
**DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case #12**

ADDRESS: NX2210 Wayne Street (Project 2)

APPLICANT: Harbinger Homes, LLC
George W. McManus IV, builder

TAX MAP REFERENCE: TMS#09011-02-24

USE OF PROPERTY: Residential

REVIEW DISTRICT: Elmwood Park Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for
new construction

FINDINGS/COMMENTS:

The applicant owns a vacant parcel next to 2210 Wayne Street that he intends to subdivide into two lots and build two new houses upon. The lots will be approximately 53' x 150' each, which is slightly wider than average lot widths in the Elmwood Park Architectural Conservation District. This evaluation is for Project #2 of the two new houses being proposed. The house appears to be based on the Colonial Revival style with a side gable design and central main entry. While not extremely common, there are several side gable houses in the district with one of those just a few parcels over from the proposed building site. The proposed two-story, single-family residence is approximately 2,500 square feet and features a one-story front porch supported by smooth Tuscan columns.

PERTINENT SECTIONS FROM THE CITY ORDINANCE

Section 17-674(d) Criteria for review of design of structures and sites.

- (1) *Height: Construct new buildings to a height that is compatible with the height of surrounding historic buildings.*

The lot upon which the proposed house will be constructed is currently flanked by a one-story house on the right and a two-story house on the left. The height of the proposed house is two-stories and is compatible with the height of surrounding historic buildings.

- (2) *Size and scale: The size and scale of a new building shall be visually compatible with surrounding buildings.*

The proposed house is two-stories in height and approximately 31' in width. This size and scale is visually compatible with surrounding buildings.

- (3) *Massing: Arrange the mass of a new building (the relationship of solid components (ex. walls, columns, etc.) to open spaces (ex. windows, doors arches)) so that it is compatible with existing historic buildings on the block or street.*

The massing of the proposed house is generally compatible with existing historic buildings on the block or street. The fenestration pattern is balanced and generally consistent with other configurations found within the district. Staff recommends vertically aligning (stacking) the windows on the first and second floors near the rear of the house on both sides to be more in keeping with historic patterns found in the district.

- (4) *Directional expression: Site the entrance of the building so that it is compatible with surrounding buildings.*

The proposed house features a single entry door that is centered on the façade. This placement is compatible with surrounding buildings.

- (5) *Setback: Locate the new building on the site so that the distance of the structure from the right-of-way is similar to adjacent structures.*

The applicant's site plan shows a 30' setback. Staff recommends making the new house flush with the existing houses at 2210 and 2226 Wayne Street in order to keep the setbacks on the street consistent.

- (6) *Sense of entry: Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. The main entrance shall be constructed with covered porches, porticos, or other architectural forms that are found on historic structures on the block or street.*

The proposed house features a 1-story full-façade shed roof porch with a central pedimented gable. The porch is supported by smooth round Tuscan columns. The shed roof design is not consistent with other houses on the block or street, which typically have half-hip front porches. Staff recommends changing the shed roof portion of the porch to a half-hip design to be more compatible with surrounding structures.

- (7) *Rhythm of openings: Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids to voids is visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade.*

The rhythm of openings for the proposed house is visually compatible with other historic buildings found in the district. The relationship of width to height of windows and doors, and the rhythm of solids to voids are visually compatible with historic buildings on the street. The fenestration pattern is balanced and generally consistent with other configurations found within the district. Staff recommends vertically aligning (stacking) the windows on the first and second floors near the rear of the house on both sides to be more in keeping with historic patterns found in the district.

- (8) *Roof shape:* Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings.

The front elevation shows a 4/12 pitch for the primary roof, which is not consistent with surrounding buildings or the architectural style of the house. Side gabled houses in this style typically have rectangular footprints that are wider than they are deep. Staff recommends increasing the roof pitch to somewhere in the 6/12 to 8/12 range as it is more visually compatible with other historic roof pitches found within the district. This may require changing the footprint of the house to a more rectangular plan with a longer 1-story portion on the rear of the building. For reference, other side gabled houses in the district have roof pitches that appear to be between 8/12 and 10/12. All roofing surfaces will feature 30-year architectural shingles.

- (9) *Materials, textures, details:* Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street.

Entire house: Plastic, vinyl or PVC products are not permitted for any architectural feature as these products are not visually compatible with historic materials found in the district.

Windows: The applicant is proposing 1/1 wood windows. Alternatively, aluminum-clad wood windows can be used as they are permitted for new construction in Elmwood Park. All windows will be trimmed out with decorative molding headers and 4" surrounds. Materials used for trim will be wood or smooth cement fiberboard products to comply with the guidelines.

Shutters: The applicant is proposing board and batten shutters for the windows on the primary façade. Staff recommends using louvered, flat-panel, or raised-panel shutters to be more consistent with the district as well as the style of the house. Shutters should be sized appropriately to fit the windows and feature hardware (hinges, shutter dogs, etc.) that makes them functional or appear to be functional.

Walls: The elevations submitted to staff show smooth horizontal cement fiberboard siding with a 7.25" reveal on all sides, and wood or smooth cement fiberboard fascia, cornice, and corner boards.

Door: The proposed front door design features a rectangular upper glass insert over two vertical raised panels. The architectural style of the house has more in common with Colonial Revival style houses in the district; therefore, staff recommends a six-panel colonial door instead of the proposed Craftsman style door. The door will be constructed of insulated fiberglass and/or wood.

Porch: The 1-story porch will be supported by smooth round Tuscan columns. The columns, bases, and capitals will be constructed of wood or painted fiberglass. The front porch steps will be constructed of wood and the porch floor will feature tongue and groove wood boards.

Foundation: The entire house will rest on a built-up stem-wall slab. Staff recommends for the foundation to be clad in brick veneer to be more consistent

with historic buildings in the district and to match the brick piers used for the front porch.

Fencing: The location of a proposed wooden privacy fence is shown on the site plan. Staff will work out any fence and gate details with the applicant if required as fences and walls can be reviewed by staff.

Driveway: The concrete driveway will extend from the curb cut to just over midway of the right side of the house. While the driveway is indicated at 11 feet on the site plan, it is allowed a maximum total width of 12 feet per City ordinance. A concrete walkway will connect the driveway to the front steps.

STAFF RECOMMENDATIONS:

*Staff finds that the proposed new construction generally complies with Section 17-674(d) Criteria for review of design of structures and sites in the City's Code of Ordinances. Staff **recommends granting a Certificate of Design Approval** for the construction of a new two-story single-family residence on NX2210 Wayne Street (Lot 15 or 17) with the following conditions:*

- The primary roof pitch shall be increased to the 6/12 to 8/12 range
- The shed roof portion of the front porch shall be changed to a half-hip design to be more compatible with surrounding structures
- Windows shall be wood or aluminum-clad
- Windows on the first and second floors near the rear of the house on both sides shall be vertically aligned
- Appropriately sized louvered, flat-panel, or raised-panel shutters shall be installed on the primary façade with hardware (hinges, shutter dogs, etc.) that makes them functional or appear to be functional
- A insulated fiberglass and/or wood six-panel Colonial door shall be installed
- The foundation for the house and porch shall be clad in brick veneer
- Setback of the house shall be flush with existing adjacent houses
- All details deferred to staff.



Historic houses (2-story) located on the left side of the proposed building site.





Historic houses (1- and 2-story) located on the right side of the proposed building site.





Parcel of land to be divided into two lots for new construction.



D/DRC approved houses in the Elmwood Park PUD across the street from the proposed new construction site.



2206 Wayne Street – Example of a lateral gable house that is just a few parcels south of the proposed building site. This building is actually a Group III Historic Landmark that was moved from 1208 Scott Street.



940 Confederate Avenue – Another example of a lateral gable house located on the opposite side of the district.

HARBINGER HOMES

BUILDING & REMODELING

Material Specification Sheet

Foundation

10" deep concrete footings w/ Rebar
Built-Up Stem-wall Slab w/
Parged Exterior Veneer or High
Vent Crawl with Brick Curtain.

Floor system

Firs Floor – Concrete Slab of Wood
Framed
Second Floor- Floor Trusses
Double 2x10 girders
23/32" Advantec sub-floor

Exterior walls

Studs: 2x4-16" on center
Solid 2x4 top and bottom plates
Sheathing: 7/16" OSB Tall Wall
Wood Single hung windows, Lo-E
double Payne

Interior walls

Studs: 2x4-16" on center
Solid Double 2x4 top and bottom
plates

Roof

Trussed Roof with Stick Built
Dormers or Porches
7/16" ply roof decking
15lb felt paper
30 year architectural shingles
Continuous ridge vent

Plumbing

CPVC/Pex water lines
PVC sewer lines
Tank-less hot water heater
Stainless steel kitchen sink
Tile shower/ garden Tub in master
2 lavatory Sinks in master
Water-Closet
Elongated commodes
Clothes washer connection

Two outside water spigots
Washer-less faucets
Ice-maker hook-up

Heat and air system

Heat pump – Energy Efficient
14-seer Split Unit
Automatic thermostat control
All ducts insulated
Clothes dryer vent

Wiring

200 AMP panel
All cooper wiring except entrance
cable, electric range, and electric
furnace.
Two exterior receptacles
Ample receptacles in all rooms
Clothes dryer connection and vent
Lights in all bedroom closets
Attic light and crawl space light
Door chime
2 double food light
Phone outlets in all rooms
TV outlets in all rooms
Braced fan boxes in rooms

Insulation

Ceiling insulation R 33
Wall insulation R 13
Floor insulation R 19
Insulated baffles
Caulking – outer sills, doors,
windows, heat boots, plumbing
pipes and wires.

Exterior finish

All exterior wood to be treated
lumber
Insulated-Fiberglass/Wood front
door
Deadbolts on entrance doors
Smooth-Fiber Cement- siding
Insulated-Fiberglass Back door

Lo-E Insulated Windows Inserts

Interior finish

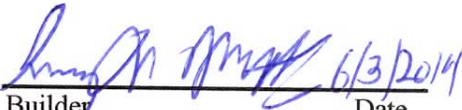
5/8" sheetrock on ceiling
1/2" sheetrock walls with smooth
finish
Raised panel cabinets and vanities
with furniture finish
Interior door – paint grade masonite
5 1/4 " baseboards throughout house
Mirrors above all vanities

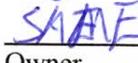
Appliances (Energy Star Rated)

Self cleaning gas range with oven
and timer
Dishwasher
Refrigerator
Vented range hood
110 volt smoke/carbon monoxide
alarms with battery backup

Warranty

1-year Limited Warranty with
available 1-2-10 Supplemental

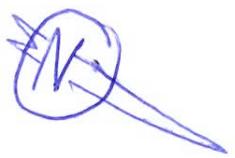
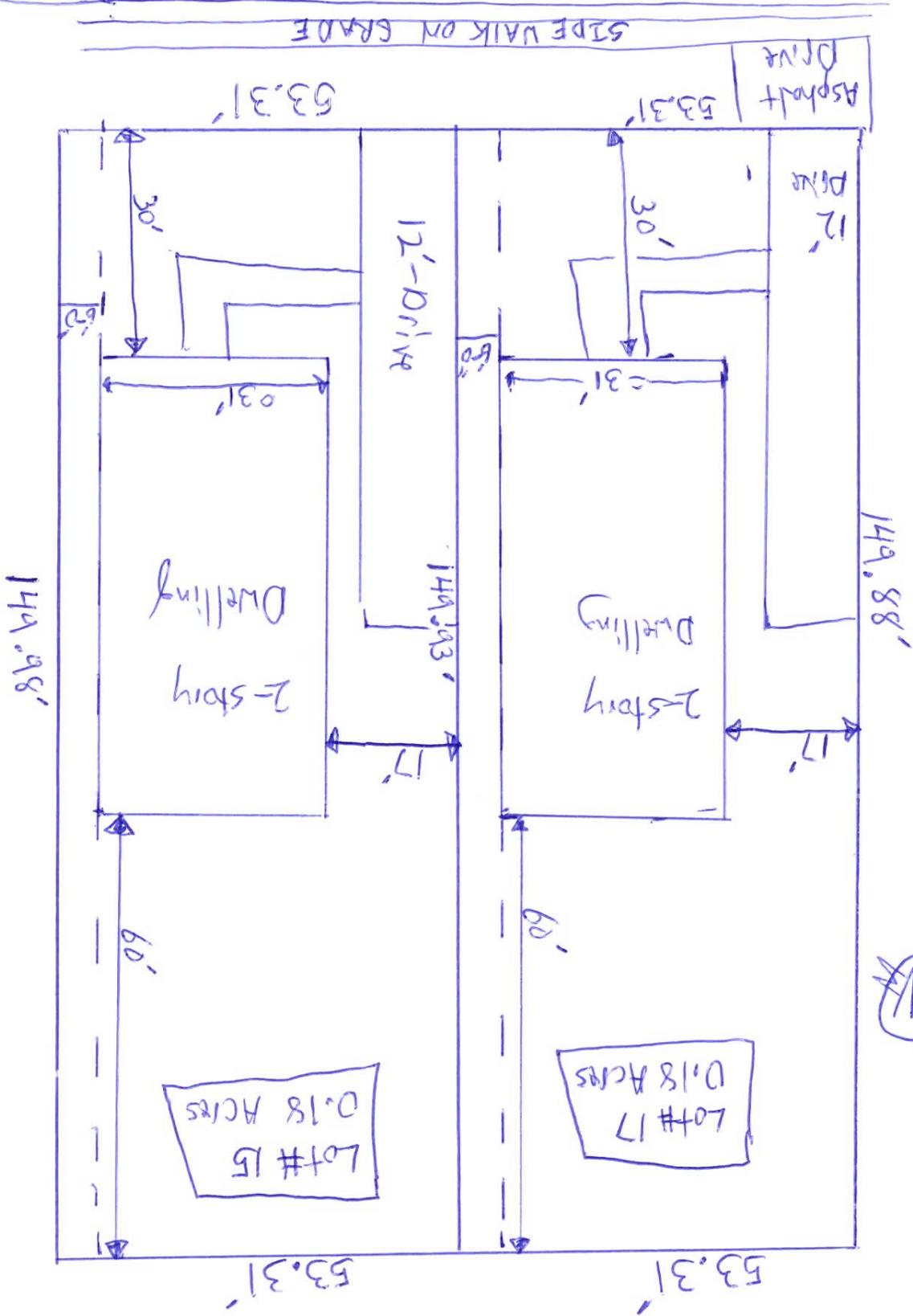

Builder _____ Date 6/3/2014

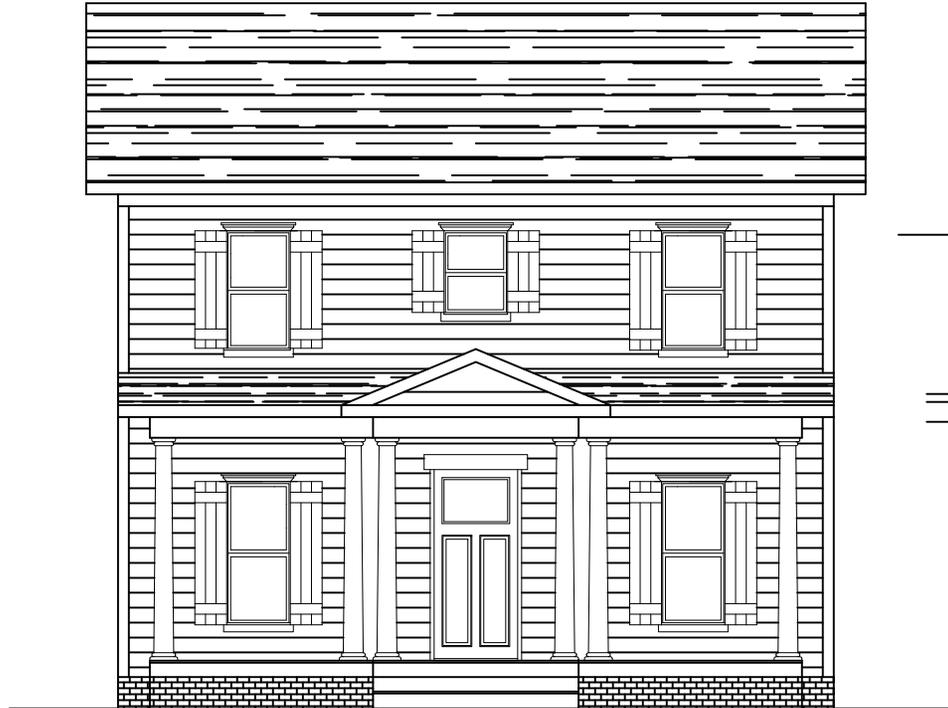

Owner _____ Date

Owner _____ Date

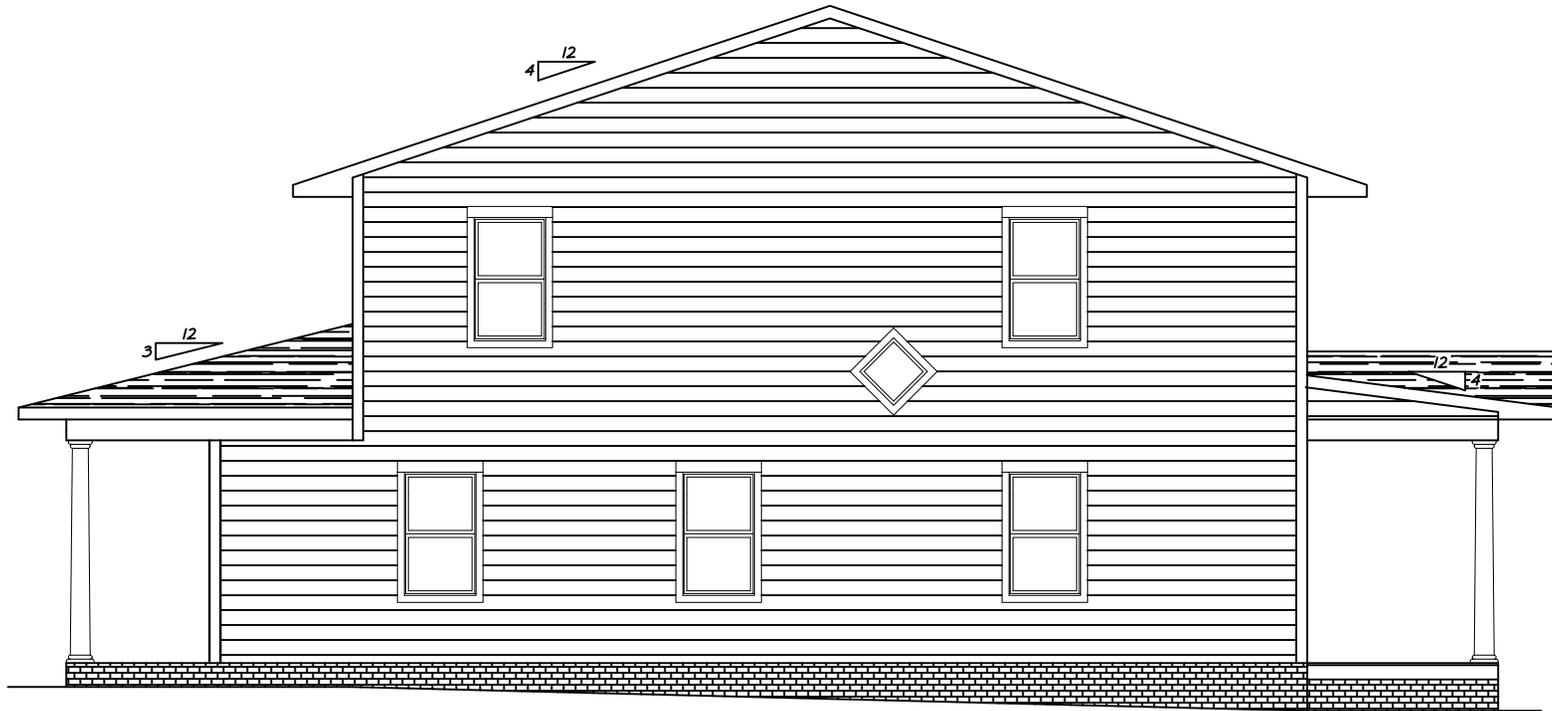
* Harbinger Homes, LLC reserves the
right to substitute materials of equal
value and quality.

Scale: 1/4" = 5-feet
 5-40-1277
 WAYNE STREET

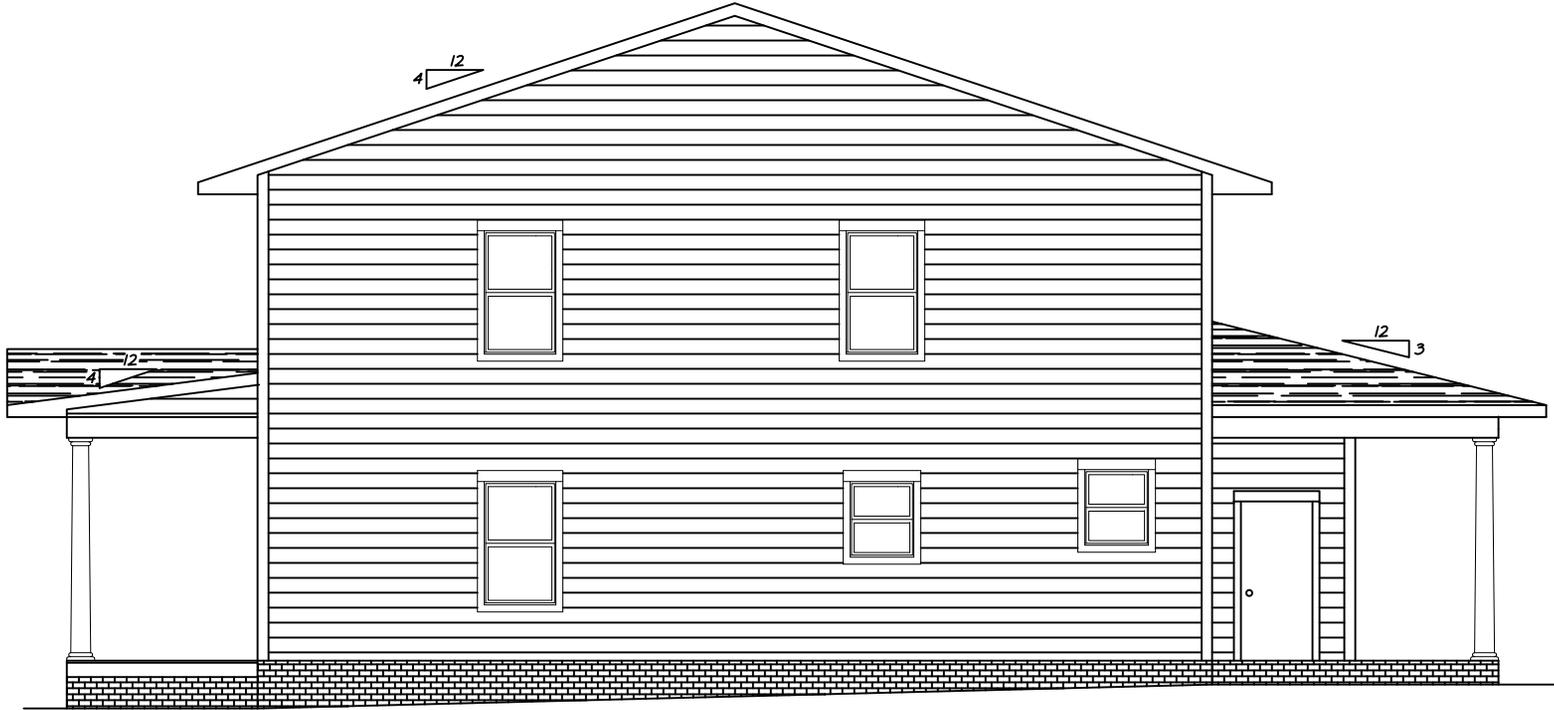




Front Elevation
Option #2



Lt. Side Elevation
Option #2



Rt. Side Elevation
Option #2



Rear Elevation
Option #2