Willow Oak	B & B	2" Cal	10' ht.	2
	ZS	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B & B	2" Cal	10' ht.	1
LARGE TREE EVERGREEN	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	QVC	Quercus virginiana 'Cathedral' / Cathedral Live Oak	B & B	4" Cal	14-16' ht.	1
PALM TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SP	Sabal palmetto / Cabbage Palmetto	B & B		14-16' ht.	6
SMALL TREE DECIDUOUS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	LT	Lagerstroemia x 'Tuscarora' / Red Crape Myrtle Multi-Trunk	B & B	2" Cal	8' ht.	2
EVERGREEN SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	AEAR	Azalea Encore 'Autumn Rouge' TM / Encore Azalea	5 gal			18
	PTV	Pittosporum tobira 'Variegata' / Variegated Mock Orange	3 gal			8



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PLANT MATERIAL SCHEDULE
DETAILS AND SPECIFICATIONS

REV	DATE	REVISION
1		REVISIONS FROM PLANT SCHEDULE
2		REVISED PER COMMENTS
3		REVISED PER COMMENTS

PROJ NO:
DRAWN BY: RLK
DATE: 01.08.2014

L1.1

Existing Elevation Conditions



1. Existing Northeast corner of building.



2. Existing North elevation of building

Existing Elevation Conditions

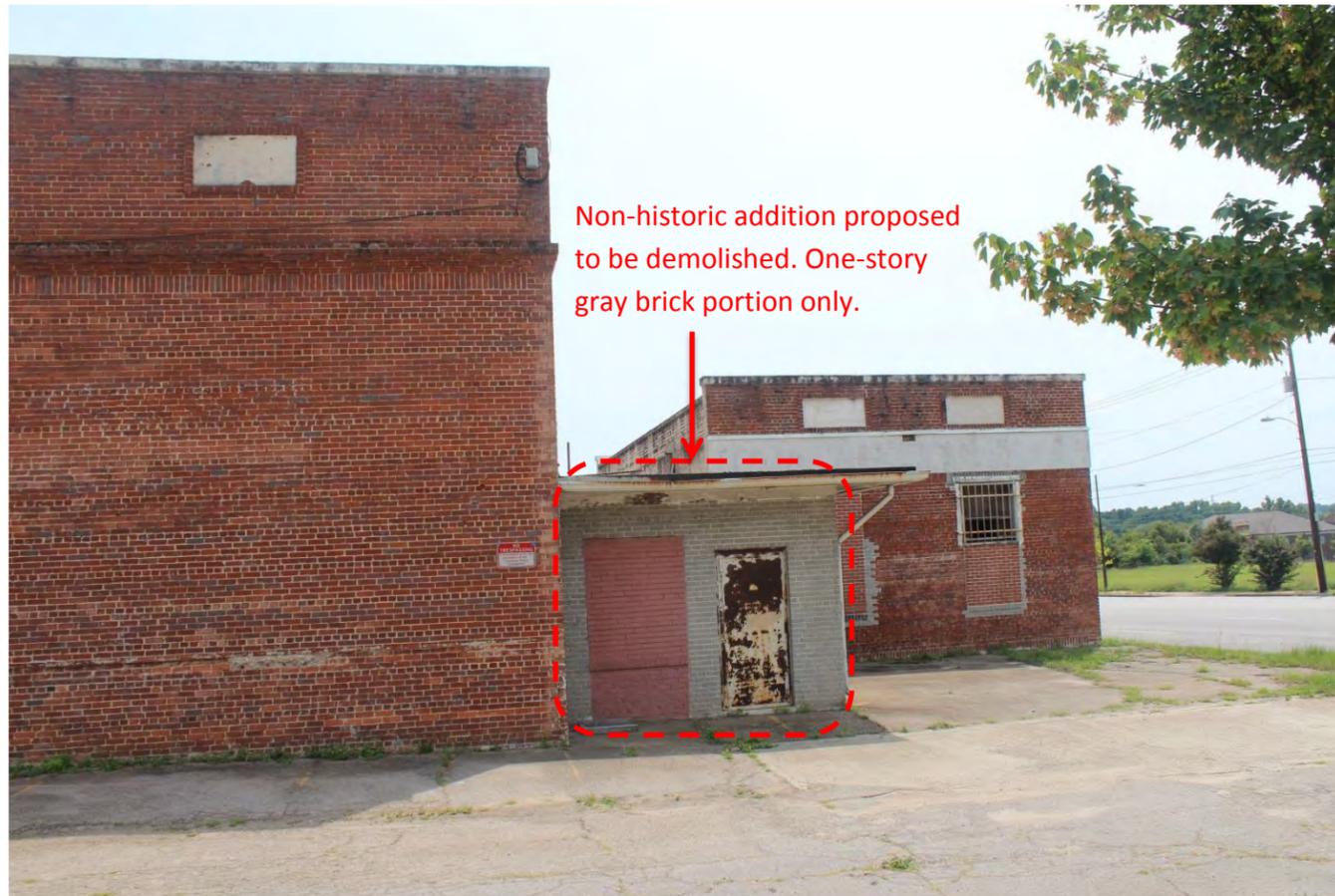


3. Existing North elevation of building



4. Existing North elevation of building

Existing Elevation Conditions



5. Existing North elevation of building

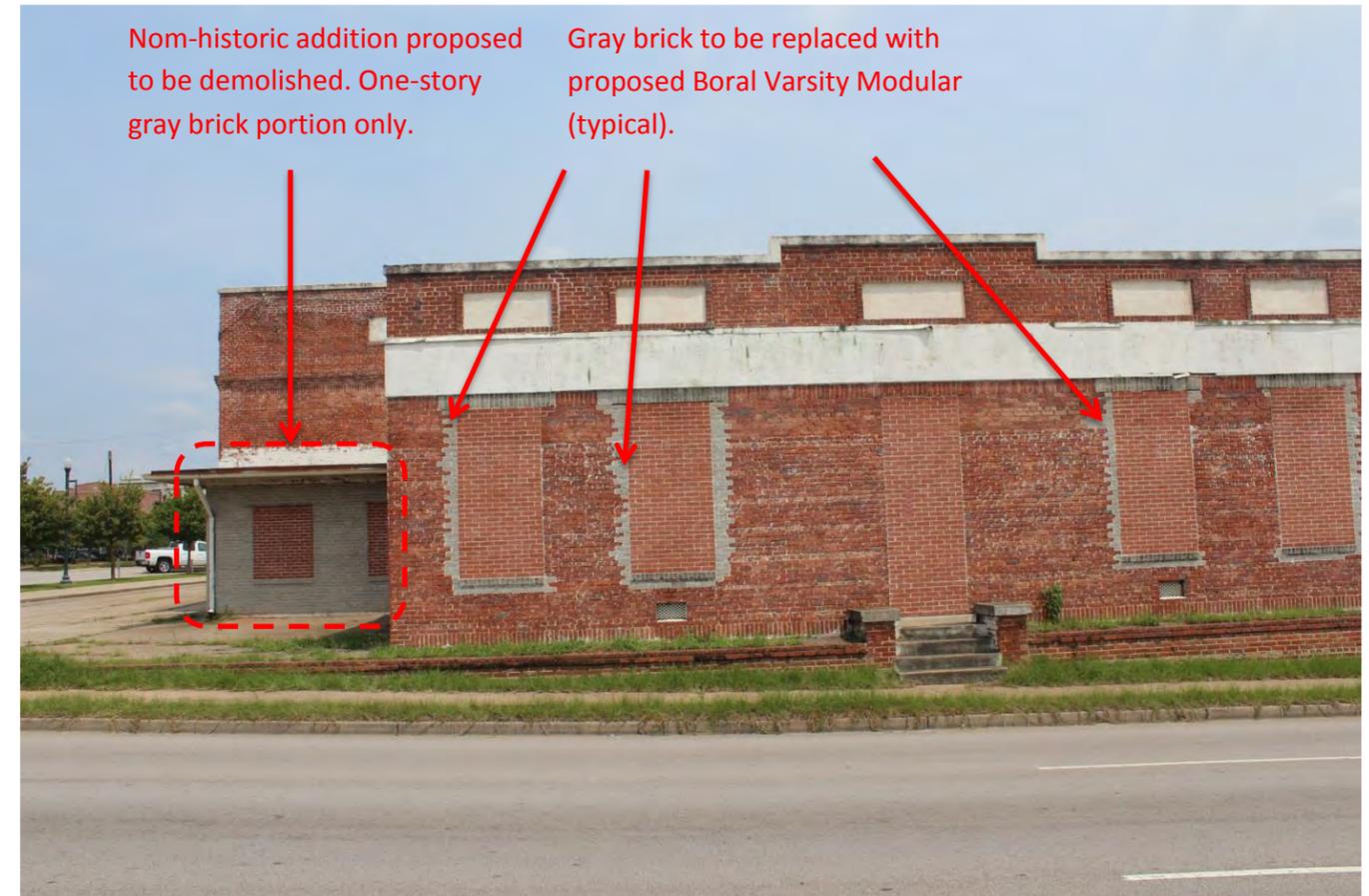


6. Existing Northwest elevation of building

Existing Elevation Conditions



7. Existing West elevation of building



8. Existing West elevation of building (Façade)

Existing Elevation Conditions



Non-historic addition proposed to be demolished. One-story gray brick portion only.



Non-historic addition proposed to be demolished. One-story gray brick portion only.

9. Existing West elevation of building

10. Existing Southwest corner of building

Existing Elevation Conditions



11. Existing South elevation of building



12. Existing South elevation of building

Existing Elevation Conditions



13. Existing South elevation of building



14. Existing South elevation of building

Existing Elevation Conditions



15. Existing Southeast corner of building

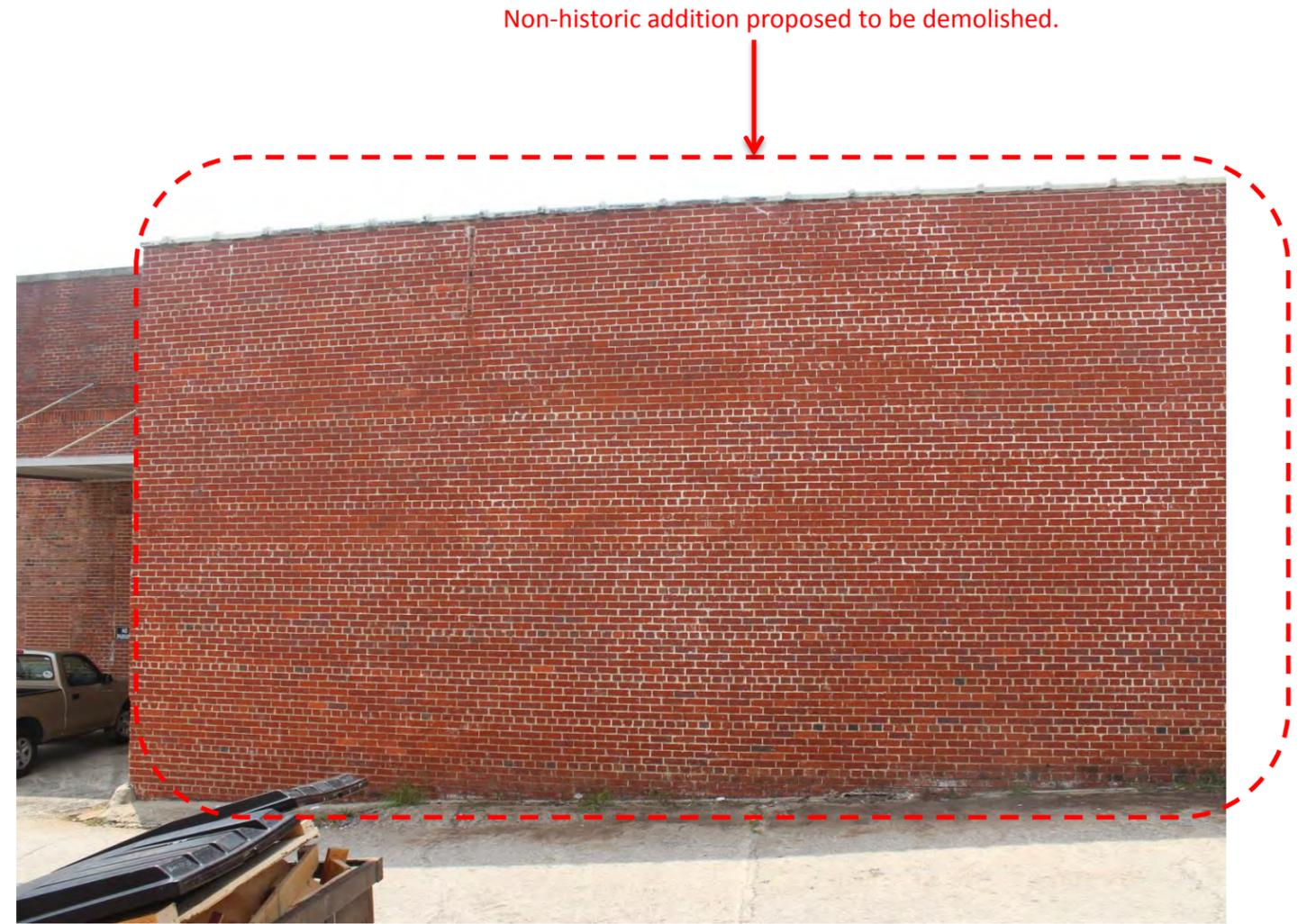


16. Existing East elevation of building

Existing Elevation Conditions



17. Existing East elevation of building



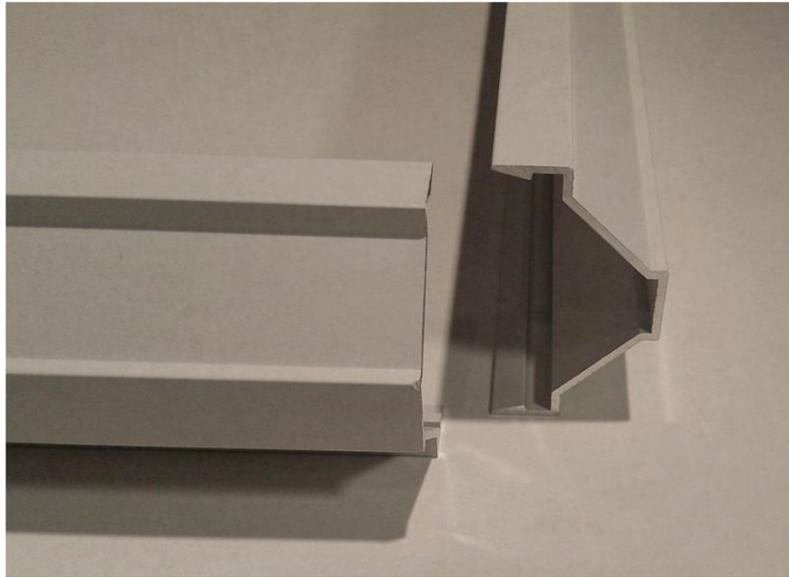
18. Existing East elevation of building

Existing Elevation Conditions



19. Existing Northeast corner of building

Materials Narrative



EFCO Snap Cover profile 7990 or Approved Equal

Curtain Wall mullions to be anodized in color. Basis of Design is EFCO 5600 series curtain wall system or approved equal. See elevation drawings for additional information.

New aluminum storefronts will be introduced in several bricked-up existing openings. A multi-story stair tower will also be anodized aluminum curtain wall.



Insulated glass will be used in the curtain wall panels that will not be frosted.



Centria Aluminum Composite Metal Panel or Approved Equal

Metal Panels to be light gray or anodized in color. See elevation drawings and renderings for additional information. Metal panels will be used in conjunction with curtain wall system.



Boral Varsity Modular Brick or Approved Equal

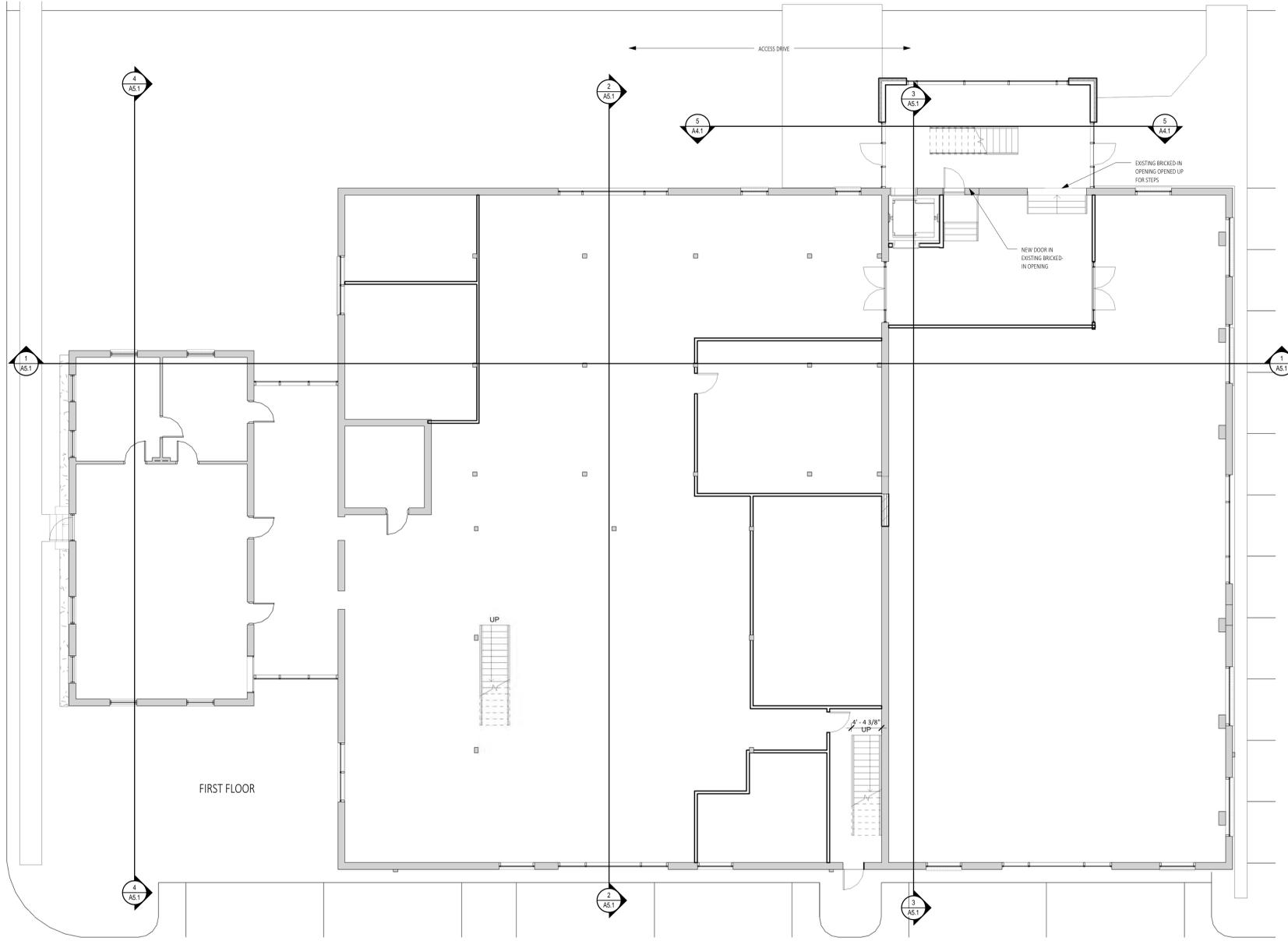
Brick will be replacing existing grey brick in elevations where the brick color was not matched properly. Brick will also be used in areas where patches and repairs are necessary. Mortar color will match



Insulated Frosted Glass

Frosted glass will be incorporated into portions of curtain wall entry to add dimension to the space.

1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES
1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIALS UNLESS OTHERWISE NOTED.

FIRST FLOOR PLAN

REV #	REV DATE

PROJECT NAME
CLIENT NAME
ADDRESS

PROJ. NO.:
DRAWN BY: Author
DATE: PROJECT
ISSUE DATE

A1.1

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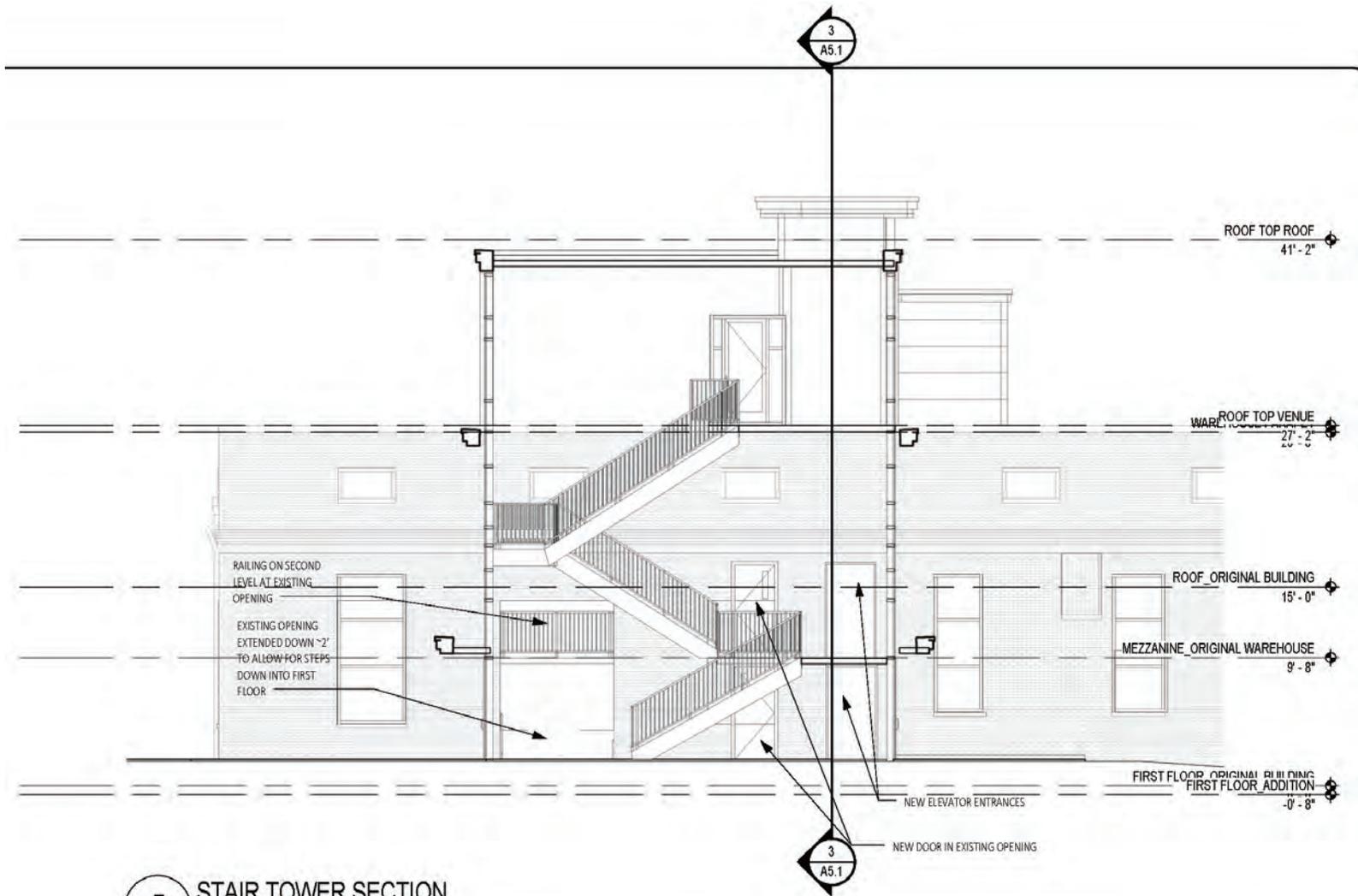




1 North Elevation
SCALE:



2 South Elevation
SCALE:



5

STAIR TOWER SECTION

SCALE: 1/8" = 1'-0"



3 East Elevation
SCALE: _____



3 East Elevation
SCALE: _____