

## D/DRC Case

2225 Wayne Street

Elmwood Park Architectural Conservation District

TMS: 09011-01-18

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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
Case #13

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**ADDRESS:** 2225 Wayne Street (Lot 5-10)

**APPLICANTS:** George W. McManus IV, contractor

**TAX MAP REFERENCE:** TMS# 09011-01-01P

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Elmwood Park PUD

**NATURE OF REQUEST:** Request for a Certificate of Design Approval for new construction

**FINDINGS/COMMENTS:**

The applicant is proposing to construct a new two-story single-family residence on the parcel currently addressed as 2225 Wayne Street. The applicant's client has not chosen the lot upon which the house will be built, but lots 5-10 are under consideration. The building site is part of a PUD that was created in May 2006 that subdivided the 2301 Wayne Street parcel to allow for the construction of 10 single-family residences on fee-simple lots. Although the PUD is just outside the Elmwood Park Architectural Conservation District boundaries, it requires each home plan to receive D/DRC review and approval. The City's historic preservation ordinance has been changed since the PUD was created; however, construction projects within the PUD must adhere to the guidelines in place at the time of its creation and included in the PUD documents. These guidelines are the Standards for Review of Projects in DP Districts. The proposed house is approximately 2,700 square feet, which is well above the minimum 2,000 square footage required by the PUD. A copy of the PUD is enclosed with this evaluation.

**STANDARDS FOR REVIEW OF PROJECTS IN –DP DISTRICTS**

**Pertinent evaluative criteria for the district include:**

**Architectural Design**

*Façade proportion/ rhythm:*

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (doors and windows) is visually compatible with other structures in the neighborhood.

*Detailing of structure:*

**Windows:**

The applicant is proposing 2/1 wood windows with exterior muntins. All windows will be trimmed out with 6" headers with decorative molding caps and 4" surrounds. Materials used for trim will be wood or smooth cement fiberboard products to comply with the guidelines.

**Walls:** The elevations submitted to staff show smooth horizontal cement fiberboard siding on all sides with smooth fascia, cornice, and corner boards. The front facing gable on the façade features staggered shingles that will be wood or cement fiberboard. The right side rear elevation shows a 1-story inset porch with square porch supports. Staff recommends substituting smooth round columns for the square columns in order to be more consistent with the front porch. The proposed plan steps in at the rear of the right side of the house to incorporate a garage. Due to the fact that this house will be constructed on an empty lot with vacant parcels on each side, the garage will be visible from the public right-of-way until another house is constructed next door. Until then, a six foot privacy fence as shown on the proposed site plan would render the garage minimally visible.

**Roof:** The elevations show what appears to be 8/12 pitched roofs for the primary hip roof as well as front facing gable roof on the left side projecting bay. This configuration is compatible with roof pitches and shapes of other 2-story houses throughout the district. All roofing surfaces will feature 30-year architectural shingles.

**Porch:** The elevations show a half-façade upper porch on the right side and a 1-story full-façade porch below. The upper porch features square pedestals with railings in between. The lower porch is supported by smooth round Tuscan columns with one square pedestal centered between the columns on the right side. There are a few houses in Elmwood Park with porches that incorporate both round columns and square pedestals; however, they typically use round columns on the lower porch and square pedestals on the upper porch. Staff recommends replacing the square pedestal on the right side of the lower porch with a smooth round column to match the others. This will create an evenly spaced column configuration that is more consistent with patterns found in the neighborhood. Staff recommends using turned balusters to complement the round columns.

**Door:** The proposed front door is a <sup>3</sup>/<sub>4</sub>-glass over 1-panel insulated fiberglass/wood door with a 3-light transom window above. Frosted, leaded or stained glass is not consistent with the character of the neighborhood; therefore, the glass in the door and transom window will be clear.

*Wall articulation:*

The wall articulation generally matches that of other houses in the neighborhood; however, staff has recommended the following changes:

- Left Side: Move one of the upper windows closer to the front of the house, or install an additional full sized window near the front corner. Install an additional full sized window on the first floor and vertically align with the window above. This will make the left side more consistent with the right side, which will subsequently make it more compatible with the typical fenestration patterns found in the district.

**Exterior surface treatment**

*Materials:*

The entire house will rest on a built-up stem-wall slab that will be parged and painted. This will give the house the appearance of a masonry foundation that has been covered in stucco. As an option, the foundation wall may be clad in brick veneer. The exterior of the house will be covered in horizontal cement fiberboard siding with a 7.25" reveal. The front porch will be supported by wood or fiberglass columns. All exterior wood will be treated lumber.

The applicant is proposing 2/1 wood windows with exterior muntins.

The front porch steps will be constructed of wood and the porch floor will feature tongue and groove wood boards.

**Arrangement and location of buildings and structures on the site and their relation to other buildings and structures within the district**

*Setback:*

The PUD was originally written and approved with front yard setbacks reduced to 10 feet. Staff recommends making the new house flush with 2231 Wayne Street, which was approved by the D/DRC with a 25' setback.

*Orientation:*

The proposed house has a similar orientation to other houses on the street and meets the guidelines.

*Height:*

The front portion of the proposed house is well under the 40' height maximum allowed by zoning, and the massing matches many nearby houses.

**Other factors affecting the appearance**

*Fencing:*

The location of a proposed wooden privacy fence is shown on the site plan. Staff will work out any fence and gate details with the applicant if required as fences and walls can be reviewed by staff.

*Site planning- Parking, utilities, vehicle access from street:*

The concrete driveway will extend from the curb cut to just over midway of the right side of the house. While the driveway is indicated at 11 feet on the site plan, it is

allowed a maximum total width of 12 feet per City ordinance. A concrete walkway will connect the driveway to the front steps.

**STAFF RECOMMENDATIONS:**

*Staff finds that the proposed new construction generally complies with the pertinent guidelines from Standards For Review Of Projects in –DP Districts that were utilized for review of projects within the Elmwood Park Architectural Conservation District at the time of this PUD’s creation. Staff **recommends granting a Certificate of Design Approval** for the construction of a new two-story single-family residence on lot 5, 6, 7, 8, 9, or 10 of the parcel currently addressed as 2225 Wayne Street (TMS# 09011-01-01P) with the following conditions:*

- Smooth (non-grained) horizontal cement fiberboard siding shall be applied to all sides with staggered wood or cement fiberboard shingles installed in the front gable.
- Staff recommends replacing the square pedestal on the right side of the lower porch with a smooth round column to match the others.
- Balustrades shall feature turned balusters.
- Windows shall be wood or aluminum clad with exterior muntins.
- One of the upper windows on the left side shall be moved closer to the front of the house, or an additional full sized window shall be installed near the front corner. An additional full sized window shall be installed on the first floor and vertically align with the window above.
- Setback of the house shall be flush with existing adjacent houses.
- Fence design to be submitted to staff for approval.
- All details deferred to staff.



D/DRC approved house at 2225 Wayne Street (Lot #1)



D/DRC approved house at 2225 Wayne Street (Lot #2)



Historic properties located across and just up the street from the proposed new construction site. These properties are within the boundaries of the Elmwood Park Architectural Conservation District.





Parcel of land to be divided into lots for new construction.  
Lots 5 through 10 are under consideration.



Commercial buildings located directly across the street from the  
proposed new construction site.



2225 Wayne Street (Lot #1) – Proposed site for new construction



Historic properties located across the street from the proposed new construction site. Note the fenestration pattern.

# HARBINGER HOMES

## BUILDING & REMODELING

### Material Specification Sheet

#### **Foundation**

10" deep concrete footings w/ Rebar  
Built-Up Stem-wall Slab w/  
Parged Exterior Veneer or High  
Vent Crawl with Brick Curtain.

#### **Floor system**

Firs Floor – Concrete Slab of Wood  
Framed  
Second Floor- Floor Trusses  
Double 2x10 girders  
23/32" Advantec sub-floor

#### **Exterior walls**

Studs: 2x4-16" on center  
Solid 2x4 top and bottom plates  
Sheathing: 7/16" OSB Tall Wall  
Wood Single hung windows, Lo-E  
double Payne

#### **Interior walls**

Studs: 2x4-16" on center  
Solid Double 2x4 top and bottom  
plates

#### **Roof**

Trussed Roof with Stick Built  
Dormers or Porches  
7/16" ply roof decking  
15lb felt paper  
30 year architectural shingles  
Continuous ridge vent

#### **Plumbing**

CPVC/Pex water lines  
PVC sewer lines  
Tank-less hot water heater  
Stainless steel kitchen sink  
Tile shower/ garden Tub in master  
2 lavatory Sinks in master  
Water-Closet  
Elongated commodes  
Clothes washer connection

Two outside water spigots  
Washer-less faucets  
Ice-maker hook-up

#### **Heat and air system**

Heat pump – Energy Efficient  
14-seer Split Unit  
Automatic thermostat control  
All ducts insulated  
Clothes dryer vent

#### **Wiring**

200 AMP panel  
All cooper wiring except entrance  
cable, electric range, and electric  
furnace.  
Two exterior receptacles  
Ample receptacles in all rooms  
Clothes dryer connection and vent  
Lights in all bedroom closets  
Attic light and crawl space light  
Door chime  
2 double food light  
Phone outlets in all rooms  
TV outlets in all rooms  
Braced fan boxes in rooms

#### **Insulation**

Ceiling insulation R 33  
Wall insulation R 13  
Floor insulation R 19  
Insulated baffles  
Caulking – outer sills, doors,  
windows, heat boots, plumbing  
pipes and wires.

#### **Exterior finish**

All exterior wood to be treated  
lumber  
Insulated-Fiberglass/Wood front  
door  
Deadbolts on entrance doors  
Smooth-Fiber Cement- siding  
Insulated-Fiberglass Back door

Lo-E Insulated Windows Inserts

#### **Interior finish**

5/8" sheetrock on ceiling  
1/2" sheetrock walls with smooth  
finish  
Raised panel cabinets and vanities  
with furniture finish  
Interior door – paint grade masonite  
5 1/4" baseboards throughout house  
Mirrors above all vanities

#### **Appliances (Energy Star Rated)**

Self cleaning gas range with oven  
and timer  
Dishwasher  
Refrigerator  
Vented range hood  
110 volt smoke/carbon monoxide  
alarms with battery backup

#### **Warranty**

1-year Limited Warranty with  
available 1-2-10 Supplemental

  
Builder \_\_\_\_\_ Date 6/3/2014

  
Owner \_\_\_\_\_ Date

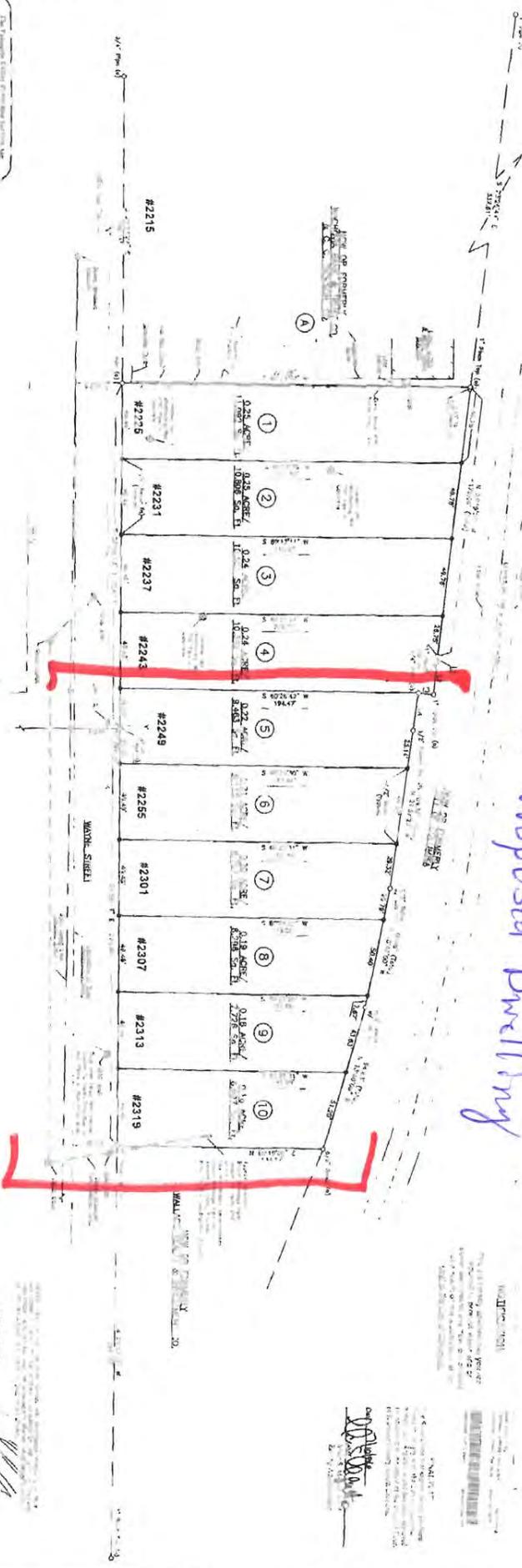
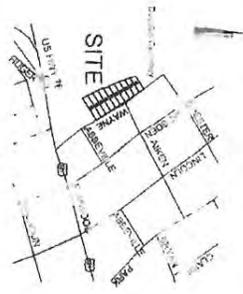
\_\_\_\_\_  
Owner \_\_\_\_\_ Date

\* Harbinger Homes, LLC reserves the  
right to substitute materials of equal  
value and quality.

10/5/06  
 ADDRESSES ASSIGNED  
 TMS#09011-01-04  
 JOHN B. HILBERT  
 ENGR TECH  
 CITY OF COLUMBIA  
 (803) 545-3400

*John B. Hilbert*  
 ENGR

*▲ Lots under review  
 for Proposed Dwelling*



CALL 1-888-271-1377  
 CALL BEFORE YOU DIG

REVERSE

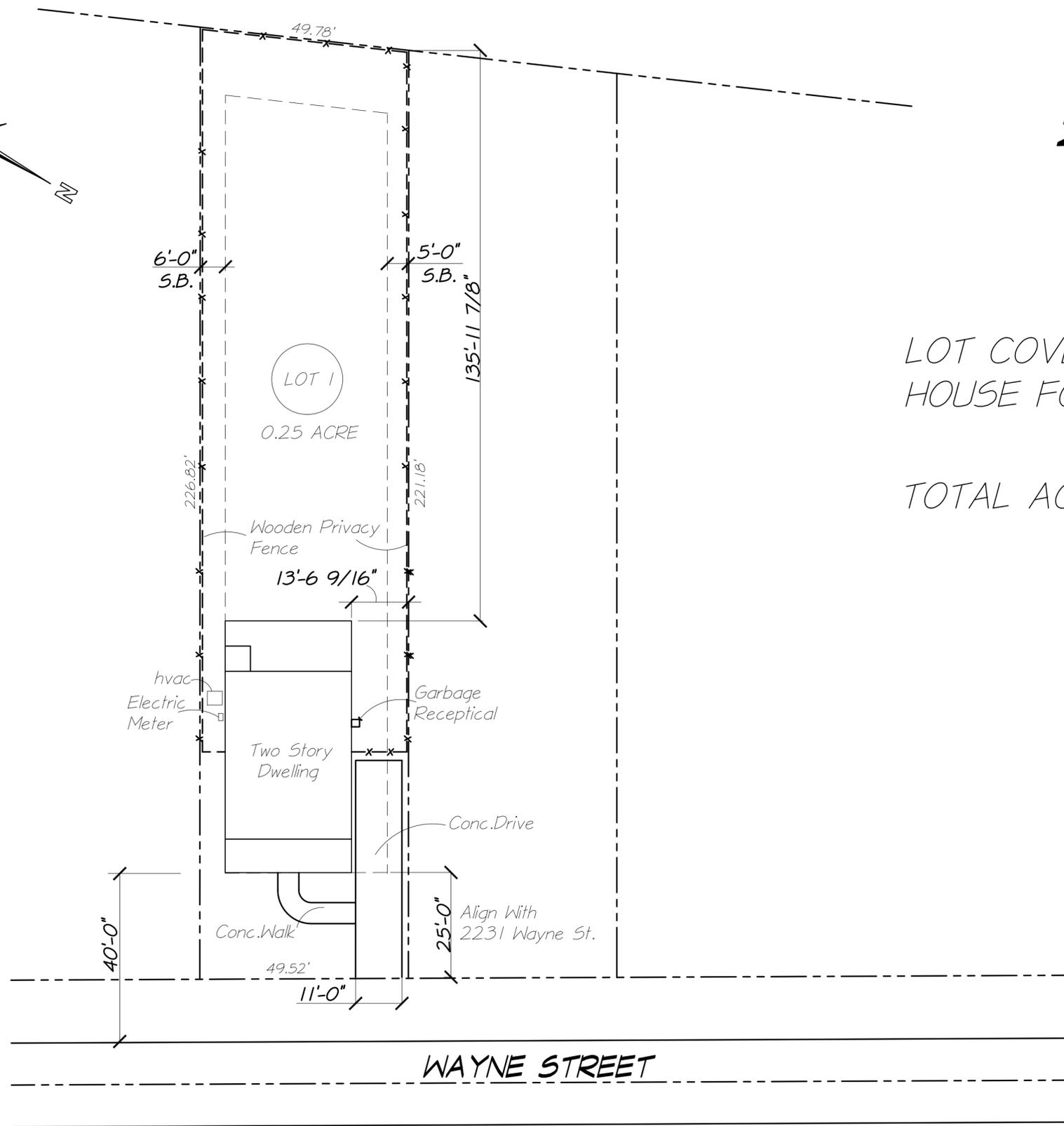
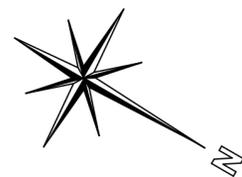
PLAT

JOHN IRION

CERTIFICATION:

NOTES:

REFERENCES:



2225 WAYNE STREET  
 LOT 1 PARCEL OF  
 TMS#: \_\_\_\_\_

LOT COVERAGE - 24.20%  
 HOUSE FOOTPRINT - 1800.00 S.F.

TOTAL ACREAGE - .25 AC.  
 10,890.00 S.F.

**SITE PLAN**  
 SCALE: 1"=20'

The Drawing Board, Inc.

K.D.Grice  
 DRAWN BY:  
 6-17-2013  
 DATE:  
 The Dickson  
 DRAWING NO.

1 of 1  
 SHEET NO:

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FRONT ELEVATION 1/4" = 1'-0"



LEFT SIDE ELEVATION 1/4" = 1'-0"

Marty White Design Group

RESIDENTIAL DESIGNERS & PLANNERS

**Marty White**  
DESIGN GROUP

www.MartyWhite.net · Columbia, SC 803 201-2802

A RESIDENCE EXCLUSIVELY LICENSED TO AND PREPARED FOR:

**Marty White Design Group**  
WESLEY McMANIS  
ELMWOOD PARK - COLUMBIA, SOUTH CAROLINA

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REVISED  
REVISED  
DESIGN / DRAWN BY:  
MARTY WHITE

DATE:  
APRIL 2014  
SCALE:  
NOTED  
JOB NUMBER:  
MWD2014021  
SHEET  
A-1  
OF SHEETS

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RIGHT SIDE ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"

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OF SHEETS

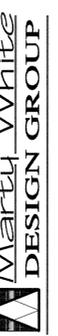
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**Marty White Design Group**

WESLEY McMANUS

ELIMWOOD PARK - COLUMBIA, SOUTH CAROLINA

RESIDENTIAL DESIGNERS & PLANNERS



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Columbia, SC 803 201-2802

Upon motion by Ms. Sinclair, seconded by Ms. Devine, Council voted unanimously to approve the Renewal of a Professional Services Contract for Providing Insurance Brokerage Services to the City, as requested by the Risk Management Division. Award to Willis of North Carolina, the current broker, in the amount of \$40,000.00.

ORDINANCES – SECOND READING

9. Ordinance No.: 2006-015 – Granting encroachment to David Chase for installation and maintenance of landscaping and sidewalks adjacent to his *First reading approval was given on May 10, 2006.* – *Approved on second reading subject to the following recommendation: Forestry and Beautification recommends the approval of the Encroachment Ordinance with the signed agreement by the applicant, Mr. David Chase. 1) Mr. Chase will remove the shrubbery in the City right of way. This would be the junipers and hollies on Assembly Street and Whaley Street. These plants will be replaced with landscaped beds and sod, thus eliminating a site hazard exiting the businesses. The areas will be irrigated. 2) The eight Red Sunset maples existing in the City right-of-way are in extremely poor condition. This species has struggled with scale and has not done well under the heat and dry conditions. These City trees will be removed and replaced with a more tolerant street tree, of medium height (under the SCE&G wires) and more drought/heat resistant. The Chinese Pistache has been chosen and the tree will match others of the same species in the Assembly Street corridor. These trees will be placed at the appropriate intervals by Forestry staff. Trees will be added to the Whaley Street right of way where none have existed before. The proposed sidewalks may not happen soon. The landscaping above will be done at the expense of Mr. Chase. Mr. Chase will restore any disturbance by future sidewalk construction.*
10. Ordinance No.: 2006-028 – Annexing 1828 Pineview Road, Richland County TMS# 19000-01-08 *First reading approval was given on May 10, 2006.* – *Approved on second reading*

CONFIRM ZONING OF PREVIOUSLY ANNEXED PROPERTY – SECOND READING

11. 620 & 624 Riverhill Circle, TMS# 07314-01-01 and 03; confirm RS-1 zoning. *First reading approval was given on May 10, 2006.* – *Approved on second reading*

MAP AMENDMENTS / REZONING – SECOND READING

12. 601 to 621 Main Street (Mixed-use Development), TMS# 11303-13-03, and 06 through 10; rezone from C-3, -DD to PUD-R, -DD. *First reading approval was given on May 10, 2006.* – *Approved on second reading*, subject to (1) the applicant working with staff and installing the appropriate traffic safeguards and (2) the applicant updating the traffic study.
13. 4600 Trenholm Road, TMS# 13914-01-06; rezone from RS-1 to PUD-C. *First reading approval was given on May 10, 2006.* – *Approved on second reading*, provided (1) minor and major changes are defined in accordance with §17-305 (10) (a.) and (b.) of Zoning Ordinance, and (2) signage shall be in accordance with C-1 zoning requirements.
14. 2301 Wayne Street, TMS# 09011-01-01; rezone from M-1 to PUD-R. *First reading approval was given on May 10, 2006.* – *Approved on second reading* noting that the front yard setback may be reduced to 10 feet.

**PUBLIC HEARING AND  
FIRST READING CONSIDERATION for**

**REZONING 2301 WAYNE STREET  
FROM M-1 TO PUD-R**

May 10, 2006 at 10:00 am.  
City Council Chambers, 3<sup>rd</sup> Floor, City Hall, 1737 Main Street  
Columbia, South Carolina

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<b>Subject Property:</b>	2301 Wayne Street, TMS# 09011-01-01.
<b>Council District:</b>	1
<b>Requested Action:</b>	Rezone property from M-1 to PUD-R to subdivide property and construct 10 single-family residences.
<b>Applicant:</b>	John Irion.
<b>PC Recommendation:</b>	Approve, and front yard setback may be reduced to 10 feet.
<b>Staff Recommendation:</b>	Approve, subject to conformance with condition recommended by Planning Commission.

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**Additional Detail:** The applicant proposes rezoning this 2.14-acre industrially zoned parcel to a PUD that would allow the construction of 10 single-family residences on fee-simple lots. The proposed PUD would be very similar to RS-3 (Single-Family Residential) zoning – the predominant single-family zoning district within Elmwood Park. This development is not within the Elmwood Park Historical district, but the applicant has stated within the descriptive statement that each individual developer must receive review and approval of each home plan by the DDRC. The developer has also committed that, at the completion of construction upon all lots, he will install a sidewalk and 2-3 decorative streetlights.

**Case History:** 4/3/06 Planning Commission recommends approval of rezoning to PUD-R, subject to condition (7-0).

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**PENDING ISSUES:** None.

**Staff Contact:** Marc Mylott, AICP; Director of Development Services/Zoning Administrator

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Persons expressing support or concern about this amendment submitted the documents outlined below to staff. All documents are attached hereto and made a part of the record of the public hearing.

Letter from Bill Norwood, President of the Historic Elmwood Park Neighborhood Association, stating that the neighborhood association voted to approve this application in concept.

# Richland County Internet Mapping Service



## LAYERS

- Places
- Recreation
- Infrastructure
- Transportation
- Property
- Parcels
- Buildings
- Elevation
- Hydrography/Flooding
- Census Data
- Boundaries/Districts
- Landcover/Soils
- 2004 Color Photos
- 2004 Infrared Photos
- 2000 Color Photos
- 2000 B+W Photos
- 1996 B+W Photos
- USGS Shaded DRG
- Satellite Imagery

## Help:

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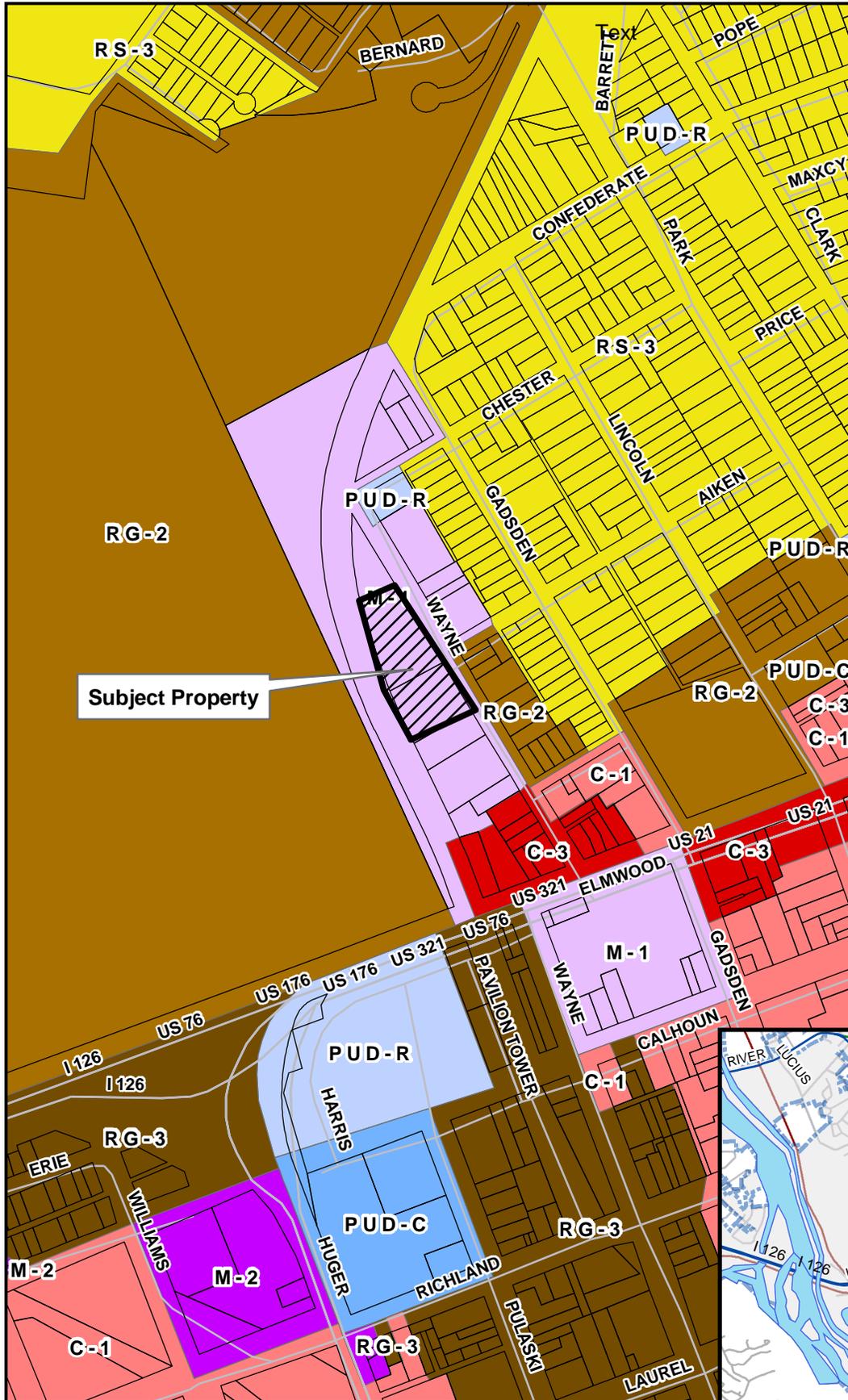
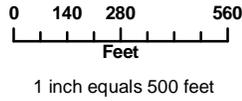
- A closed group, click to open.
- An open group, click to close.
- A layer contained within a group.

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Locate Address :  [Click to Locate](#)

Locate Parcel :  [Click to Locate](#)

# 2301 Wayne Street Rezone from M-1 to PUD-R



### LEGEND

- Street Centerlines
- City Limits
- Parcels
- Zoning Districts**
- D-1
- RS-1
- RS-1A
- RS-1B
- RS-2
- RS-3
- RD
- RG-1
- RG-1A
- RG-2
- RG-3
- UTD
- C-1
- C-2
- C-3
- C-3A
- C-4
- C-5
- M-1
- M-2
- PUD-R
- PUD-C
- PUD-LS (Harbison)
- Out of City
- Lexington Streets

### ORIGINAL PREPARATION/DATE:

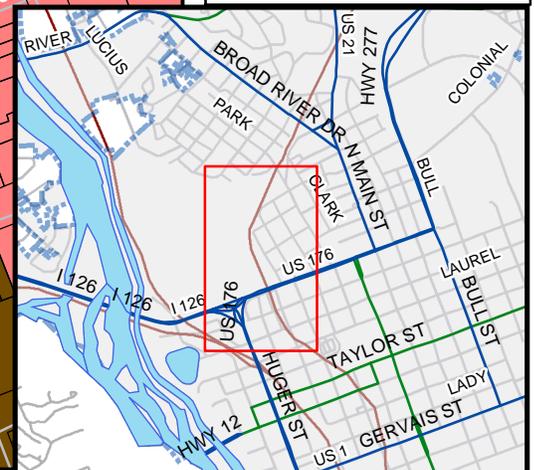
This map was prepared by:  
Johnathan E. Chambers  
Planning Commission  
April 3, 2006

### REVISION NUMBER/DATE:

None

### DISCLAIMER:

The City of Columbia Department of Engineering and Department of Planning and Zoning data represented on this map or plan is the product of compilation, as produced by others. It is provided for informational purposes only and the City of Columbia makes no representation as to its accuracy. Its use without field verification is at the sole risk of the user.





# City of Columbia APPLICATION to AMEND the ZONING ORDINANCE

Date Received (OFFICE USE ONLY) \_\_\_\_\_ By (OFFICE USE ONLY) \_\_\_\_\_

Applicant (PLEASE PRINT): Mr. John Irion  
 Address: 817 Calhoun ST.  
 City, State, ZIP: Columbia SC 29201  
 Contact Telephone Number: 803-252-6976 Ext. 231  
 Fax Number: 803-254-8512

TO THE HONORABLE MAYOR AND CITY COUNCIL,

I, the applicant named above, under signature of my own hand below, hereby request that the Zoning Ordinance of the City of Columbia, South Carolina be amended as described below:

1. This application requests a change to the:
  - Zoning Map (complete only item numbers 2, 3, 4, 5, and 7); and/or
  - Zoning Text (complete only item numbers 6 and 7).
2. Provide the exact address and the tax map reference number of property to be considered for rezoning:
 

2301 Wayne Street, TMS R09011-01-01
3. How is this property presently zoned? M-1
4. What zoning do you propose for this property? PUD-R
5. Do you own any of the property proposed for this zoning change? Answer YES or NO; if NO, provide the address of the property that you own.
 

Yes
6. What section or sections of the text of the Zoning Ordinance would be affected?
 

Sec. 17-275 Lot size, setback and height requirements
7. Describe your proposal in detail (please attach additional paper if you need more space): Rezone property from M-1 To a PUD-R. Narrow lot width from minimum 50' (RS-3) To 40' To match character of Elmwood Park. Reduce front setback in keeping with neighborhood. (see attached plan)

By signing below, I understand that, while this application will be carefully reviewed and considered, the burden of proving the need for the proposed amendment rests with me.

Signature John Irion Date 1-30-06

2301 WAYNE STREET REZONING  
M-1 TO PUD-R ZONING  
ELMWOOD PARK NEIGHBORHOOD

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**Descriptive Statement:**

The property located at 2301 Wayne Street (TMS R09011-01-01) in the Elmwood Park Neighborhood is comprised of 2.14 acres and is currently zoned M-1. The property is bounded on the east by Wayne Street, to the north by C.C. Dickson Company, to the east by City of Columbia property (former RR right-of-way), and to the south by wooded land owned by Wallace Realty and Investment Company.

The property is vacant and is mainly cleared other than a few trees and vegetated ground cover. The property was recently purchased with the intent of using the property for residential habitation.

**Zoning:**

As previously stated, the property is currently zoned for Light Industrial use (M-1). The owner of the property is requesting that the property be rezoned using the PUD-R classification. Normal residential zoning for this area would fall under RS-3 ordinances for Single Family Residential District.

Other than items specifically addressed in this PUD-R, all aspects of current zoning regulations related to the RS-3 Single Family Residential District ordinances shall apply to the subdivision of the property and construction of residential dwellings.

**Lot Width:**

The current zoning ordinance (Sect. 17-275 Lot Size, Setback, and Height Requirements) states that the minimum lot width for RS-3 zoning is 50 feet. The owner would like to divide the current land into ten (10) equal lots which will generate equal lot widths of 49.496' each. The average lot width for the majority of residential properties in the Elmwood Park Neighborhood is approximately 39.0 feet. There are a few lots that measure 52 to 53 feet which provide off-street parking. Therefore, the requested lot width of 49.496 feet will blend with the current neighborhood lot widths. (See attached map and tax map information reflecting property addresses and lot widths.).

**Landscaping:**

All landscaping ordinances will apply to this property. Although not required, a typical lot planting plan has been designed and is included with this report.

**Parking:**

As per the current ordinance for RS-3 zoning, each lot will provide adequate space for off-street parking of two vehicles. (See Typical Lot Plan).

2301 WAYNE STREET REZONING  
M-1 TO PUD-R ZONING  
ELMWOOD PARK NEIGHBORHOOD

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**Lot Coverage:**

As per the current ordinance for RS-3 zoning, each lot will maintain a ratio of Roof/Lot size of 30% or less.

**Sidewalks:**

At the completion of construction of all lots, a sidewalk will be constructed from the southern end of lot #1 to the northern end of lot #10. The sidewalk will be constructed in accordance with current city/SCDOT design guidelines. Construction of the sidewalk shall be the responsibility of the current owner of 2301 Wayne Street, Mr. John Irion.

**Decorative Lighting:**

At the completion of construction of all lots, decorative light fixtures will be installed from the southern end of lot #1 to the northern end of lot #10. The decorative light fixture style, location and spacing will match recently installed decorative light fixtures within the Elmwood Park Neighborhood. It is anticipated that 2-3 light fixtures will be installed. Installation of the decorative light fixtures will be the responsibility of the current owner of 2301 Wayne Street, Mr. John Irion, who will coordinate with city forces on the installation of the light fixtures.

**Square Footage (residence):**

The minimum square footage of each residence (heated space) shall be 2000 S.F.

**Design Preservation/Architectural Review:**

The property at 2301 Wayne is not currently listed in the Design Preservation District. However, in keeping with the architectural style of the Elmwood Park Neighborhood, each home builder will be required to submit plans to the DDRC for review and approval. It is the intent of the city, the Elmwood Park Neighborhood Association and the owner of the property to incorporate the property into the Design Preservation District in the future.

The following Standards For Review Of Projects In DP Districts are the guidelines currently used for the Elmwood Park Neighborhood which will also be used for the subject property on Wayne Street.

**STANDARDS FOR REVIEW OF PROJECTS IN –DP DISTRICTS**

Design guidelines are useful in establishing specific principles and goals for new construction, additions, or rehabilitation in historic districts. When guidelines are present, property owners and Commissioner's alike have common knowledge of what is considered appropriate for work in a district. For those districts without specific design guidelines, the ordinance sets forth the standards for work in –DP districts.

2301 WAYNE STREET REZONING  
M-1 TO PUD-R ZONING  
ELMWOOD PARK NEIGHBORHOOD

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The section of the ordinance that deals with the review process is 17-675 (c) listed below:

*Matters to be considered by commission. In its review of material submitted with applications for approval, the commission shall examine the architectural design, the exterior surface treatment, the arrangement and location of buildings and structures on the site in question and their relation to other buildings and structures within the district involved, and other pertinent factors affecting the appearance and efficient functioning of the district. In the DP districts, the commission shall not approve any proposed building or structure separately or in relation to its premises as proposed to be arranged, landscaped or constructed which would adversely affect the primary character of the district involved or the setting of public or quasi-public historical buildings or landmarks on which public or private monies have been or are proposed to be spent. The commission shall endeavor to ensure that the exterior appearance and arrangement of buildings, structures and premises in these districts will:*

1. *Enhance the attractiveness and functioning of each district in keeping with its purpose and intent*
2. *Encourage the orderly and harmonious development of each district; and*
3. *Enhance and protect the public and private investment and general value of lands and improvements within the district*

From this the Guidelines are as follows:

1. Enhance the attractiveness and functioning of each district in keeping with its purpose and intent;
  2. Encourage the orderly and harmonious development of each district; and;
  3. Enhance and protect the public and private investment and general value of lands and improvements within the district.
- Architectural design
  - Exterior surface treatment
  - Arrangement and location of buildings and structures on the site and their relation to other buildings and structures within the district involved
  - Other pertinent factors affecting the appearance and efficient functioning of the district.

Use these in design review by assessing the following aspects of the project:

### Architectural Design

#### Façade proportion/rhythm

*The relationship of height to width of existing façades establishes a rhythm in a neighborhood and should be respected by adjacent or nearby structures. Additionally, building form in Elmwood Park is generally straightforward and unfussy. Foursquares and bungalows are common building forms found.*

#### Detailing of structure

*Consider the scale, profile, placement, and relief of details on nearby structures for the basis of design decisions. Materials for trim should be wood or cement fiberboard. Dormers, exposed eaves, transoms over the front door, bay windows and full porches are some common elements to houses in the neighborhood, but the list is certainly not exhaustive.*

#### Roof and upper story details

*Roof forms in the neighborhood are typically hip or gable; maintain pitches common to the area. Gables are often shingled and gable vents as well as dormers are a common feature in the area.*

#### Wall articulation

*Large expanses of a façade should be broken up by openings (windows or doors). Openings on walls should be proportional to the building mass; too small or too few windows should be avoided. Detailing around openings as well as well proportioned trim work will help to articulate a structure's walls.*

### Exterior surface treatment materials:

*Use materials and textures which are visually compatible with those of historic buildings. Siding is largely weatherboard, although brick is occasionally used. Cement fiber board (non-grained) is an acceptable substitute for wood siding in new construction. For the use of wood or cement fiber board siding, consider the board size, width of exposure, length, and trim detail such as corner boards on adjacent historic structures. Vinyl and stucco are not typical materials in the district for siding and should be discouraged.*

*Foundations are largely brick or brick pier.*

*The most common roof material is composite shingle.*

*Windows in Elmwood Park are either wood or aluminum clad wood windows. Trim materials should be either wood or cement fiberboard. Vinyl windows or trim should be discouraged.*

**Openings: size and placement**

*The rhythm of windows and doors on the structure should reflect that of the existing neighborhood. Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) are visually compatible with historic buildings in the area. Avoid large expanses of blank walls on front and side elevations visible to the street.*

*Garage doors are oversize openings for this district and are not seen on front or side elevations. If needed, garages should be placed in the rear of the building so as not to be seen.*

**Arrangement and location of buildings and structures on the site and their relation to other buildings and structures within the district involved**

Setbacks

*Setbacks in the Elmwood Park Neighborhood vary, perhaps @10'-15' throughout the area. No minimum setbacks are required in historic districts; rather setbacks for new construction should average the setbacks on adjacent blocks, going no further back from this average than 5'.*

Orientation

*Place the main entrance and the associated architectural elements (porches, steps, etc) so that they are compatible to surrounding structures. The main entrance should be constructed with covered porches, porticos or other architectural forms found on historic structures in the area.*

Height

*Characteristic height of structures in Elmwood Park is 1-2 stories. Construct new buildings to a height that is compatible with the height of surrounding or adjacent historic structures.*

**Other pertinent factors affecting the appearance and efficient functioning of the district.**

Consider site planning issues:

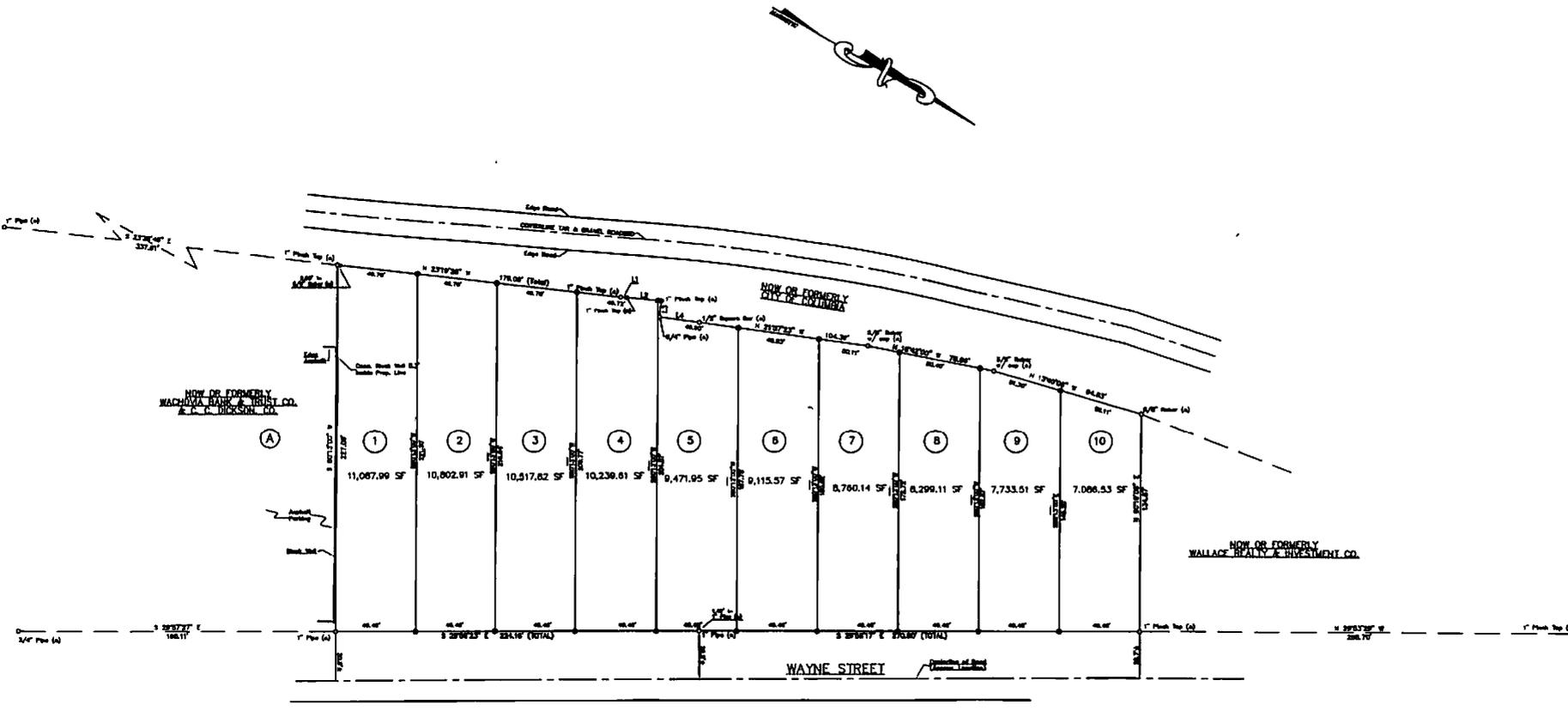
Parking (location, screening, access from street)

*Parking in the neighborhood usually takes place on the street, under porte cocheres, or on driveways. Driveways in historic districts are not permitted to be more than 10' in width. Curb cuts are generally one per property.*

Fences

*Design a fence or wall so that it is compatible with the associated structures in the in design and materials. The following materials should not be used: chain link; vinyl; or concrete block unless stuccoed or veneered in brick.*





1" Pin (A)  
 2 272°46' E  
 337.81'

3 292°17' E  
 165.17'

NOW OR FORMERLY  
 WACHOVA BANK & TRUST CO.  
 & F. C. HICKSON, CO.

NOW OR FORMERLY  
 CITY OF CHARLESTON

NOW OR FORMERLY  
 WALLACE REALTY & INVESTMENT CO.

WAYNE STREET

AMEN STREET

LINE TABLE

LINE NO.	BEARING	DISTANCE	AREA
1	272°46' E	337.81'	
2	292°17' E	165.17'	
3	272°46' E	337.81'	
4	292°17' E	165.17'	
5	272°46' E	337.81'	
6	292°17' E	165.17'	
7	272°46' E	337.81'	
8	292°17' E	165.17'	
9	272°46' E	337.81'	
10	292°17' E	165.17'	



- NOTES AND REFERENCES:
- 1) PLAN PREPARED FOR PRESBYTERIAN HOME OF SOUTH CAROLINA, INC. BY W. FRANK HUNTER, DATED MAY 21, 1968.
  - 2) PLAN PREPARED FOR SIZING & CLASSIFYING BY TONKAWAN ENGINEERING CO., DATED OCTOBER 26, 1968, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RICHLAND COUNTY IN PLAT BOOK "V", PAGE 308.
  - 3) PLAN PREPARED FOR PETROLEUM EQUIPMENT CO., INC. BY TRACAC S. COE & SON, DATED SEPTEMBER 8, 1968, AND RECORDED IN PLAT BOOK 23, PAGE 718.
  - 4) RICHLAND COUNTY DEED BOOK 1227, PAGE 281.
  - 5) PLAN PREPARED FOR JERRY H. GOSK, INC. BY WAGLEMAN ENGINEERING CO., DATED SEPTEMBER 8, 1967, AND RECORDED IN PLAT BOOK 23, PAGE 412.
  - 6) PLAN PREPARED FOR JERRY H. GOSK, INC. BY WAGLEMAN ENGINEERING CO., DATED SEPTEMBER 8, 1967, AND RECORDED IN PLAT BOOK 23, PAGE 412.
  - 7) EXTERIOR BOUNDARY INFORMATION OBTAINED FROM PLAN PREPARED FOR JOHN BIRD BY COE AND GOSK, INC. DATED SEPTEMBER 8, 1967.
  - 8) USE OF SFC. BOUNDARY.
  - 9) THE HOUSE SIZE IS 28' x 36'.
  - 10) TOTAL ACRES OF PROPERTY TO BE SUBDIVIDED = 2.14 ACRES / OR 114.93 FT.
  - 11) SHOW: N/A = NO DATA.
  - 12) LMPR: N/A = NO DATA.

R.B. TODD & ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 Suite 1301, 1770 Elmwood Road  
 Columbia, S.C. 29204  
 Tel. 803.776.8739  
 Fax. 803.776.5430  
 www.rbtodd.com

2301 WAYNE STREET  
 SUBDIVISION OF LAND  
 ELMWOOD PARK NEIGHBORHOOD  
 COLUMBIA, S.C.

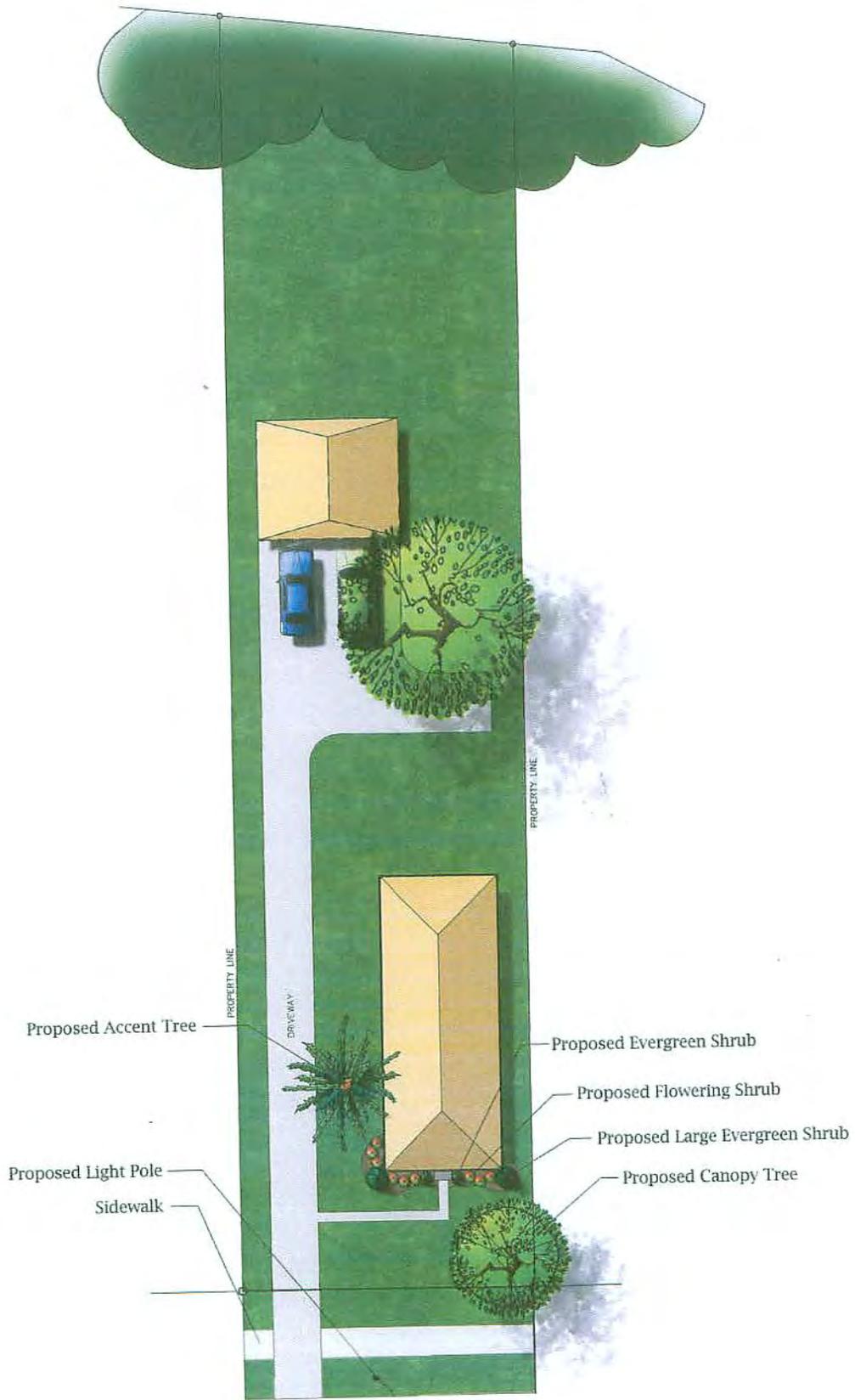
PROPOSED LOT LAYOUT

DATE: 10/20/2023  
 DRAWN BY: JTB  
 CHECKED BY: JTB  
 SCALE: AS SHOWN

C-1







Wayne Street

TYPICAL LOT LAYOUT WITH LANDSCAPING



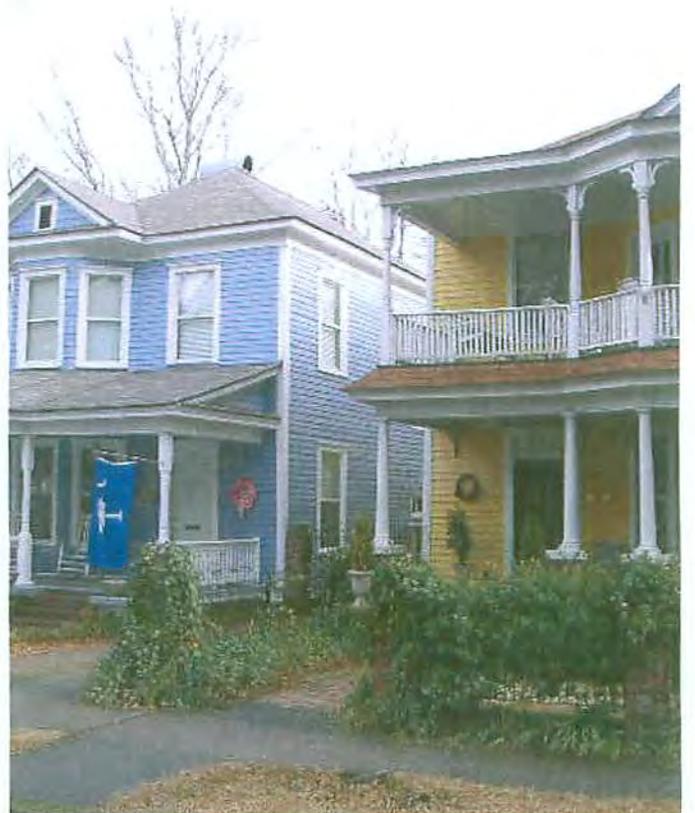
FRONT ELEVATION













*Historic*  
**Elmwood Park**  
**Neighborhood Association**

*P.O. Box 7665 Columbia, SC 29202*

Ms. Amy Moore  
Design Review  
City of Columbia

Dear Amy,

Mr. Bruce Todd attended the Elmwood Park Neighborhood Association monthly meeting on the evening of February 6, 2006 at Logan School. Mr. Todd made a presentation to those present representing the new owner of the vacant property on Wayne Street located between the end of Aiken and Chester Streets. According to Mr. Todd, the new owner would like to have the current zoning of this property changed from Light Industrial to Residential PUD. As you know, this property is not located within the Elmwood Park Historic Preservation boundary but, per Mr. Todd, the new owner would like to treat it as if it were. Per Mr. Todd, a total of 10 lots for single family homes are to be created fronting Wayne Street. The intention is to write the PUD so that the homes that are built on each lot will be in keeping with the design review guidelines of the neighborhood and thus all new construction, future additions/repairs/changes etc. will be taken up with the City of Columbia's Design Review Department for approval prior to any such work taking place. Mr. Todd noted that the homes would be built of wood or hearty plank and would have a minimum size of 2000 square feet. The set back was also discussed along with future construction of side walks, pedestrian lighting and a tree zone.

After much discussion, the Elmwood Park Neighborhood Association passed a motion to approve, in concept, the change in zoning from Light Industrial to Residential PUD of the above mentioned property. EPNA would like to obtain a copy of the written proposed Residential PUD prior to its being presented to the City of Columbia for approval and Mr. Todd agreed to do so.

Sincerely,

Bill Norwood  
President, Elmwood Park Neighborhood Association