



**PLANNING COMMISSION
SITE PLAN REVIEW
CASE SUMMARY**

**10.44 ACRES, DUNSTON ROAD, 7600 RICHARD STREET,
1320 THRU 1326 AND 1400 BLAINE STREET,
1325 AND 1405 DUNSTON ROAD
SOUTHERN WINE AND SPIRITS OF AMERICA, INC.**

May 2, 2016 at 5:15pm

City Council Chambers, 3rd Floor, 1737 Main Street, Columbia, SC 29201

Subject Property:	10.44 acres, Dunston Road, 7600 Richard Street, 1320 thru 1326 and 1400 Blaine Street, 1325 and 1405 Dunston Road
TMS#:	TMS#16305-02-04, 16309-05-04, 16305-03-01 and -02, 16309-05-02, 16305-04-01, 16309-06-01
Zoning District:	M-1 (Light Industrial)
Council District:	3
Proposal:	Request site plan approval to construct a ± 63,000 sq. ft. addition
Applicant:	Marcobay Construction, Inc.
Proposed Use:	Warehouse / Distribution Facility
Staff Recommendation:	Approval with staff comments.

Detail:	<p>This project entails the construction of a ± 63,000 sq. ft. addition to the existing Southern Wine and Spirits Warehouse & Distribution Facility. The required number of off-street parking spaces for this addition is 107 (1.7 off-street parking spaces for each 1,000 sq. ft. of gross floor area) which will be provided with new and reconfigured parking. Upon completion of this project, the distribution center will contain ± 302,000 sq. ft.</p> <p>The site plan largely meets requirements and the staff comments are generally standard. Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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CITY AGENCY COMMENTS FOR CONCEPTUAL PLAN REVIEW

John Fellows, Planning	Recommend approval.
K. Brian Cook, Zoning Administrator	Recommend approval with condition: 1. Must meet all applicable zoning requirements.
Johnathan Chambers, Land Development Administrator	Recommend approval with conditions: 1. City and State Encroachment permits will be required for work being conducted within the ROW. 2. The Blaine Street ROW, Whitlock Street ROW, Dunston Street ROW and TMS#16305-02-04(p), 16309-05-04, 16305-03-01 and -02, 16309-05-02, 16305-04-01, 16309-06-01 to be consolidated into one lot prior to the issuance of any permits.
Chis Metts, Plans Examiner	Recommend approval with conditions: 1. Number of doors required - A minimum of one access door shall be provided in each 100 lineal feet or fraction thereof, of the exterior wall

	<p>that face required fire apparatus access roads. The required access doors shall be distributed such that the lineal distance between adjacent access doors does not exceed 100 feet.</p> <ol style="list-style-type: none"> 2. 7 Handicap parking spaces are required, 2 of them must be van accessible. 3. Where more than one means of egress are required from any accessible space, each accessible portion of the space shall be served by not less than two accessible means of egress. 4. Cannot use the 2015 IBC code until it has been adopted.
Scott Rogers, Utilities	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside City of Columbia utility easements. 3. Water mains, sewer mains, water meters that are 4" or larger or any privately maintained utilities will not be allowed inside public right-of-ways or under sidewalks without an approved encroachment permit and written approval from the City Engineer. Coordination between the Civil Engineer, Architect and Mechanical Engineer to allow room for these utilities on the developed property is strongly encouraged. 4. If sewer flows for this project result in flows of 4,000 gallons per day or above calculations must be submitted to the City's Engineering department to determine how the proposed project will affect the City's sewer system. Depending upon the effects of the projected flows this project may or may not be approved. If required, these calculations should be submitted to the Engineering department as soon as possible.
David Brewer, Traffic Engineering	Recommend approval.
Kris Scott, Fire Department	<p>Recommend approval with comment:</p> <ol style="list-style-type: none"> 1. Applicant is unable to provide a turnaround access road due to the existing topography.
Sara Hollar, Forestry	Recommend approval.
Mike Jaspers, Stormwater	<p>Recommend approval with condition:</p> <ol style="list-style-type: none"> 1. Will need to submit pre- vs. post-development hydrology calculations demonstrating that the proposed activity will not provide an increase in overall runoff from that area. How is water quality on-site currently being addressed? Any flooding concerns for the area at present? These comments will need to be addressed in the submittal as well. All other State and local applicable regulations as it pertains to stormwater will apply.
John Spade, Parking	Recommend approval.
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.
Scott Holder, Landscaping	Recommend approval.

City of Columbia

Southern Wine and Spirits Expansion



Wednesday, April 27, 2016



CITY OF COLUMBIA GIS DATA DISCLAIMER

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City of Columbia

APPLICATION for

SITE PLAN/SUBDIVISION PLAT REVIEW

OFFICE USE ONLY: Date Received _____ By _____

1) APPLICANT (Please Print)

Name:	Howard Bayless	Company:	Marcobay Construction, Inc.
Tel. #:	863-680-2293	Fax#:	863-680-2443
Mobile #:	863-559-6277	E-mail:	hbayless@marcobay.com

Do you own any of the property affected by this application? YES NO; If NO, provide Letter of Agency

2) THIS APPLICATION IS FOR (Check all that apply)

- Group/Individual Commercial Development
- Group Residential Development
- Residential Subdivision
- Planned Unit Development Site Review

3) PROPERTY

Address:	7600 Richland Rd (Dunston Rd) Columbia, SC		
TMS#:	R16309-05-04	Total Acreage:	12.74
Current Use:	Warehouse / Distribution	Proposed Use:	Warehouse / Distribution
Current Zoning:	M-1		
Number of Lots and/or Units:		Total Sq. Ft.	62,500

3) DETAILED PROJECT DESCRIPTION: (Attach additional paper if you need more space)

62,500 sf warehouse expansion to the existing Southern Wine and Spirits warehouse including associated sitework.

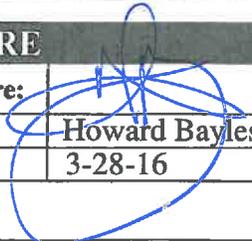
4) NEIGHBORHOOD CONSULTATION

Prior to the Planning Commission meeting, meet with the adjacent neighbors or neighborhood association to communicate details of the proposed project. Please note that this informational meeting is not required by ordinance, but is *strongly* encouraged. Contact information may be obtained from Zoning staff.

5) PLAN SUBMITTAL

Please refer to the Checklist for Site Plan Review for materials required for submittal with this application

6) SIGNATURE

Applicant Signature: 

Print Name: Howard Bayless

Date: 3-28-16

PC Date: _____

Action: _____



CHECK LIST FOR SITE PLAN REVIEW

Please prepare 1 set of the information below and review it with Staff during a pre-application conference approximately ONE WEEK BEFORE THE APPLICATION DEADLINE.

After Staff has determined that the application contains the required information (that the application is complete), submit the information denoted below to the Zoning Division by the deadline listed on the *Planning Commission Calendar of Public Meetings*. All information is required unless checked and initialed by Development Services staff.

PLEASE PRINT!

Project Address: 7600 Richland Rd (Dunston Rd) Columbia, SC

TMS#: R16309-05-04

Applicant Name: Marcobay Construction, Inc.

Applicant Telephone #: 863-680-2293

Contact Name: Howard Bayless

Contact Telephone #: 863-559-6277

Staff will place your item on the next-available Planning Commission agenda only if the application is complete!

Provided	Not Provided	# of Copies	Size Required	SUBMITTAL ITEM
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	PLANNING COMMISSION APPLICATION
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13	18" x 24" min.	EXISTING SITE PLAN OR PLAT OF SURVEY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	<i>To Scale and Fully Dimensioned</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	13	18" x 24" minimum	PROPOSED SITE PLAN • To Scale and Fully Dimensioned <input type="checkbox"/> Total Acreage; <input type="checkbox"/> Location of Lots and Outlots (Numbered and Area in Square Feet); <input type="checkbox"/> Location of Buildings (including Setbacks from Property Lines and Distances between Buildings); <input type="checkbox"/> Location of Parking and Access/Driveways; <input type="checkbox"/> Location of Rights-of-Way and/or Easements for Streets, Railroads, and Utility Lines Upon and Abutting Subject Property; <input type="checkbox"/> Location of Streets, Alleys, Railroads, and Utility Lines Upon and Abutting Subject Property; <input type="checkbox"/> Location of Lakes, Rivers, Streams, Swamps/Wetlands, Other Bodies of Water, and 100-year Floodplain and Floodway; <input type="checkbox"/> Location of Signage; <input type="checkbox"/> Statement/Chart of the Intensity of Development (Number and Size of Dwelling Units by Unit Type for Residential and/or Gross Floor Area by Building and Use for Nonresidential); <input type="checkbox"/> Topography by Contours (at Vertical Intervals of Not More Than 5 Feet); <input type="checkbox"/> Stamp of Registered Surveyor, Engineer, and/or Architect; <input type="checkbox"/> North Arrow; <input type="checkbox"/> Scale; <input type="checkbox"/> Vicinity Map (at 1 inch equals 1,000 feet).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	

- SEE NEXT PAGE -

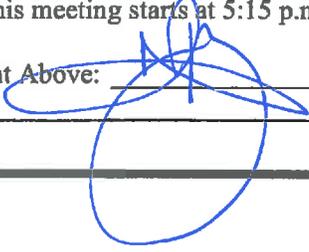
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4	18" x 24" min.	BUILDING ELEVATIONS AND FLOOR PLANS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	Please note this information is not required, but it is encouraged.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3	18" x 24" min.	LANDSCAPE PLAN
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	Please note that, while this item is not a listed requirement within the Zoning Ordinance, the Ordinance permits the Planning Commission to ask for additional documentation that they feel necessary to make an informed decision, and a landscape plan is always requested. You may contact Nancy Lee Trihey at (803) 545-3218 to review your landscape plan prior to the pre-application conference.
<input type="checkbox"/>	<input type="checkbox"/>	1	18" x 24" min.	EXISTING TREE INVENTORY
<input type="checkbox"/>	<input type="checkbox"/>	1	8 ½" x 11"	Please note that, while this item is not a listed requirement within the Zoning Ordinance, the Ordinance permits the Planning Commission to ask for additional documentation that they feel necessary to make an informed decision, and an existing tree inventory is always requested. You may contact Nancy Lee Trihey at (803) 545-3218 to review your tree inventory prior to the pre-application conference.

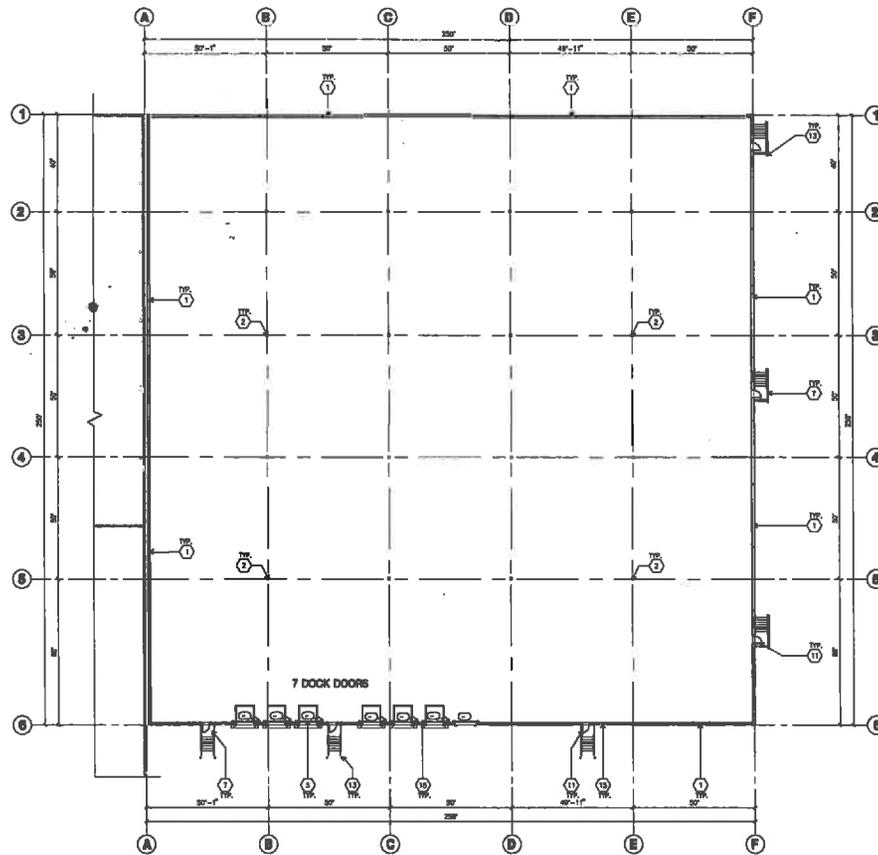
CONFIRMATION OF THE PROVISION OF REQUIRED INFORMATION AND APPEARANCE AT THE PLANNING COMMISSION

I, Howard Bayless (the named applicant above), hereby attest that I have provided to staff all information listed above and as required within §17-305 of the Zoning Ordinance of the City of Columbia. I understand that the Planning Commission reserves the right to require additional information that it deems reasonably appropriate. Further, I understand that my Application for Map Amendment will be on the Planning Commission's agenda for _____ (date of Planning Commission meeting **TO BE ENTERED BY STAFF**) and that I should attend. I understand that this meeting starts at 5:15 p.m. at the City Council Chambers, 1737 Main Street.

SIGNATURE of Named Applicant Above: _____

Date: 3-28-16





GENERAL NOTES-FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FREE ACCESS BAY DOORS AT 100'.
2. A SUPPORTIVE BEAM SHALL BE REQUIRED FOR ANY UNDESIGNATED ROOFING.
3. FINISHES OF FLOOR CONCRETE SHALL BE AS FOLLOWS AND UNLESS OTHERWISE NOTED: POLISHED CONCRETE FLOOR.
4. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE FLOOR WALL, CHIMNEY OR FACE OF DOOR SLAB.
5. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS-1. NOTE: ALL DOORS FOR DOOR SCHEDULE ARE TRUCK DOORS.
6. CONTRACTOR TO VERIFY AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAWDED HOLDING CYCLES AND TRUCKS.

KEYNOTES-FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STRENGTHENMENT SYSTEM WITH GLAZING.
- 4 CONCRETE CHIMNEY.
- 5 9'x10' TRUCK DOOR, SECTIONAL, O.H., STANDARD CURVE.
- 7 METAL STAIR LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL, FINISHES NOT SHOWN. ADDING TO MEET ALL REQUIREMENTS. PROVIDE CONTINUOUS COLORED 2" WIDE WARNING STRIP AT TOP LANDING AND BOTTOM TREAD PER ALL REQUIREMENTS SEE DETAIL S.S.A.2.0.4 & 2.0.5.
- 10 12"x14" CURVE LEVEL DOOR, SECTIONAL, O.H., STANDARD CURVE.
- 11 12"x7" ROLLUP METAL, EXTERIOR BAY DOOR.
- 12 SLOTTED LINE ANGLE.
- 13 CONCRETE FLEED CURVE POS. 4" DIA. U.L.D. 40'x.
- 14 1/2" THK METAL LAMINA.
- 15 WIDER ROOF DRAIN AND OVERFLOW DRAIN.
- 17 EXTERIOR METAL DORSPOST WITH OVERLAP SCUPPER.
- 18 Z-GUARD.



HPA, Inc.
 58001 Hamilton Avenue, - Ste. #120
 Irvine, CA
 92618
 Tel: 949-450-1770
 Fax: 949-450-1007
 Email: hpa@hpaarch.com



Continuing Quality in Service
Southern Wine & Spirits
 1800 N.W. 10TH CT.
 MIAMI, FL 33136

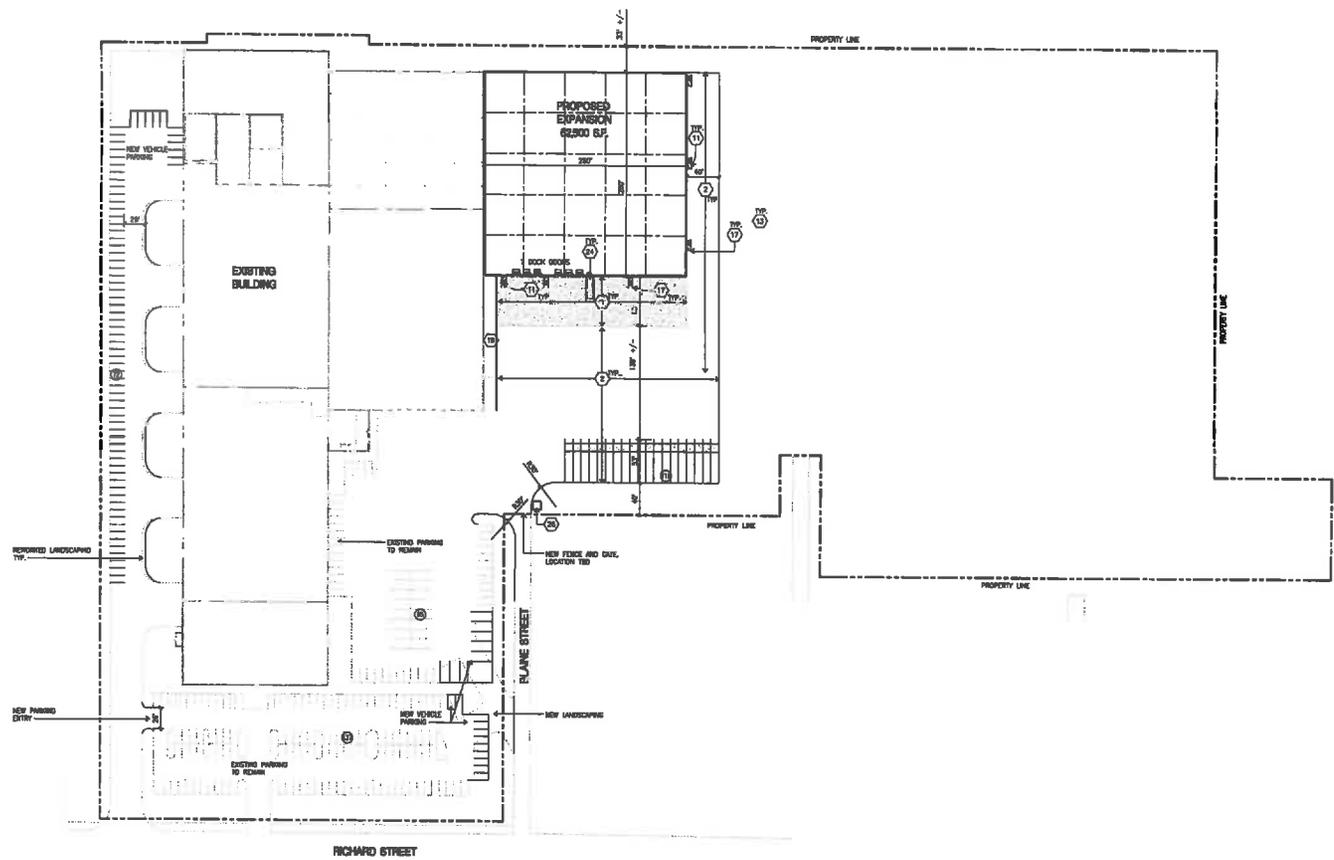
Project:
WAREHOUSE EXPANSION
Southern Wine & Spirits
 Columbia, MD

Consultants:
 CIVIL
 STRUCTURAL
 MECHANICAL
 PLUMBING
 ELECTRICAL
 LANDSCAPE
 INTERIORS
 SOLARSHADE
 SIGNAGE

Title: the plan

Project Number: 1000
 Drawn by: CD
 Date: 06/20/10
 Revisions:

Sheet:
DAB-A2.1



SITE PLAN GENERAL NOTES

- CONCRETE PAVING
- STANDARD PARKING STALL
9'-0" X 18'
- HANDICAP PARKING STALL
9'-0" X 20' X 8' W ACCESSIBLE AISLE
- HANDICAP PARKING STALL
9' X 20' X 8' W ACCESSIBLE AISLE
- FIRE LANE
PROVIDE RED CURBS AND SIGNAGE PER THE DEPT REQUIREMENT

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PROVIDED BY TRB. IF SOILS ARE CHANGING IN FUTURE USE SHALL BE REVISITED FOR ALL SITE CONSTRUCTION.
2. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS NOTED OTHERWISE.
3. THE ENTIRE PROJECT SHALL BE PERMANENTLY IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM AS REQUIRED.
4. CONCRETE SHOULD BE A MINIMUM OF 4" THICK W/ TOLER Joints AS 9' O.C. CONCRETE/CONCRETE JOINTS SHALL BE A MINIMUM 12" DIA. IRON EXPANSION JOINTS TO HAVE COMPENSATING EXPANSION FILLER MATERIAL OF 1.5% L.P.S. FRESH TO BE A MINIMUM 6" FROM EDGE.
5. FRESH CONCRETE SHALL PROVIDE SLOPE TO BEHIND OF THE CURB AS REQUIRED BY FIRE DEPARTMENT.
6. ALL VERTICAL SURFACES SHALL BE FINISHED WITH A MINIMUM 1/4" FINISH SHALL BE FINISHED.
7. UNSCOPED AREAS SHALL BE DELINEATED WITH A MINIMUM 2X4 RICHES (4") HIGH CURB

SITE PLAN KEYNOTES

- 1 HEAVY BROWN FINISH CONCRETE PAVEMENT
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 CONCRETE INFILTRATION
- 4 CONCRETE ASPHALT
- 5 4" MINIMUM THICK CONCRETE EXTERIOR FINISH AND TOP OF ALL EXTERIOR CURB SHOULD TO EXISTING EXTERIOR FINISH MATERIAL OF 1.5% L.P.S. FRESH TO BE A MINIMUM 6" FROM EDGE OR DRAINAGE AS PER CITY REQUIREMENTS.
- 6 APPROXIMATE LOCATION OF TRANSDUCER.
- 7 PROVIDE COPIES OF SPECIFICATIONS FOR THE DEPARTMENT ESTIMATES PER DRAWING. CONTRACTOR TO CHECK IN REVAL, GUTTER, DRAINAGE AND CALCULATIONS PRIOR TO IMPLEMENTATION. PROVIDE COPIES FOR FUTURE.
- 8 CONCRETE ASPHALT
- 9 SIDE ROCK TYPICAL
- 10 NOT USED
- 11 EXTERIOR STEEL SCREW
- 12 12" X 14" DRINK-WATER DOOR
- 13 DROUGHT TOLERANT LANDSCAPE
- 14 WINDSTOP BUSH FENCE
- 15 CHAIN LINK GATE, SEE KEYNOTE 2 SHE.
- 16 CHAIN LINK FENCE
- 17 CONIC PULLED CHAIN POST 7/8 DIA. U.L.S. 40' H
- 18 PRE-CAST CONCR. WHEEL STOP
- 19 REPAIRING HILL/RAMP AS REQUIRED
- 20 EXTERIOR LIGHT POLE WITH SITE LIGHTING PER ELEC.
- 21 NOT USED
- 22 CONCRETE BELLOTTING
- 23 HANDICAPPED PARKING STALL SIGN
- 24 CONCRETE
- 25 NEW PREPARED CURED CONCRETE

PROPERTY OWNER

SOUTHERN WINE & SPIRITS
 1600 N.W. 10TH CT.
 MIAMI, FL 33136
 TEL 305-525-4171
 FAX 305-421-8157

ADDRESS OF PROPERTY

2600 BOWMAN STREET
 COLLETON, SC 29520

ASSESSOR'S PARCEL NO.

814325-01-04
 814325-01-04

ZONING

ZONING DESIGNATION - M-1

PROJECT DATA

SITE AREA		TOTAL		
		1,091,592 s.f. 25.7 acres		
BUILDING AREA		EXISTING	EXPANSION	TOTAL
Office		94,000	n.f.	
Wholesale Store		12,000		
Warehouse		192,800	83,800 n.f.	
TOTAL		308,800	83,800 n.f.	392,600 n.f.
COVERAGE		29%		
AUTO PARKING REQUIRED		Provide parking to serve peak shift = 250 employees Note average shift = 105		
LOADING PARKING REQUIRED		240,000/320,000sf	0 stalls	
AUTO PARKING PROVIDED				
Standard (9' x 20')			270 stalls	
Accessible (9' x 20')			4 stalls	
Total			274 stalls	
LOADING FACILITY PROVIDED				
Loading Stall (10'x20')			10 stalls	
ZONING REQUIREMENT FOR CITY				
Zoning Designation		M-1 Light Industrial		
SETBACKS				
Front		25' at Richard St, provide 1/2 of 25' at all other streets		
Side		5'		
MAXIMUM BUILDING HEIGHT ALLOWED				
Height		30'		
MAXIMUM LOT COVERAGE				
No Limit				
LANDSCAPE REQUIREMENT				
Landscaping		buffers per LB architect		

HPA
 HPA GROUP, INC.
 1901 N.W. 10TH AVENUE, SUITE 400
 MIAMI, FL 33136
 TEL: 305-585-1770
 FAX: 305-585-0001
 email: hpa@hpa.com

Owner:
 Southern Wine & Spirits
 1600 N.W. 10TH CT.
 MIAMI, FL 33136

Project:
WAREHOUSE EXPANSION
 Southern Wine & Spirits
 Columbia, SC

Consultants:

- CIVIL
- STRUCTURAL
- MEDICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- INTERIORS
- SOIL REMEDIATION

Title: site plan

Project Number: 1600

Drawn by: CC

Date: 08/20/19

Revised:

West:

DAB-A1.1

