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## D/DRC Case

1319 Geiger Avenue

**Cottontown/Bellevue Architectural Conservation District**

TMS: 09013-06-03



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**DESIGN/DEVELOPMENT REVIEW COMMISSION**  
**DESIGN REVIEW DISTRICT**  
**HISTORIC AGENDA**  
**EVALUATION SHEET**  
**Case # 4**

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**ADDRESS:** 1319 Geiger Avenue

**APPLICANT:** Asheley Scott, 1x1 Design, agent

**TAX MAP REFERENCE:** TMS#09114-07-01

**USE OF PROPERTY:** Residential

**REVIEW DISTRICT:** Cottontown Architectural Conservation District

**NATURE OF REQUEST:** Request Certificate of Design Approval for rear addition

**FINDINGS/COMMENTS:**

This is a c. 1925, single-family, one-story Bungalow with shiplap siding and decoratively sawn rafter tails in the eaves. The current owners would like to add a master bathroom and closet to the rear of the house. Due to this building's location on a corner lot, the 306 square foot addition will be visible to the public right of way on two of its three sides. The applicant has provided a fairly comprehensive package of images and drawings and it is attached.

**PERTINENT SECTIONS FROM GUIDELINES**

***Section 6: Additions and Enclosures to Existing Buildings***

***PRINCIPLES***

*It is often necessary to increase the space of a building in order for it to continue to adapt to the owner's needs. Over time, a family's/ business's space needs change and, in order to accommodate these needs, a building may need to be enlarged. While these additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.*

*Additions shall not significantly alter original distinguishing qualities of buildings such as the basic form, materials, fenestration, and stylistic elements. They shall be clearly distinguished from original portions of the building and shall result in minimal damage to it. Character defining features of the historic building shall not be radically changed, obscured, damaged, or destroyed in the process of adding new construction. The size and scale of the new addition shall be in proportion to the historic portion of the building and clearly subordinate to it. Additions should be attached to the rear or least conspicuous side of the building. They should be constructed so that if removed in the future, the essential form and integrity of the building will be unimpaired.*

***GUIDELINES***

***Additions***

***1. Site additions so that they do not detract from or obstruct important architectural features of the existing building or others around it, especially the principle façade.***

The addition is located at the rear of the property and does not detract from or obstruct important architectural features. The rear elevation was previously slightly altered with the addition of French doors. The roof will attach directly to the existing roof and therefore remove the original brackets, but the applicant plans to reuse the brackets in the addition. The applicant had a second option presented to staff where the roof line of the addition was dropped below the original roof by about a foot, but the concern was that it would create water issues with the original eave and siding due to its proximity to the new roof and lack of accessibility for repainting or repairs.

The addition's east (street side) wall will be seated slightly inset of the original rear corner of the house, at 8 inches according to the plans provided.

*2. Design additions to be compatible with the original structure in materials, style and detailing.*

The addition is largely compatible; the proposed materials will be exactly the same and the style will be the same. The applicant is proposing to mill the siding for the new addition to match the existing house exactly, to replicate the decorative rafter tails exactly, and to reuse the brackets from the original rear gable. These exact matches are of some concern because the Principles listed above indicate the desire that additions be "clearly distinguished from original portions of the building." The attempt to integrate the addition so seamlessly is a valid effort, but it appears to create a nearly indistinguishable part of the building and would easily read as an original section. Staff recommends making small but important distinctions for the addition; perhaps simplifying the rafter tails to a square cut or putting in wood siding with a different shape or different sized reveal.

The detailing is largely exactly matching the original, except in the case of the windows. The applicant has taken the central ribbon window from the left elevation of the home and reproduced it on the rear elevation in each of the two bays. In its original location, the ribbon window acts as part of a group of three windows, and in fact that is a very typical configuration for the type. Taking only part of that configuration out and reusing it within a different context does not create a detail that is compatible with the original building.

See also Guideline 5:6 below under New Construction.

*3. Limit the size and scale of additions so that the integrity of the original structure is not compromised.*

The size and the scale is limited and does not compromise the integrity of the original structure.

*4. Additions are also subject to the guidelines for new construction*

See below.

**Section 5: New Construction**

**PRINCIPLES**

*Within the Cottontown/Bellevue district, there are vacant lots. The construction of new or replacement structures on these lots will greatly affect the district by either reinforcing or undermining existing historic patterns. New construction shall be consistent with existing buildings along a street in terms of height, scale, proportion and rhythm of openings, setbacks, orientation and spacing. However, new buildings need not imitate past architectural styles to be successful infill; they may reflect the era of their own construction while using significant themes, such as height, materials, roof*

*form, massing, set-back, and the rhythm of openings to insure that a new building blends with its context. It is hoped that the new construction of today will be contemporary and contextual.*

## **GUIDELINES**

**1. Height:** *The characteristic height in Cottontown/Bellevue is 1 to 2 stories. Construct new buildings to a height that is compatible with the height of surrounding historic buildings. New construction shall not vary greatly in height from older buildings in the vicinity*

The height is compatible with the building.

**2. Size & Scale:** *The size and scale of a new building shall be visually compatible with surrounding buildings. Although much larger than its neighbors in terms of square footage, the building shown maintains the same scale and rhythm as the existing buildings. Do not construct buildings that disrupt the existing scale of the area. The new building shown here disrupts the scale and rhythm of the streetscape.*

The size and scale is visually compatible.

**3. Massing:** *Arrange the mass of a new building (the relationship of solid components (ex. walls, columns, etc.) to open spaces (ex. windows, doors, arches)) so that it is compatible with existing historic buildings on the block or street. Breaking up uninteresting boxlike forms into smaller, varied masses is essential to maintaining the character of the streetscape. Do not construct single, monolithic forms that are not relieved by variations in massing.*

The massing is compatible.

**Directional Expression:** *Site the entrance of the building so that it is compatible with surrounding buildings. Horizontal buildings can be made to relate to more vertical adjacent structures by breaking the façade into smaller masses that conform to the primary expression of the streetscape. Do not construct strongly horizontal or vertical façade expressions.*

Not applicable.

**4. Setback:** *Locate the new building on the site so that the distance of the structure from the right of way is similar to adjacent structures. Do not violate the existing setback pattern by placing buildings in front of or behind existing façade lines.*

Not applicable.

**5. Sense of Entry:** *Place the main entrance and the associated architectural elements (porches, steps, etc.) so that they are compatible to surrounding structures. The main entrance shall be constructed with covered porches, porticos or other architectural forms that are found on historic structures on the block or street.*

*Construct facades with a strong sense of entry.*

Not applicable.

**6. Rhythm of Openings:** *Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door & window openings) are visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade. Do not introduce incompatible façade patterns that upset the rhythm of openings established in surrounding structures.*

The street side of the addition has a window that matches the house exactly in terms of proportion, style and materials. On the rear, the proposed ribbon windows do not meet the guideline because they do not maintain that same relationship of width to height that is found on almost all of the historic windows in the building.

Staff recommends full-size windows that better match the vertical orientation and “double hung” appearance of the historic windows on the original building that stand alone. The new windows could also be of a different configuration than those on the house or be aluminum-clad wood to better differentiate the addition. If the interior space will not accommodate this type of window they may be “faux” in that they are real windows but that the interior wall is finished out with sheetrock over the window.

**7. Roof Shape:** *Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. Nearly all of the buildings in Cottontown/Bellevue have pitched roofs, with gable, hip or a combination thereof as the predominant style. Do not introduce roof shapes or pitches that are not found in the area.*

The roof shape and pitch is an exact match, as are the asphalt shingles.

**8. Outbuildings:** *Construct garage and storage buildings so that they reflect the character of the existing house and are compatible in terms of height, scale, and roof shape. Place such buildings away from the primary façade of the building. Do not allow outbuildings to obscure character-defining features of a building.*

Not applicable.

**9. Materials, Texture, and Details:** *Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street. When selecting architectural details, consider the scale, placement, profile, and relief of details on surrounding structures for the basis of design decisions. If horizontal siding is to be used, consider the board size, width of exposure, length, and trim detail such as corner boards on adjacent historic structure for specifications of the new material.*

Already discussed above.

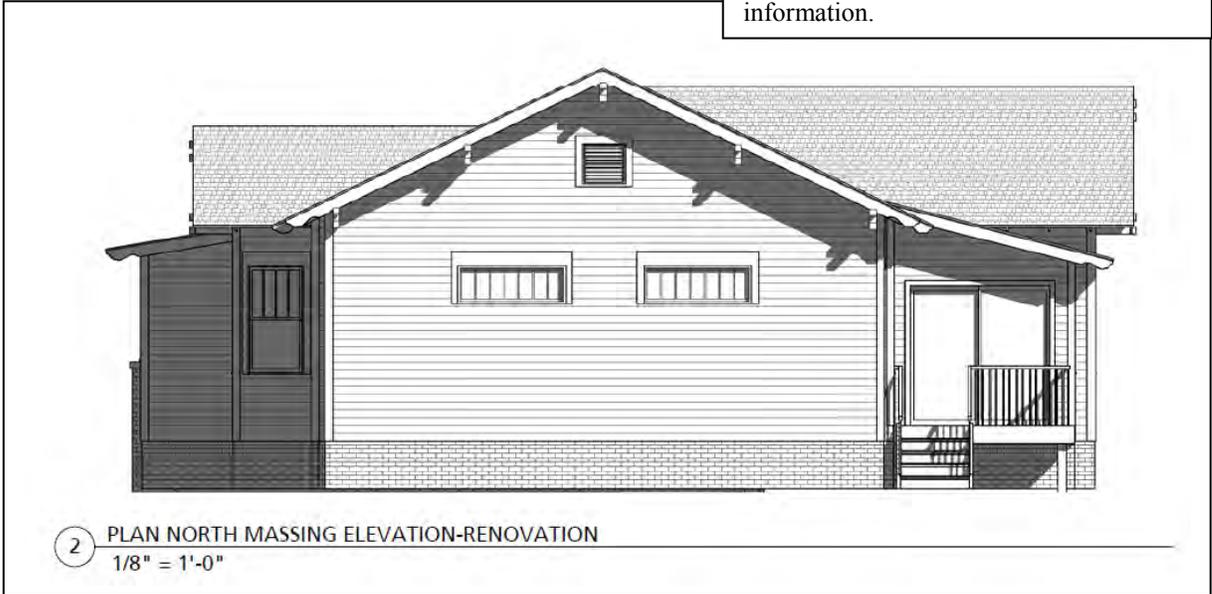
#### **STAFF RECOMMENDATIONS:**

Staff finds that the proposal generally meets Sections 5 and 6 of the guidelines and recommends that the request for Certificate of Design Approval be approved with the following conditions:

1. The rear windows be changed to vertically oriented double-hung type windows that are of a size similar to the majority of the historic windows in the building, though their configuration may change with staff approval and they may be aluminum-clad wood.
2. That there be some alteration to the proposed exterior materials in order to create some clear distinction between the original building and the addition, in the form of simpler rafter tails, or a different type or size of wood siding.
3. All details deferred to staff.



Drawing by applicant, please see applicant's submission packet for more information.



Proposed rear elevation of new addition with two ribbon windows that Staff recommends changing.



June 4, 2013

Ms. Staci Richey  
City Planner  
Planning and Development Services  
1136 Washington Street  
Columbia, South Carolina 29201

RE: DDRC Application: 1319 Geiger Avenue

Dear Staci:

Please consider the enclosed materials and information the application for 1319 Geiger Avenue to DDRC for the July 2014 meeting. In general, the scope of work includes an addition at the rear of the residence. This is a corner lot, requiring review by DDRC that would typically not be required by an addition of this type and location on a mid-block lot in this neighborhood. While it would not be required in a mid-block lot, the Owners have, and continue, to care for this historic home with great care and attention to detail.

Attached you will find the DDRC application, letter of agency for 1x1 Design to act on behalf of the property owners, and supporting plans, elevations, and pictures.

Referencing drawing A1.0, you will see the existing footprint of the house, garage and proposed addition at the rear of the existing residence. The existing house is a single story wood framed structure, dating back to the mid 1920's. Existing footprint includes 3 bedrooms, 2 baths, living room, kitchen, dining room, and circulation/laundry space. Total existing square footage is 2246 square feet.

The addition (Reference sheet A1.1), to the rear of the existing house is approximately 306 square feet and includes a master bath and closet addition (closet for existing guest room and master closet). We have successfully integrated the owner's program requirements into the space while also following the design guidelines for the Cottontown/Bellevue District:

- The addition does not significantly alter the original structure, instead it removes alterations that were not keeping with the style of the house.
- The addition is located to the rear of the property, and is separated from the original structure by creating massing separation at the footprint of the addition. Due to the nature of the wood siding, the new siding will be able to match the existing siding (currently under repairs by the Owners).
- The size and scale of the addition are in keeping with the existing house. Although we have indented the addition, the roof line remains the same, allowing the roof brackets to be relocated to the new existing rear elevation. Additionally, the rafter tail details will be replicated to match the existing detail.
- The addition does not detract from or obstruct important architectural features of the existing building or others around it. As mentioned, we intend to relocate the existing roof brackets, while also recreating the historic detailing at the eaves and windows. The windows, found elsewhere on the house, are reinterpreted to provide for appropriate light and views (or lack there-of) while not

introducing a completely new language to the house. Reference sheets A2.1-A3.1 for addition notes and details, along with photographs of the existing residence.

- The size and scale of the addition does not compromise the original structure. With elements to match the existing construction, yet visually separated by massing, the addition allows the expansion needed for the residents.
- We believe, the addition meets the requirements of the guidelines for new construction, as they apply in this context.

Referencing the guidelines, these bullet points, and the attached documentation, we believe that this design and application is in alignment with the intent of the guidelines of the district.

We have been pleased to work on this project with the Owners and look forward to providing any additional information, as required. Thanks in advance for your time and assistance.

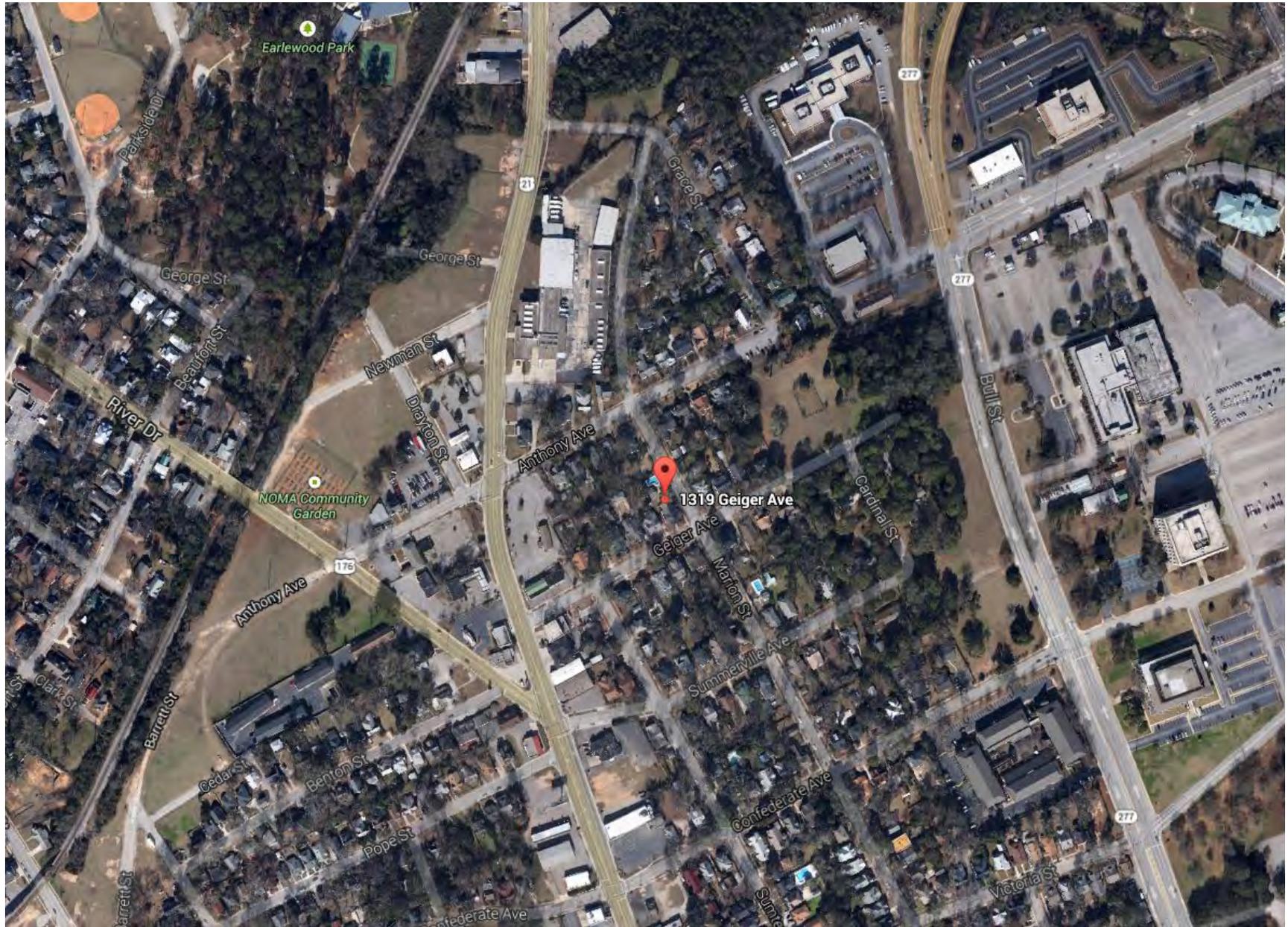
Sincerely,

A handwritten signature in black ink, appearing to read "Asheley Scott". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

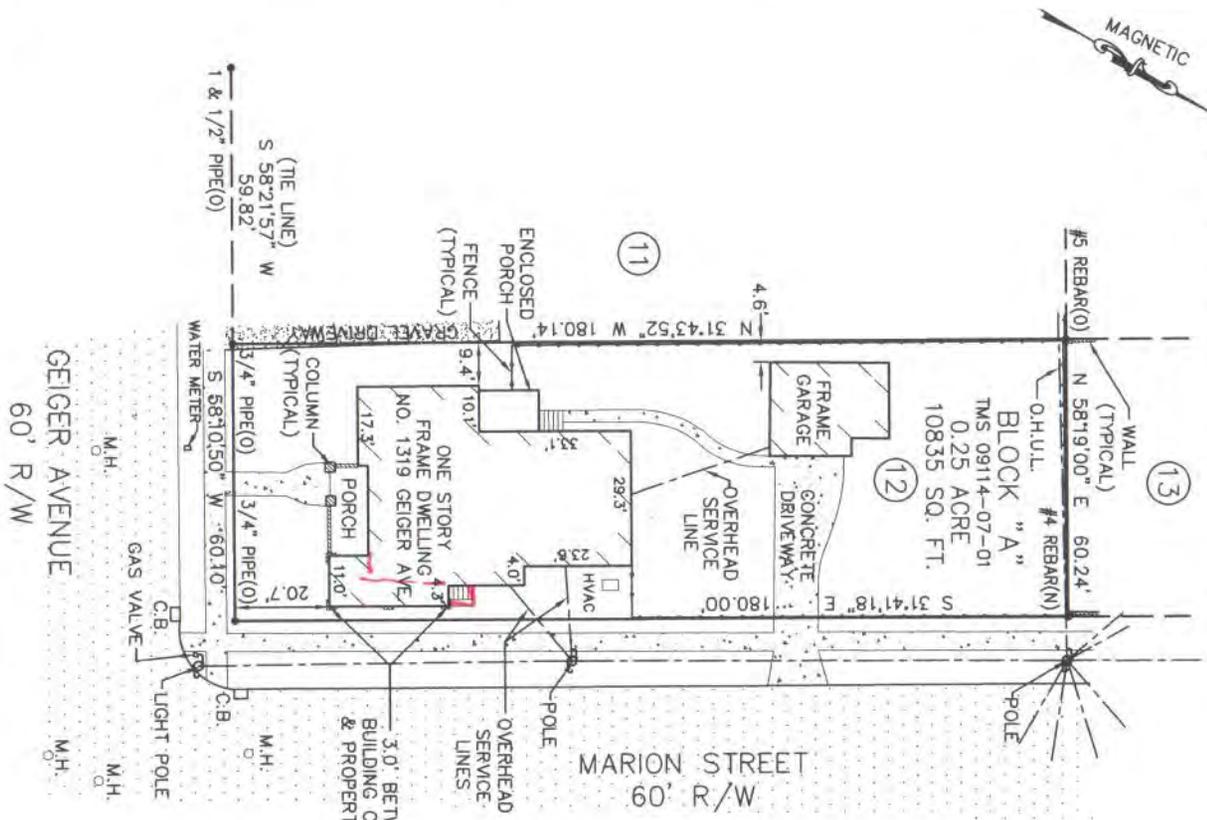
Asheley Scott, AIA, LEED AP BD + C  
President

Cc: File F-14-008

1319 Geiger Avenue



PROPERTY MAY BE SUBJECT TO UNRECORDED EASEMENTS OR RESTRICTIONS NOT OBSERVED AND TO INFORMATION REVEALED IN A COMPLETE TITLE SEARCH. THE SURVEYOR DID NOT PERFORM A TITLE SEARCH. UNDERGROUND UTILITIES MAY BE PRESENT BUT THEIR LOCATION WAS NOT DETERMINED.

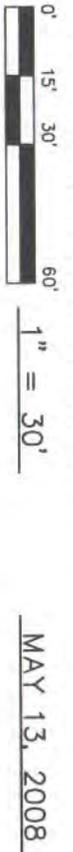


PLAT PREPARED FOR  
**CASEY C. HYDRO**

RICHLAND COUNTY, COLUMBIA, SC

FB 247-57

THE SAME BEING SHOWN AS LOT NO. 12, BLOCK "A", ON PLAT OF NEWMAN PROPERTY, BY J.S. C. COVINGTON, DATED APRIL 3, 1919, AND RECORDED IN THE OFFICE OF REGISTER OF DEEDS FOR RICHLAND COUNTY IN PLAT BOOK "F", PAGE 211.



MAY 13, 2008

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN HEREON.

**BAXTER LAND SURVEYING CO., INC.**  
 533 HARDEN STREET  
 COLUMBIA, SC 29205  
 (803)-252-8564

ROSSER W. BAXTER, JR., SQ#15 NO. 7613

1319 Geiger Avenue: Photo 1  
Current Photo (Geiger Avenue Facade)



1319 Geiger Avenue: Photo 2  
Current Photo (Plan Southwest Corner)



1319 Geiger Avenue: Photo 3  
Current Photo (Marion Street Facade)



1319 Geiger Avenue: Photo 4  
Current Photo (Plan Northeast Corner)



1319 Geiger Avenue: Photo 5  
Current Photo (Plan Northwest Corner)



1319 Geiger Avenue: Photo 6  
Current Photo (Plan North Eave, Rafter Tail, and Trim Detail)



1319 Geiger Avenue: Photo 7  
Current Photo (Typical Window Detail on Plan West Facade)



1319 Geiger Avenue: Photo 8  
Current Photo (Typical Window Detail on Marion Street Facade)

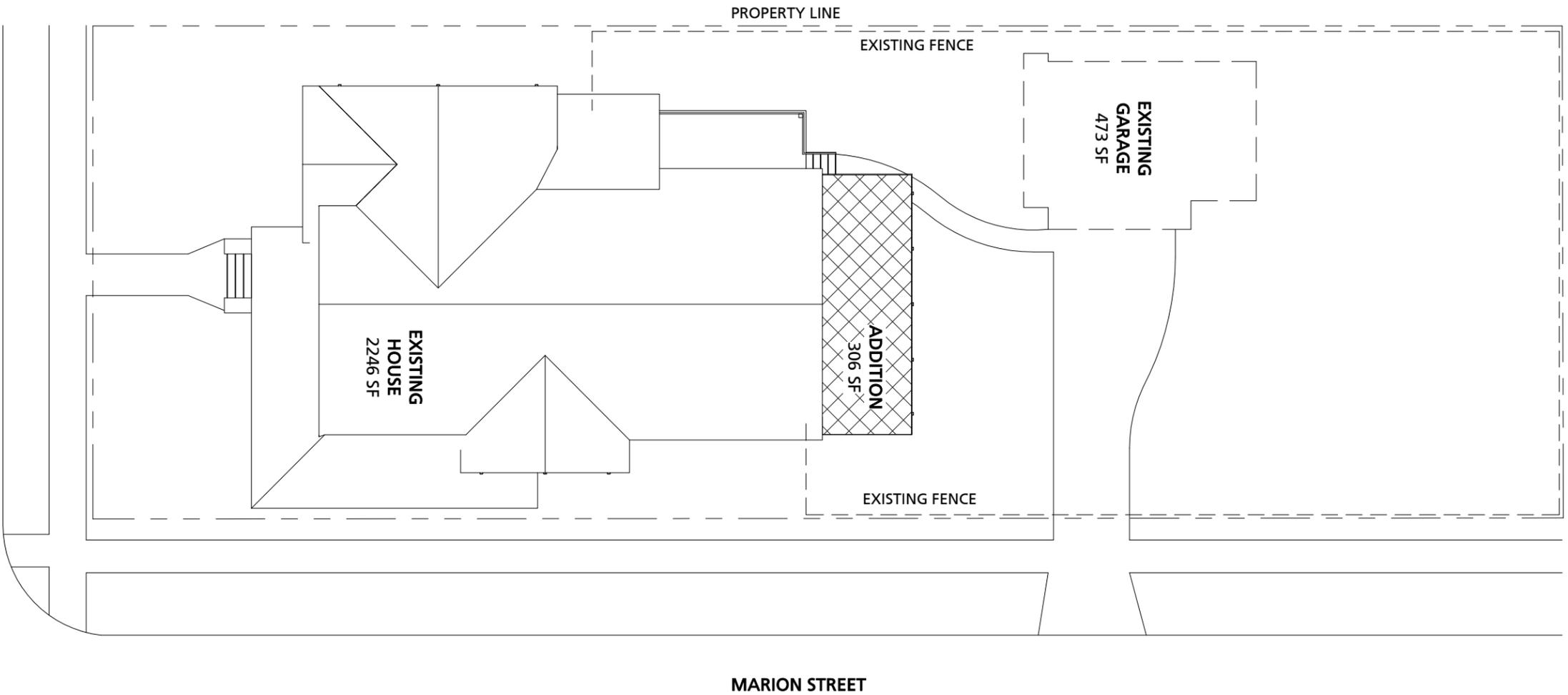


1319 Geiger Avenue: Photo 9  
Current Photo and Measured Existing Drawing (Typical Window Detail on Plan West Facade)



1319 Geiger Avenue: Photo 10  
Current Photo (Marion Street Eave, Rafter Tail, and Trim Detail)





**PROPERTY INFORMATION:**

OWNER: Kirk A. Foster & Charles A. McMillen  
 ADDRESS: 1319 Geiger Ave  
 Columbia, South Carolina 29201  
 TAX MAP NO: R09114-07-01  
 ZONING: RS-2

**LOT COVERAGE CALCULATIONS:**

EXISTING LOT: 0.25 ACRES / 10835 SF  
 EXISTING HEATED SF: 2246 SF  
 EXISTING GARAGE: 473 SF  
 ADDITION: 306 SF

EXISTING HEATED SF: 2246 SF  
 PROPOSED ADDITION: 306 SF  
 TOTAL: 2552 SF

3 BR, 2 Bath  
 3 BR, 3 Bath  
 3 BR, 3 Bath

TOTAL: 3025 SF  
 LOT COVERAGE: 28%

GEIGER AVENUE

MARION STREET

1 SITE PLAN  
 1/16" = 1'-0"

A1.0

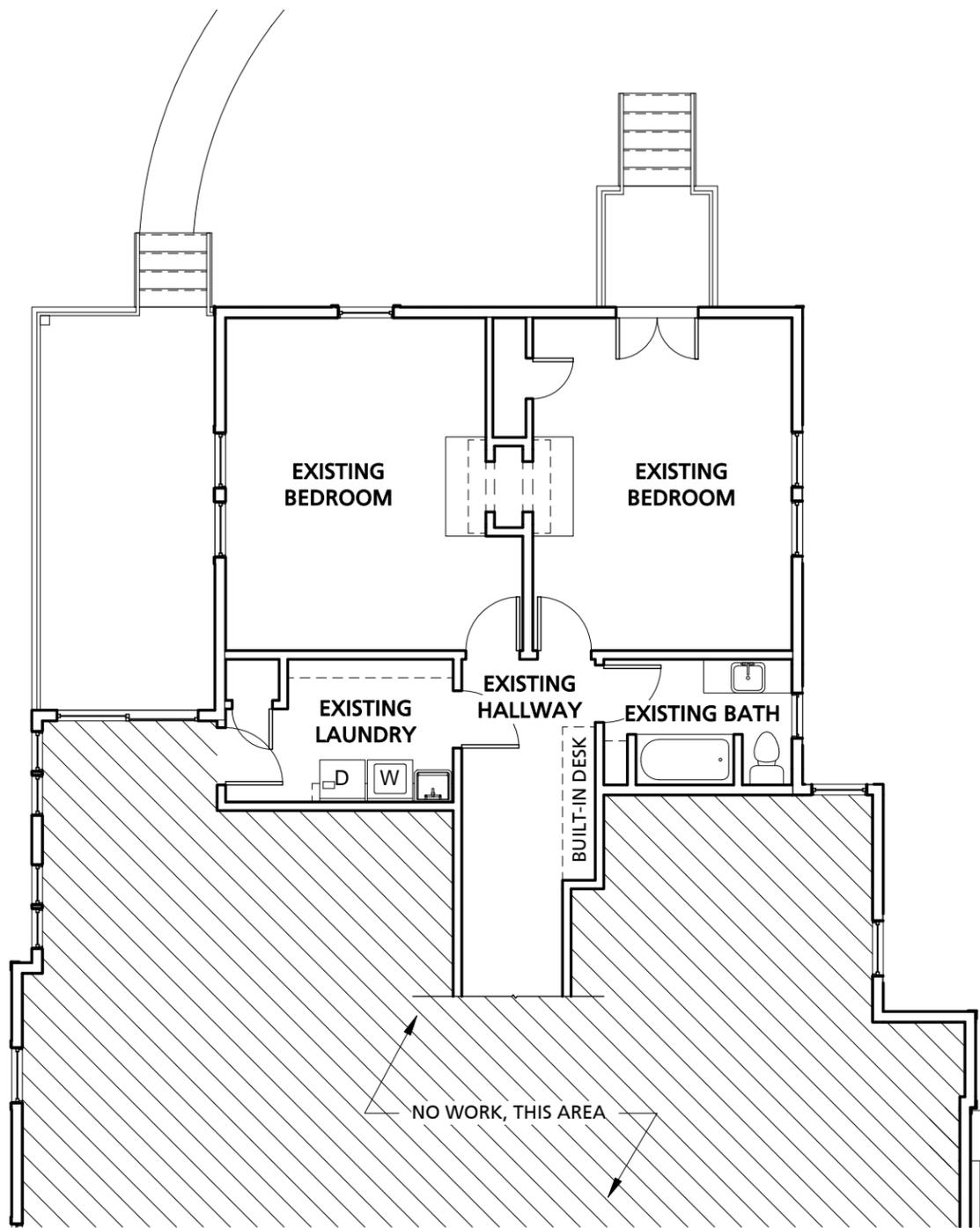
FOSTER RESIDENCE

ARCHITECTURAL SITE PLAN

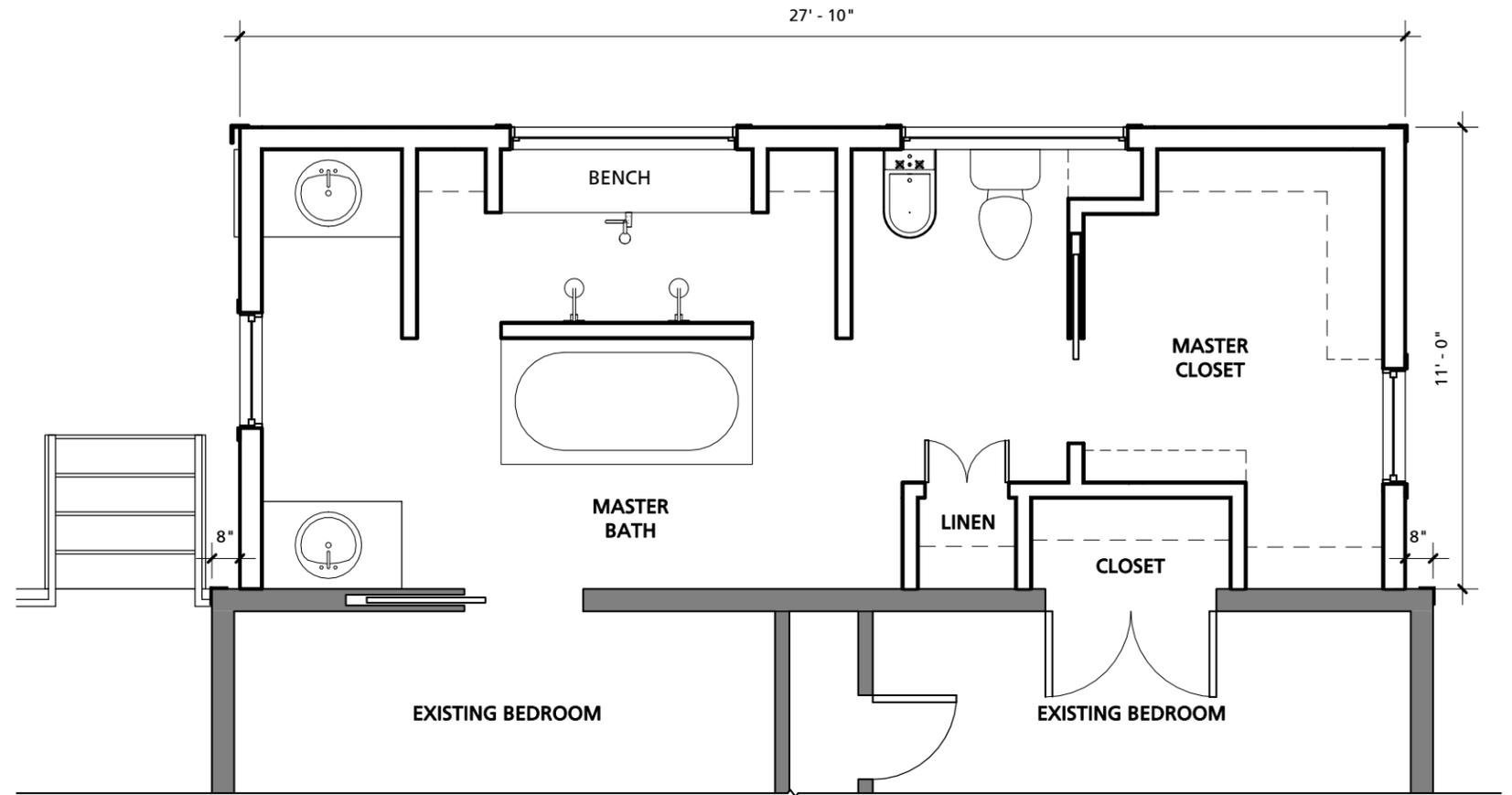
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1 FIRST FLOOR-EXISTING PLAN  
1/8" = 1'-0"



2 FIRST FLOOR- PROPOSED RENOVATION PLAN  
1/4" = 1'-0"

A1.1

FOSTER RESIDENCE

EXISTING AND RENOVATION FLOOR PLANS

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1 PLAN EAST MASSING ELEVATION-RENOVATION  
1/8" = 1'-0"



2 PLAN WEST MASSING ELEVATION-RENOVATION  
1/8" = 1'-0"

NOTE: EXISTING ELEVATIONS AND PERSPECTIVES ARE SHOWN FOR REFERENCE ONLY TO ILLUSTRATE MASSING AND SCALE. DETAILS FOR ALL NEW ELEMENTS MARKED "TO MATCH EXTG" SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.

A2.1

FOSTER RESIDENCE

MASSING ELEVATIONS

06.03.14

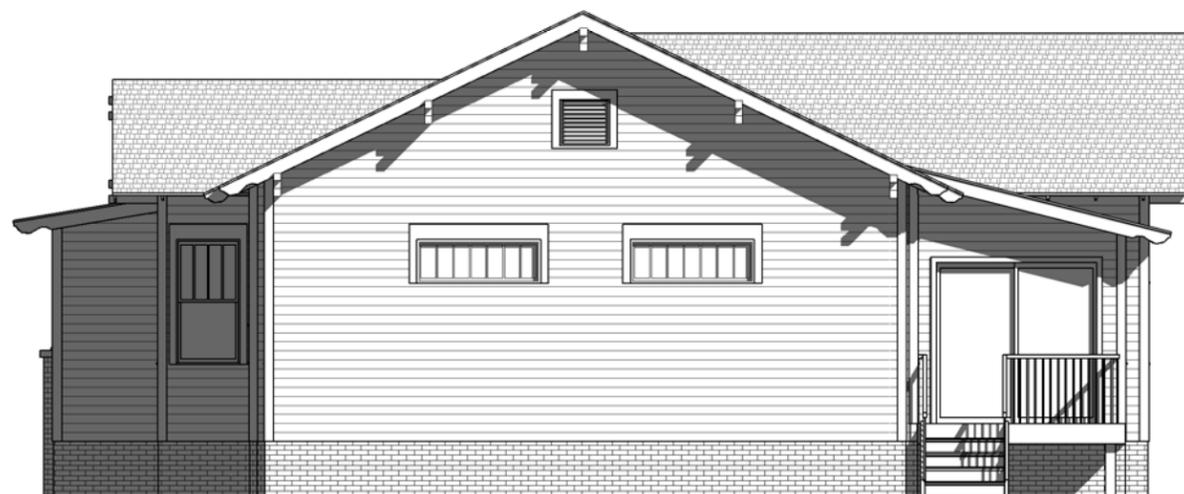


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1 PLAN NORTH MASSING ELEVATION-EXISTING  
1/8" = 1'-0"



2 PLAN NORTH MASSING ELEVATION-RENOVATION  
1/8" = 1'-0"

NOTE: EXISTING ELEVATIONS AND PERSPECTIVES ARE SHOWN FOR REFERENCE ONLY TO ILLUSTRATE MASSING AND SCALE. DETAILS FOR ALL NEW ELEMENTS MARKED "TO MATCH EXTG" SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.

A2.2

FOSTER RESIDENCE

MASSING ELEVATIONS

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1 PLAN EAST ELEVATION-RENOVATION  
 1/4" = 1'-0"

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A2.3

FOSTER RESIDENCE

EAST ELEVATION

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← ADDITION      EXISTING →

NEW SHINGLES TO MATCH EXTG

EXPOSED RAFTER TAILS, PAINTED, TO MATCH EXTG

WOOD LAP SIDING, PAINTED, TO MATCH EXTG

WOOD CORNER BOARD AND TRIM, PAINTED, TO MATCH EXTG

DOUBLE-HUNG WOOD WINDOW, TO MATCH EXTG

⊕ FIRST FLOOR  
0"

BRICK FOUNDATION, PAINTED, TO MATCH EXTG

① PLAN WEST ELEVATION-RENOVATION  
1/4" = 1'-0"

NOTE: EXISTING ELEVATIONS AND PERSPECTIVES ARE SHOWN FOR REFERENCE ONLY TO ILLUSTRATE MASSING AND SCALE. DETAILS FOR ALL NEW ELEMENTS MARKED "TO MATCH EXTG" SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.

A2.4

FOSTER RESIDENCE

WEST ELEVATION

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GABLE VENT, PAINTED.  
RELOCATE FROM EXTG,  
IF POSSIBLE, OR  
REPLICATE.  
PLACEMENT TO MATCH  
CURRENT LOCATION

EXPOSED RAFTER TAILS,  
PAINTED, TO MATCH  
EXTG

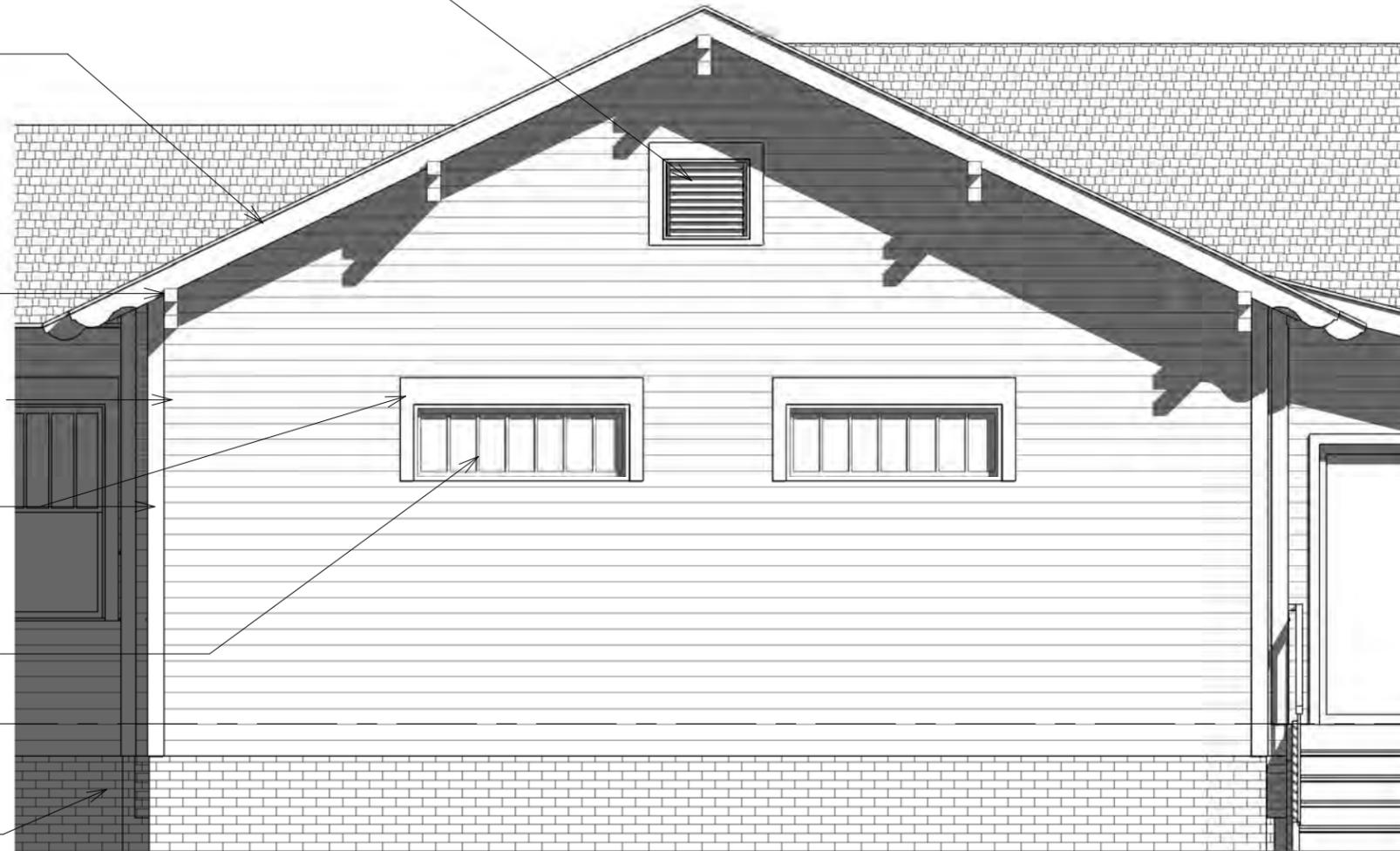
EXPOSED RAKE  
BRACKETS, PAINTED.  
RELOCATE FROM EXTG,  
IF POSSIBLE, OR  
REPLICATE.  
PLACEMENT TO MATCH  
CURRENT LOCATION

WOOD LAP SIDING,  
PAINTED, TO MATCH EXTG

WOOD CORNER BOARD  
AND TRIM, PAINTED, TO  
MATCH EXTG

WOOD WINDOW, DETAILS  
TO MATCH EXTG  
WINDOW (SEE WEST  
MASSING ELEVATION)

BRICK FOUNDATION,  
PAINTED, TO MATCH  
EXTG



FIRST FLOOR  
0"

1 PLAN NORTH ELEVATION-RENOVATION  
1/4" = 1'-0"

NOTE: EXISTING ELEVATIONS AND PERSPECTIVES ARE SHOWN FOR REFERENCE ONLY TO ILLUSTRATE MASSING AND SCALE. DETAILS FOR ALL NEW ELEMENTS MARKED "TO MATCH EXTG" SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO FABRICATION.

A2.5

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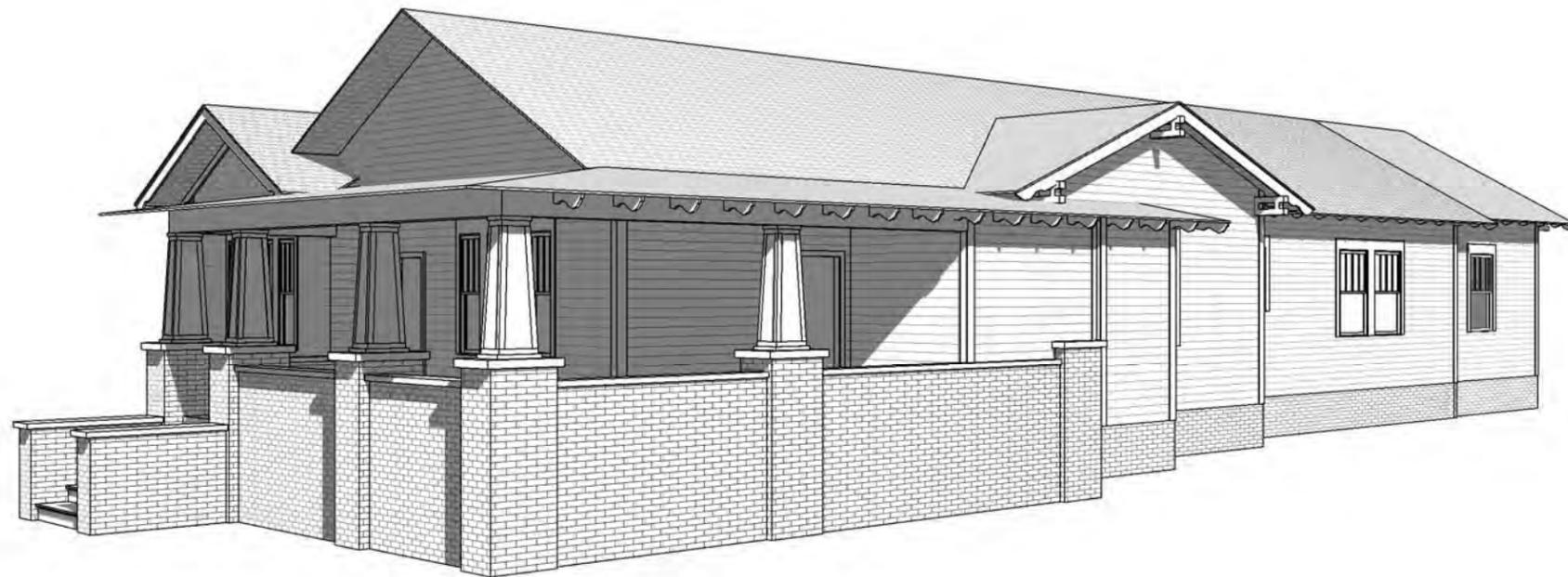
NORTH ELEVATION

06.03.14

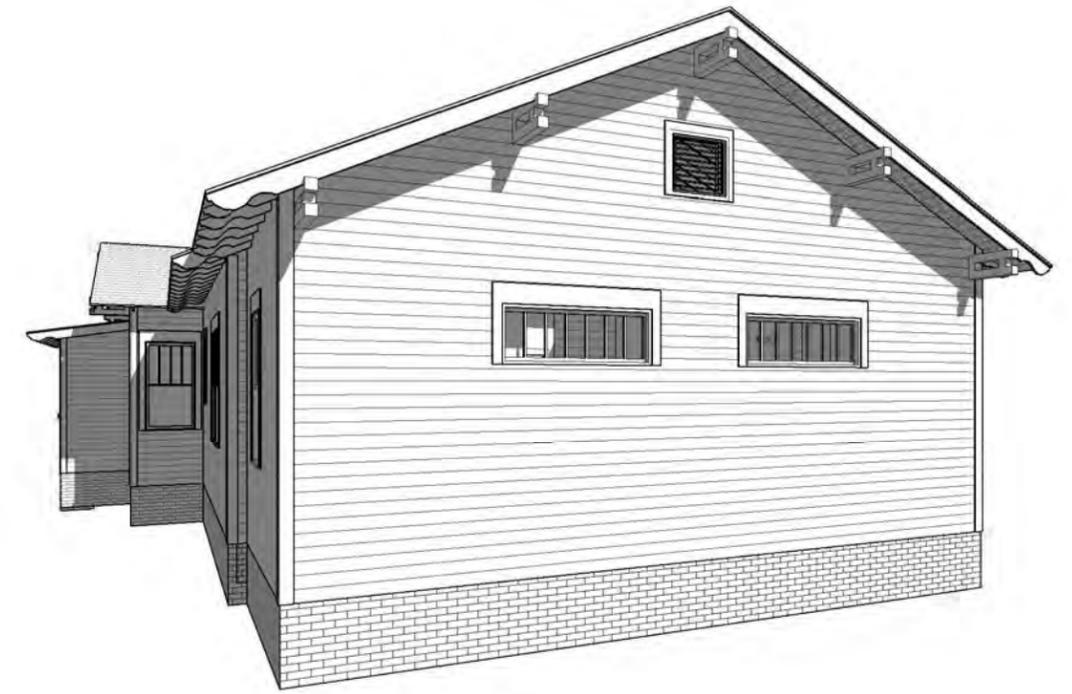


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1 VIEW FROM CORNER OF GEIGER AVE & MARION ST



2 VIEW OF ADDITION FROM REAR YARD

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A3.1

FOSTER RESIDENCE

PERSPECTIVES

06.03.14



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