



**PLANNING COMMISSION
SITE PLAN REVIEW
CASE SUMMARY**

**2.2 ACRES ADJACENT TO 610 COLUMBIANA DRIVE
ENTEGR A HOTELS, LLC**

June 6, 2016 at 5:15pm

City Council Chambers, 3rd Floor, 1737 Main Street, Columbia, SC 29201

Subject Property:	2.2 acres adjacent to 610 Columbia Drive
TMS#:	TMS#03914-06-01(p)
Zoning District:	PUD-C (Commercial Planned Unit Development)
Council District:	1
Proposal:	Request site plan approval to construct a hotel
Applicant:	Entegra Hotels, LLC
Proposed Use:	Hotel
Staff Recommendation:	Approval with staff comments.

Detail:	<p>This project entails the construction of a ± 68,000 sq. ft., 5-story, 92-room hotel on a 2.20 acre parcel. The project requires site plan approval by the Planning Commission due to the project being location within the Harbison PUD (Planned Unit Development). The landscape plan illustrates that there are several grand trees on the site; however, it has been determined that many of them are in poor health. The site plan has been reviewed and approved by the Harbison Group which is also a requirement of the PUD zoning.</p> <p>The staff comments provided below are generally standard and the proposed site plan largely meets requirements. Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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CITY REVIEWING AGENCY COMMENTS

John Fellows, Planning	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> Improvements within the right of way are being proposed which include driveways and access points. The transportation portion of the Comprehensive Plan for the city of Columbia (Walk Bike Columbia Plan) recommends sidewalks along Columbian Drive. Sidewalks are existing on the west side of the street but not on the east side of the street at this location. Modifications for plans for Improvements to the right of way need to address sidewalks adjacent to the parcel. Sidewalks locations shall be placed away from the road with a planting strip. A sidewalk from the main entry to the Hotel to the public right of way through the parking are shall be provided to allow pedestrians to access the public right of way.
K. Brian Cook, Zoning Administrator	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> Must meet all requirements of Harbison PUD.

Johnathan Chambers, Land Development Administrator	Recommend approval with condition: 1. Harbison Group approval required prior to the issuance of any permits.
Chis Metts, Plans Examiner	Recommend approval.
Scott Rogers, Utilities	Recommend approval with conditions: 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4" or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly encouraged. 4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible. 5. Details of the proposed retaining wall located within an existing City Of Columbia utility easement will be needed to determine if this construction will be permitted.
David Brewer, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	Recommend approval.
Sara Hollar, Forestry	Recommend approval with condition: 1. If any new landscaping or irrigation is installed in the right of way, it must be approved by Forestry and Beautification and maintained by the adjacent property owner in a manner to not interfere with vehicular and pedestrian traffic. SCDOT must approve any new landscaping installed along SCDOT roadways.
Mike Jaspers, Stormwater	Recommend approval with condition: 1. Design must meet all land disturbance requirements.
John Spade, Parking	Recommend approval.
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.
Scott Holder, Landscaping	Recommend approval.

City of Columbia

610 Columbiana Drive



Tuesday, May 10, 2016



0 155 310 620 Feet

CITY OF COLUMBIA GIS DATA DISCLAIMER

The City of Columbia GIS data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.

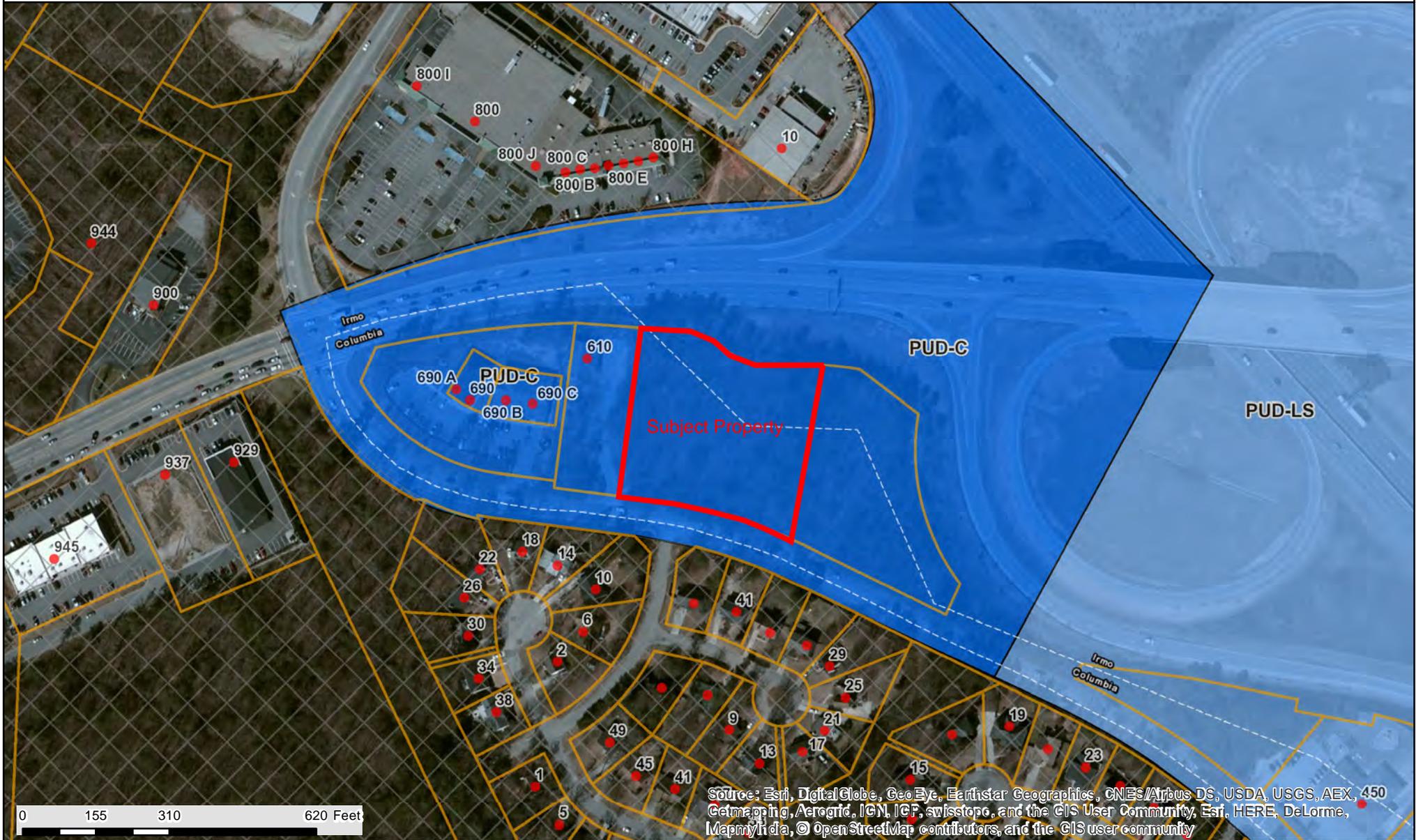


City of Columbia

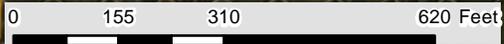
610 Columbiana Drive



Tuesday, May 10, 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, 450
Getmapping, Aerogrid, IGN, ICF, swisstopo, and the GIS User Community, Esri, HERE, DeLorme,
MapmyIndia, © OpenStreetMap contributors, and the GIS user community



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City of Columbia APPLICATION for SITE PLAN/SUBDIVISION PLAT REVIEW

RECEIVED

FORM REVISED 02/10

MAY 04 REC'D

DEVELOPMENT
CENTER

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Anand Patel	Company:	Entegra Hotels LLC
Tel. #:	843-667-4630	Fax#:	843-667-6653
Mobile #:	843-229-6795	E-mail:	anandpatel@high-risehotels.com

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency

2) THIS APPLICATION IS FOR (Check all that apply)

Group/Individual Commercial Development

Group Residential Development

Residential Subdivision

Planned Unit Development Site Review

3) PROPERTY

Address:	610 Columbiana Drive		
TMS#:	03914-06-01 (P)	Total Acreage:	2.20
Current Use:	Vacant	Proposed Use:	Hotel
Current Zoning:	PUD-C		
Number of Lots and/or Units:	92 Rooms	Total Sq. Ft.	68,136

3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

Construction of a five story , 92 room hotel with 95 parking spaces

4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

5) PLAN SUBMITTAL

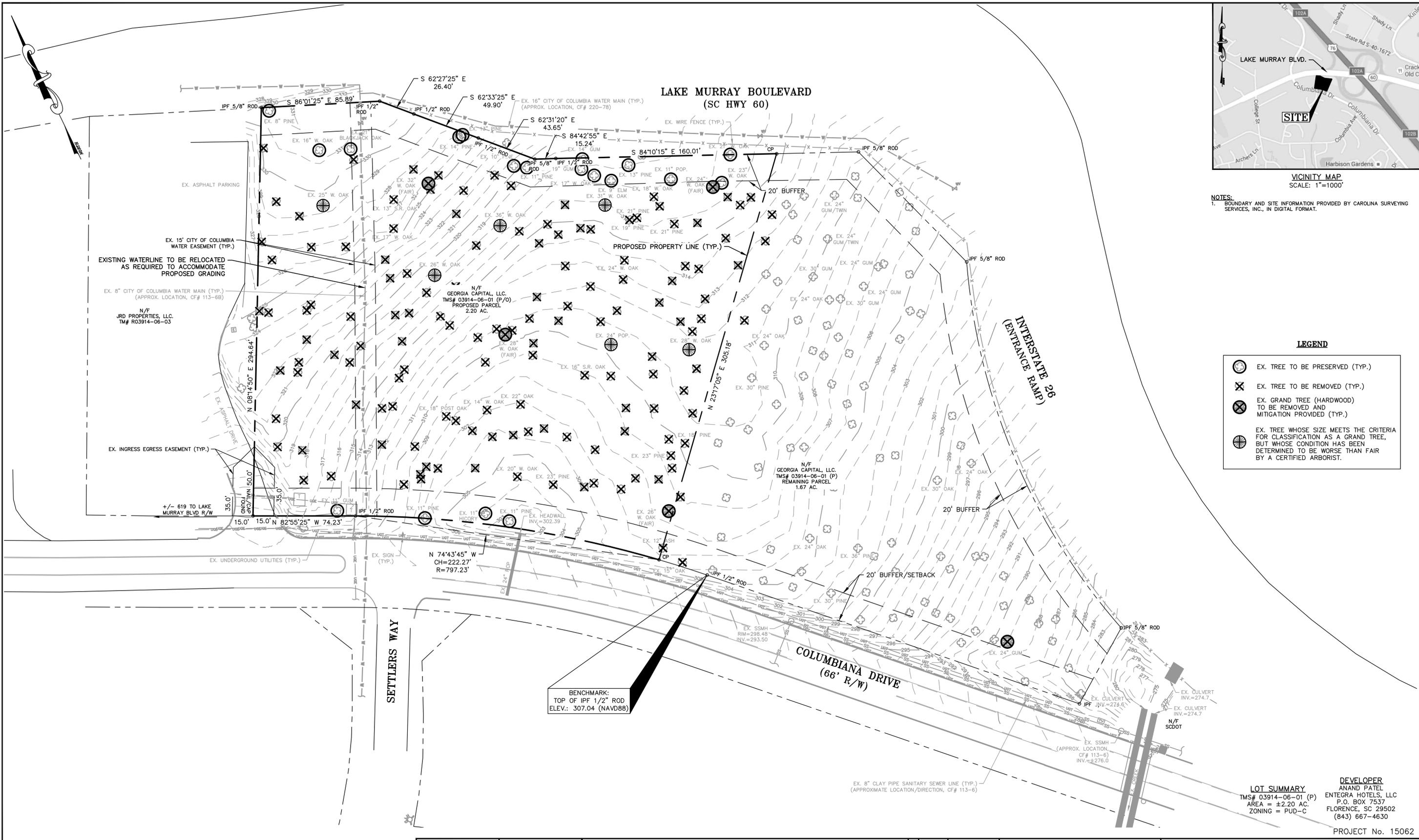
Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

6) SIGNATURE

Applicant Signature:	
Print Name:	Anand M. Patel
Date:	5/3/16

PC Date: _____

Action: _____

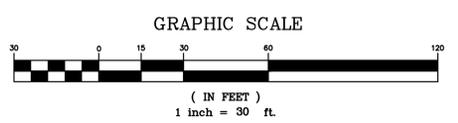


VICINITY MAP
SCALE: 1"=1000'

NOTES:
1. BOUNDARY AND SITE INFORMATION PROVIDED BY CAROLINA SURVEYING SERVICES, INC., IN DIGITAL FORMAT.

LEGEND

- EX. TREE TO BE PRESERVED (TYP.)
- EX. TREE TO BE REMOVED (TYP.)
- EX. GRAND TREE (HARDWOOD) TO BE REMOVED AND MITIGATION PROVIDED (TYP.)
- EX. TREE WHOSE SIZE MEETS THE CRITERIA FOR CLASSIFICATION AS A GRAND TREE, BUT WHOSE CONDITION HAS BEEN DETERMINED TO BE WORSE THAN FAIR BY A CERTIFIED ARBORIST.



BENCHMARK:
TOP OF IPF 1/2" ROD
ELEV.: 307.04 (NAVD88)

HERITAGE
ENGINEERING INC.

10719 WILSON BLVD. • P.O. BOX 923 • BLYTHEWOOD, S.C. 29016
(803) 714-9632 OFFICE • (855) 787-9289 FAX

NO.	DATE	DESCRIPTION
1	5/26/2016	REV. PER ARBORIST'S FINDINGS

**EXISTING SITE PLAN
HOME 2 SUITES**

PREPARED FOR
ENTEGRA HOTELS, LLC

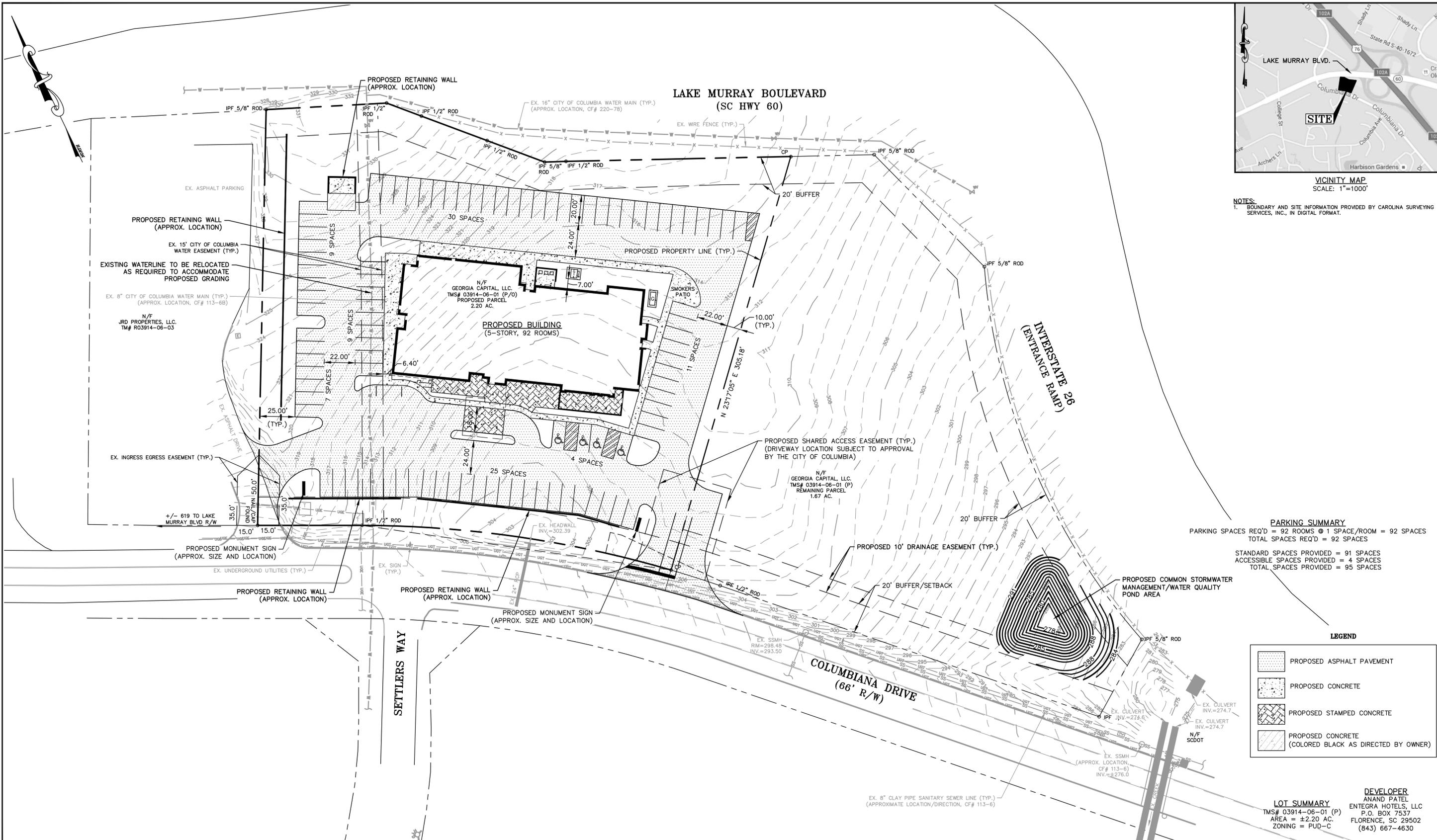
IN THE CITY OF COLUMBIA, HARBISON, RICHLAND COUNTY, SOUTH CAROLINA

DATE: MAY 2, 2016 SCALE: 1" = 30' SHEET C1 OF 3

LOT SUMMARY
TMS# 03914-06-01 (P)
AREA = ±2.20 AC.
ZONING = PUD-C

DEVELOPER
ANAND PATEL
ENTEGRA HOTELS, LLC
P.O. BOX 7537
FLORENCE, SC 29502
(843) 667-4630

PROJECT No. 15062



VICINITY MAP
SCALE: 1"=1000'

NOTES:
1. BOUNDARY AND SITE INFORMATION PROVIDED BY CAROLINA SURVEYING SERVICES, INC., IN DIGITAL FORMAT.

PARKING SUMMARY
 PARKING SPACES REQ'D = 92 ROOMS @ 1 SPACE/ROOM = 92 SPACES
 TOTAL SPACES REQ'D = 92 SPACES
 STANDARD SPACES PROVIDED = 91 SPACES
 ACCESSIBLE SPACES PROVIDED = 4 SPACES
 TOTAL SPACES PROVIDED = 95 SPACES

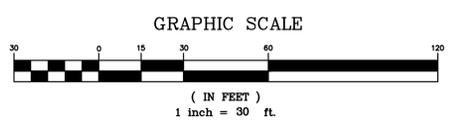
LEGEND

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE
	PROPOSED STAMPED CONCRETE
	PROPOSED CONCRETE (COLORED BLACK AS DIRECTED BY OWNER)

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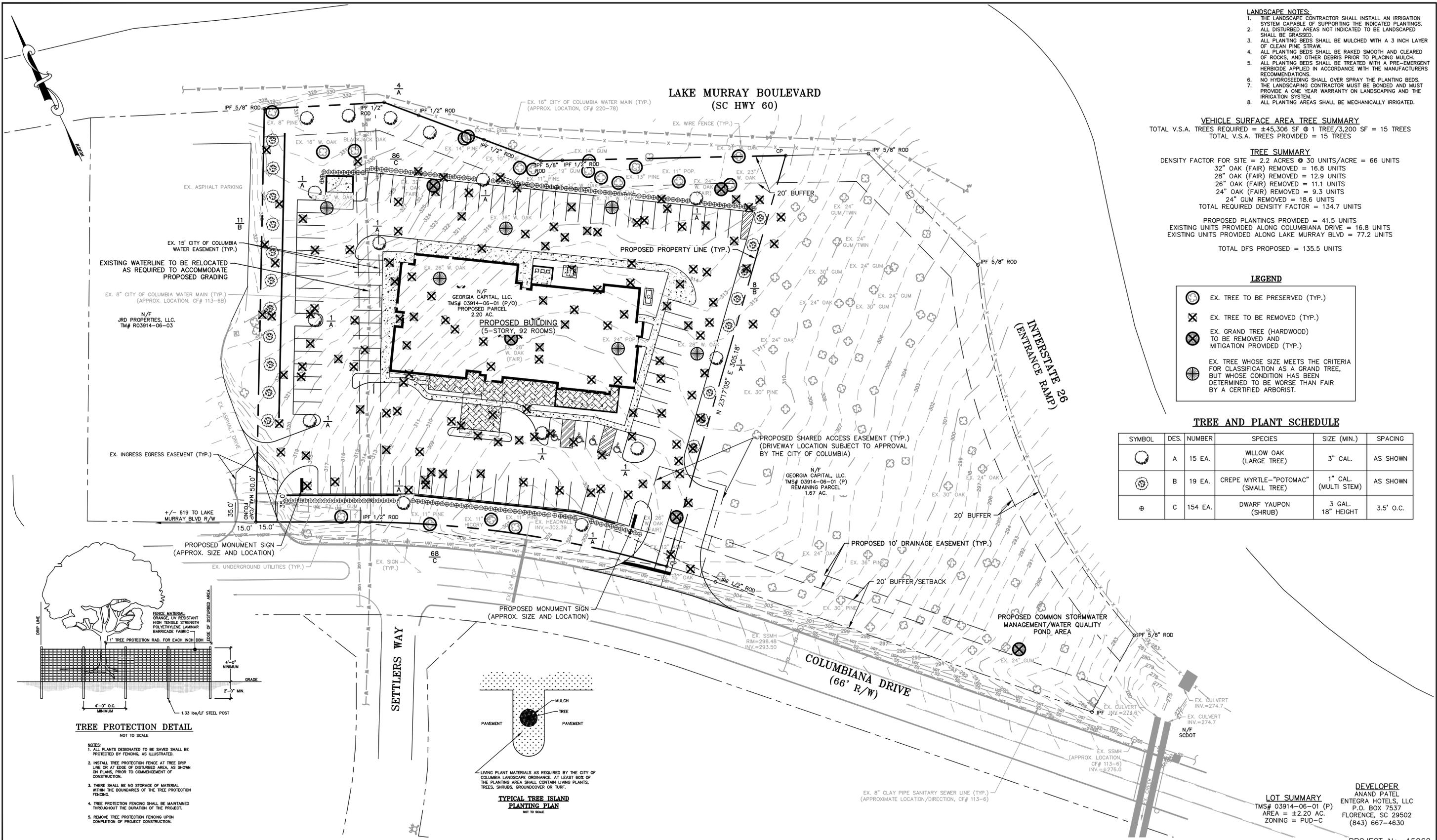
REVISIONS			
NO.	DATE	DESCRIPTION	

SITE DEVELOPMENT PLAN
HOME 2 SUITES

PREPARED FOR
ENTEGR A HOTELS, LLC

IN THE CITY OF COLUMBIA, HARBISON, RICHLAND COUNTY, SOUTH CAROLINA

DATE: MAY 2, 2016 SCALE: 1" = 30' SHEET C2 OF 3



- LANDSCAPE NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM CAPABLE OF SUPPORTING THE INDICATED PLANTINGS.
 2. ALL DISTURBED AREAS NOT INDICATED TO BE LANDSCAPED SHALL BE GRASSED.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3 INCH LAYER OF CLEAN PINE STRAW.
 4. ALL PLANTING BEDS SHALL BE RAKED SMOOTH AND CLEARED OF ROCKS, AND OTHER DEBRIS PRIOR TO PLACING MULCH.
 5. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 6. NO HYDROSEEDING SHALL OVER SPRAY THE PLANTING BEDS.
 7. THE LANDSCAPING CONTRACTOR MUST BE BONDED AND MUST PROVIDE A ONE YEAR WARRANTY ON LANDSCAPING AND THE IRRIGATION SYSTEM.
 8. ALL PLANTING AREAS SHALL BE MECHANICALLY IRRIGATED.

VEHICLE SURFACE AREA TREE SUMMARY
 TOTAL V.S.A. TREES REQUIRED = ±45,306 SF @ 1 TREE/3,200 SF = 15 TREES
 TOTAL V.S.A. TREES PROVIDED = 15 TREES

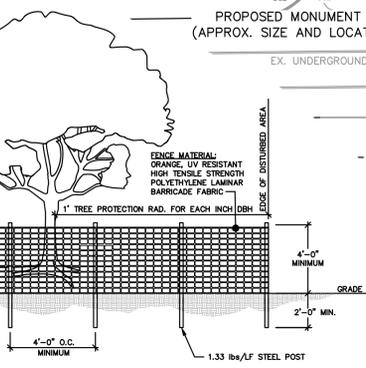
TREE SUMMARY
 DENSITY FACTOR FOR SITE = 2.2 ACRES @ 30 UNITS/ACRE = 66 UNITS
 32" OAK (FAIR) REMOVED = 16.8 UNITS
 28" OAK (FAIR) REMOVED = 12.9 UNITS
 26" OAK (FAIR) REMOVED = 11.1 UNITS
 24" OAK (FAIR) REMOVED = 9.3 UNITS
 24" GUM REMOVED = 18.6 UNITS
 TOTAL REQUIRED DENSITY FACTOR = 134.7 UNITS

PROPOSED PLANTINGS PROVIDED = 41.5 UNITS
 EXISTING UNITS PROVIDED ALONG COLUMBIANA DRIVE = 16.8 UNITS
 EXISTING UNITS PROVIDED ALONG LAKE MURRAY BLVD = 77.2 UNITS
 TOTAL DFS PROPOSED = 135.5 UNITS

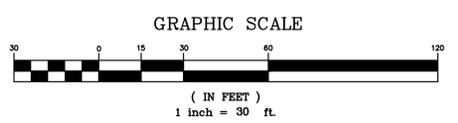
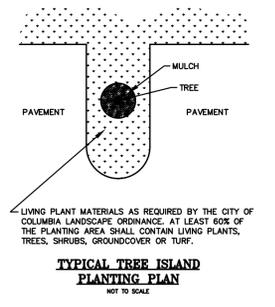
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 - ⊗ EX. GRAND TREE (HARDWOOD) TO BE REMOVED AND MITIGATION PROVIDED (TYP.)
 - ⊕ EX. TREE WHOSE SIZE MEETS THE CRITERIA FOR CLASSIFICATION AS A GRAND TREE, BUT WHOSE CONDITION HAS BEEN DETERMINED TO BE WORSE THAN FAIR BY A CERTIFIED ARBORIST.

TREE AND PLANT SCHEDULE

SYMBOL	DES.	NUMBER	SPECIES	SIZE (MIN.)	SPACING
⊙	A	15 EA.	WILLOW OAK (LARGE TREE)	3" CAL.	AS SHOWN
⊕	B	19 EA.	CREPE MYRTLE-"POTOMAC" (SMALL TREE)	1" CAL. (MULTI STEM)	AS SHOWN
⊕	C	154 EA.	DWARF YAUPON (SHRUB)	3 GAL. 18" HEIGHT	3.5' O.C.



- NOTES:**
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 5. REMOVE TREE PROTECTION FENCING UPON COMPLETION OF PROJECT CONSTRUCTION.



HERITAGE ENGINEERING INC.

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NO.	DATE	DESCRIPTION
1	5/26/2016	REV. PER ARBORIST'S FINDINGS

LANDSCAPING PLAN
HOME 2 SUITES

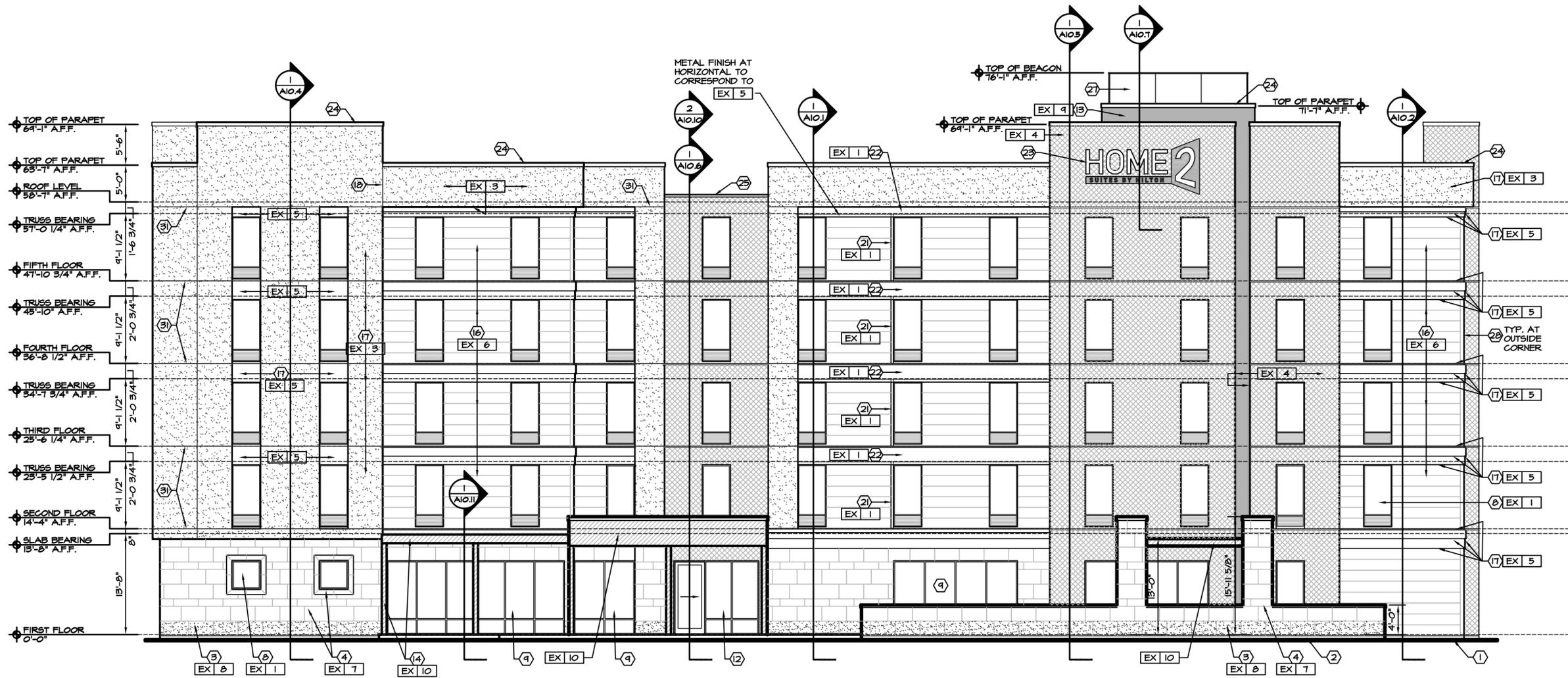
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IN THE CITY OF COLUMBIA, HARBISON, RICHLAND COUNTY, SOUTH CAROLINA

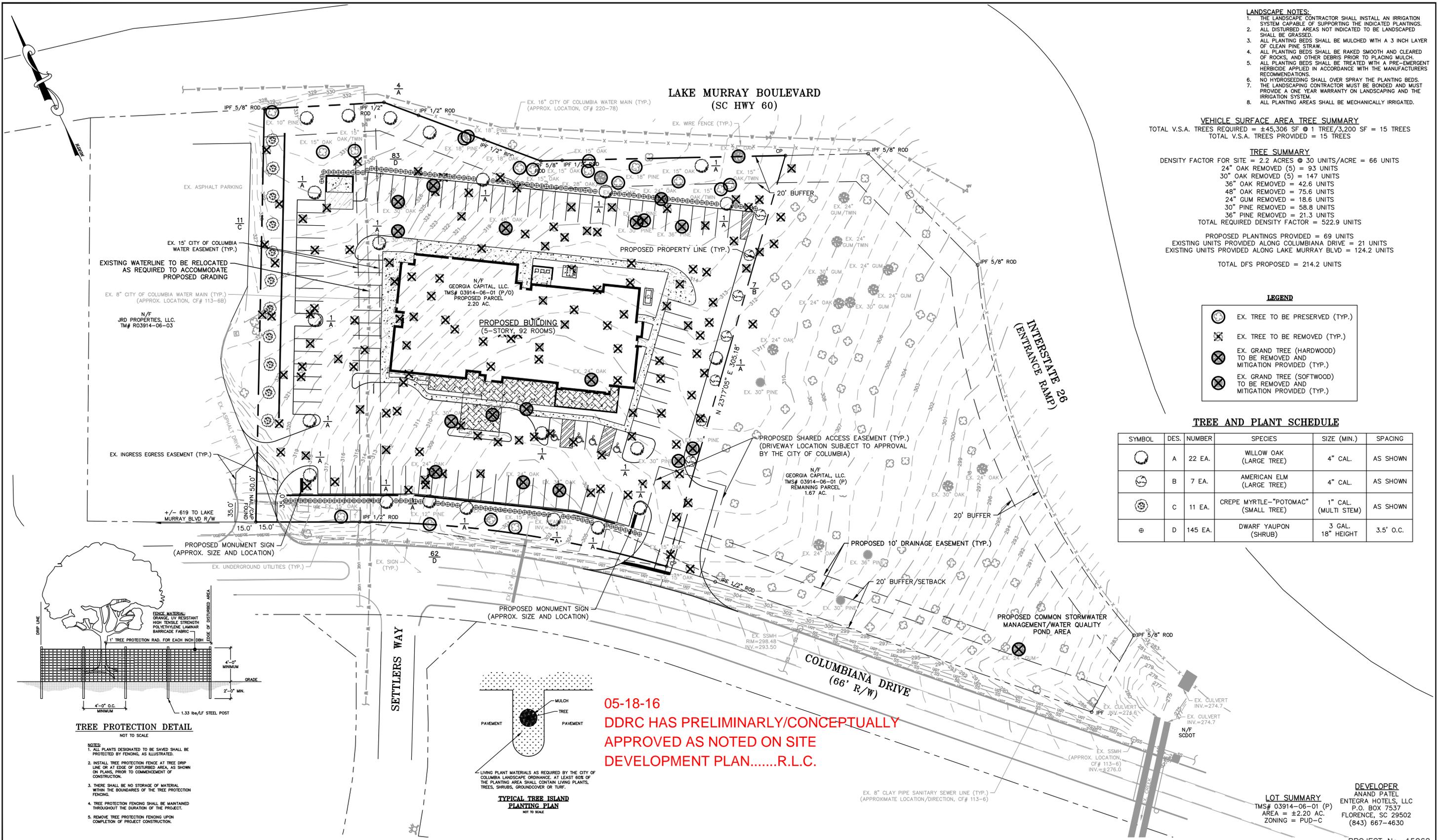
DATE: MAY 2, 2016 SCALE: 1" = 30' SHEET C3 OF 3

DEVELOPER
 ANAND PATEL
 ENTEGRA HOTELS, LLC
 P.O. BOX 7537
 FLORENCE, SC 29502
 (843) 667-4630

PROJECT No. 15062



05-18-16
 DDRC HAS PRELIMINARLY/CONCEPTUALLY
 APPROVED AS NOTED ON SITE
 DEVELOPMENT PLAN.....R.L.C.



- LANDSCAPE NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM CAPABLE OF SUPPORTING THE INDICATED PLANTINGS.
 2. ALL DISTURBED AREAS NOT INDICATED TO BE LANDSCAPED SHALL BE GRASSED.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH A 3 INCH LAYER OF CLEAN PINE STRAW.
 4. ALL PLANTING BEDS SHALL BE RAKED SMOOTH AND CLEARED OF ROCKS, AND OTHER DEBRIS PRIOR TO PLACING MULCH.
 5. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE APPLIED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 6. NO HYDROSEEDING SHALL OVER SPRAY THE PLANTING BEDS.
 7. THE LANDSCAPING CONTRACTOR MUST BE BONDED AND MUST PROVIDE A ONE YEAR WARRANTY ON LANDSCAPING AND THE IRRIGATION SYSTEM.
 8. ALL PLANTING AREAS SHALL BE MECHANICALLY IRRIGATED.

VEHICLE SURFACE AREA TREE SUMMARY
 TOTAL V.S.A. TREES REQUIRED = ±45,306 SF @ 1 TREE/3,200 SF = 15 TREES
 TOTAL V.S.A. TREES PROVIDED = 15 TREES

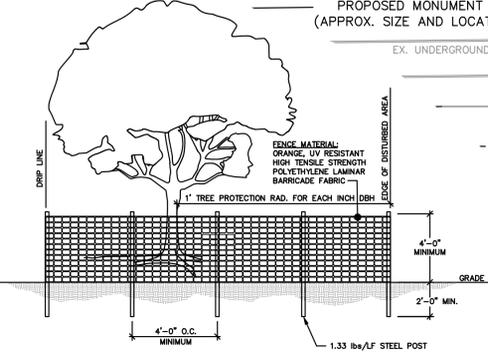
TREE SUMMARY
 DENSITY FACTOR FOR SITE = 2.2 ACRES @ 30 UNITS/ACRE = 66 UNITS
 24" OAK REMOVED (5) = 93 UNITS
 30" OAK REMOVED (5) = 147 UNITS
 36" OAK REMOVED = 42.6 UNITS
 48" OAK REMOVED = 75.6 UNITS
 24" GUM REMOVED = 18.6 UNITS
 30" PINE REMOVED = 58.8 UNITS
 36" PINE REMOVED = 21.3 UNITS
 TOTAL REQUIRED DENSITY FACTOR = 522.9 UNITS

PROPOSED PLANTINGS PROVIDED = 69 UNITS
 EXISTING UNITS PROVIDED ALONG COLUMBIANA DRIVE = 21 UNITS
 EXISTING UNITS PROVIDED ALONG LAKE MURRAY BLVD = 124.2 UNITS
 TOTAL DFS PROPOSED = 214.2 UNITS

- LEGEND**
- ⊙ EX. TREE TO BE PRESERVED (TYP.)
 - ⊗ EX. TREE TO BE REMOVED (TYP.)
 - ⊗ EX. GRAND TREE (HARDWOOD) TO BE REMOVED AND MITIGATION PROVIDED (TYP.)
 - ⊗ EX. GRAND TREE (SOFTWOOD) TO BE REMOVED AND MITIGATION PROVIDED (TYP.)

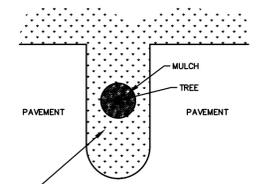
TREE AND PLANT SCHEDULE

SYMBOL	DES.	NUMBER	SPECIES	SIZE (MIN.)	SPACING
⊙	A	22 EA.	WILLOW OAK (LARGE TREE)	4" CAL.	AS SHOWN
⊙	B	7 EA.	AMERICAN ELM (LARGE TREE)	4" CAL.	AS SHOWN
⊙	C	11 EA.	CREPE MYRTLE-"POTOMAC" (SMALL TREE)	1" CAL. (MULTI STEM)	AS SHOWN
⊕	D	145 EA.	DWARF YAUPON (SHRUB)	3 CAL. 18" HEIGHT	3.5' O.C.



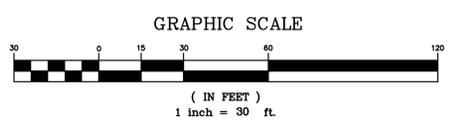
TREE PROTECTION DETAIL
NOT TO SCALE

- NOTES:**
1. ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 2. INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 4. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
 5. REMOVE TREE PROTECTION FENCING UPON COMPLETION OF PROJECT CONSTRUCTION.



TYPICAL TREE ISLAND PLANTING PLAN
NOT TO SCALE

05-18-16
 DDRC HAS PRELIMINARLY/CONCEPTUALLY APPROVED AS NOTED ON SITE DEVELOPMENT PLAN.....R.L.C.



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REVISIONS

NO.	DATE	DESCRIPTION

LANDSCAPING PLAN HOME 2 SUITES

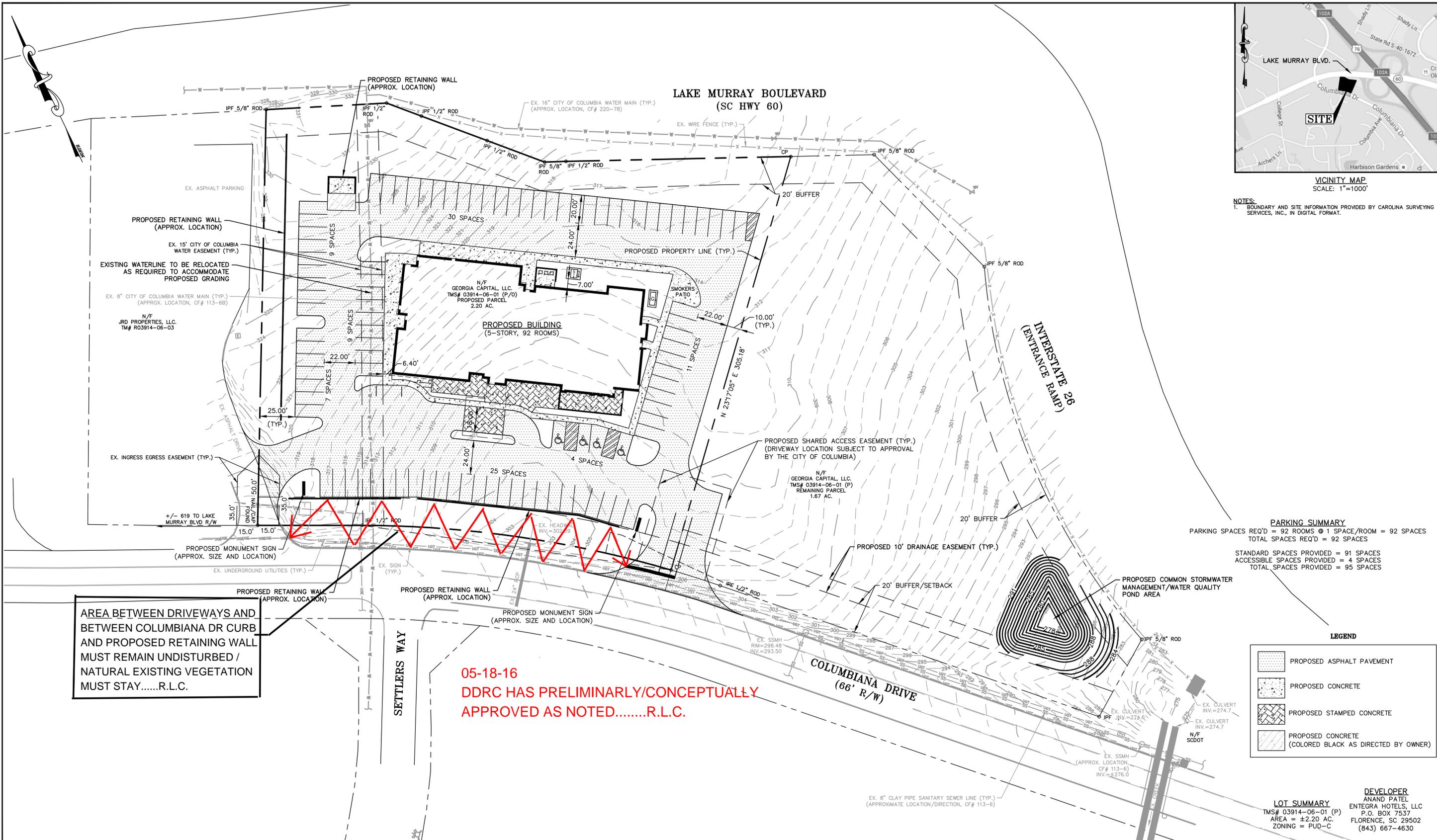
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IN THE CITY OF COLUMBIA, HARBISON, RICHLAND COUNTY, SOUTH CAROLINA

DATE: MAY 2, 2016 SCALE: 1" = 30' SHEET C3 OF 3

DEVELOPER
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 ENTEGRA HOTELS, LLC
 P.O. BOX 7537
 FLORENCE, SC 29502
 (843) 667-4630

PROJECT No. 15062



VICINITY MAP
SCALE: 1"=1000'

NOTES:
1. BOUNDARY AND SITE INFORMATION PROVIDED BY CAROLINA SURVEYING SERVICES, INC., IN DIGITAL FORMAT.

PARKING SUMMARY

PARKING SPACES REQ'D = 92 ROOMS @ 1 SPACE/ROOM = 92 SPACES
TOTAL SPACES REQ'D = 92 SPACES
STANDARD SPACES PROVIDED = 91 SPACES
ACCESSIBLE SPACES PROVIDED = 4 SPACES
TOTAL SPACES PROVIDED = 95 SPACES

LEGEND

	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE
	PROPOSED STAMPED CONCRETE
	PROPOSED CONCRETE (COLORED BLACK AS DIRECTED BY OWNER)

LOT SUMMARY

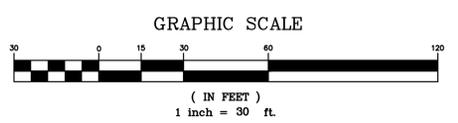
TMS# 03914-06-01 (P)	AREA = ±2.20 AC.	ZONING = PUD-C
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DEVELOPER
ANAND PATEL
ENTEGRA HOTELS, LLC
P.O. BOX 7537
FLORENCE, SC 29502
(843) 667-4630

PROJECT No. 15062

AREA BETWEEN DRIVEWAYS AND BETWEEN COLUMBIANA DR CURB AND PROPOSED RETAINING WALL MUST REMAIN UNDISTURBED / NATURAL EXISTING VEGETATION MUST STAY.....R.L.C.

05-18-16
DDRC HAS PRELIMINARLY/CONCEPTUALLY APPROVED AS NOTED.....R.L.C.



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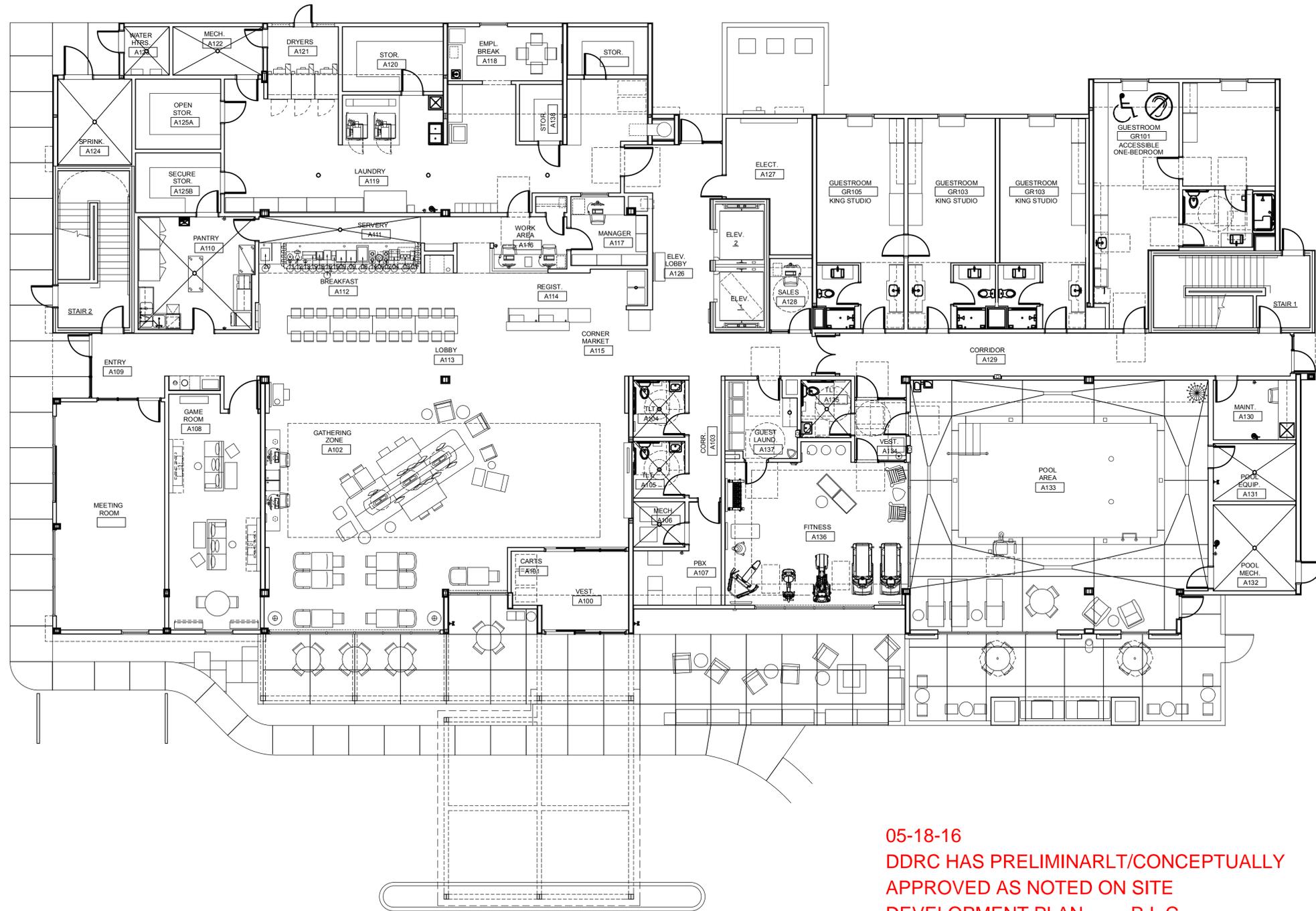
REVISIONS	NO.	DATE	DESCRIPTION

**SITE DEVELOPMENT PLAN
HOME 2 SUITES**

PREPARED FOR
ENTEGRA HOTELS, LLC

IN THE CITY OF COLUMBIA, HARBISON, RICHLAND COUNTY, SOUTH CAROLINA

DATE: MAY 2, 2016	SCALE: 1" = 30'	SHEET C2 OF 3
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05-18-16
 DDRC HAS PRELIMINARLT/CONCEPTUALLY
 APPROVED AS NOTED ON SITE
 DEVELOPMENT PLAN.....R.L.C.

1
 A-1.1 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DATE	REVISIONS	BY

DRAWN BY	APPROVED
PROJ. #	DATE
16004	03/17/16

QUALITY FIRST

isomham
 DESIGN GROUP, PA
 Architecture · Planning
 1309 Collegiate Drive Wilkesboro, NC 28697 www.isomham.com

SOUTH CAROLINA

OVERALL FIRST FLOOR PLAN
 HOME2
 SUITES BY HILTON

SHEET
 A-1.1

ALL CONTRACTORS AND SUB-CONTRACTORS
 SUBMITTING BIDS ON THIS PROJECT SHALL BE
 REQUIRED TO RECEIVE THE ENTIRE SET OF
 DRAWINGS. BROKEN SETS ARE NOT ALLOWED
 FOR BIDDING PROJECTS.
 UNDER NO CIRCUMSTANCES ARE THE DRAWINGS
 TO BE SCALED !!

NOT RELEASED FOR CONSTRUCTION