

D/DRC Case

201 Wateree Avenue

Wales Garden Architectural Conservation District

TMS: 11306-04-29

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 3

ADDRESS: 201 Wateree Avenue

APPLICANT: M.R. Wallace Construction, contractor

TAX MAP REFERENCE: TMS#11306-04-29

USE OF PROPERTY: Residential

REVIEW DISTRICT: Wales Garden Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for an addition.

FINDINGS/COMMENTS:

This two-story house was built ca. 1920 and features a slate roof with exposed rafter tails, an asymmetrical façade with a front gabled entry porch, stucco and false half-timbering on the second story, and horizontal wood siding on the main level. It is a contributing structure in the Wales Garden Architectural Conservation District. The applicant is requesting a Certificate of Design Approval to allow a 1-story, 32'x15' hip roof addition to be placed on the left rear corner of the house.

The proposed 1-story, 32' wide x 15' deep side addition on the left rear corner of the house is an unusual request, and most parcels are not typically wide enough to meet the required setbacks with such a wide addition. This parcel, however, is larger than adjacent properties and the width is almost twice that of the typical parcel on Wateree Avenue. The original parcel size for this house was much smaller, as can be seen on the 1923 Sanborn Fire Insurance map included with this evaluation. The Sanborn map shows that the parcel lines were much closer to the main portion of the house and that the existing 1-story side wing on the left side of the house was not an original feature.

The ideal site for the proposed addition is limited by an existing in-ground swimming pool on the left side and a 1 ½ story garage on the right side. The intended function of the addition is to expand the existing kitchen by pushing out the left side wall and creating a den space that overlooks the pool. Staff would not typically recommend for such a wide addition to be placed on the side of a historic building, but in this particular situation the distance from the sidewalk to the addition (approximately 50 or 60 feet) and the amount of landscaping on the left side of the property may help minimize the visibility of the addition. Staff could not recommend for approval if the addition were any closer to the front of the house.

PERTINENT SECTIONS FROM THE GUIDELINES

Section VIII: Guidelines for Additions

It is often necessary to increase the space of a building in order for it to meet the owners' changing needs. While additions are permitted, they should serve to reinforce and not detract from the existing architectural form and design of the building.

Guidelines

1. *Site additions so that they do not detract from or obstruct important architectural features of the existing building or those around it, especially the principal façade.*

Additions are typically placed on the rear of historic buildings to allow the original footprint to remain intact while preserving as much architectural integrity as possible. Additions should be constructed in a way that differentiates the new from the old and can be removed in the future without irreversibly damaging the historic portion of the building. The proposed placement of the 32' wide x 15' deep addition on the left rear corner of the house is not ideal; however, the distance away from the sidewalk and the density of landscaping on the left side may help to minimize any negative visual impact it may have on the principle façade. Perhaps the applicant can revisit the possibility of situating the addition on the very rear of the building, which would require the existing kitchen to expand into the rear of the parcel instead of the left side.

2. *Design additions using materials and detailing compatible with the original structure.*

The primary architectural elements of the original house include a front gable roof with slate tiles and exposed rafter tails, stucco with false half-timbering on the second story, and wood lap siding on the main level. The proposed 1-story addition utilizes a hip roof and horizontal cement fiberboard siding to match the existing wood siding. The elevations show exposed rafter tails on the addition; however, exposed rafter tails are only used on the upper roof of this house. The existing 1-story enclosed porch on the left side and the open portico on the right side feature boxed eaves. Staff recommends using boxed eaves on the addition to be more compatible with the existing configuration of the house. No plastic, vinyl, or PVC products will be used.

3. *Limit the size and scale of an addition so that it is clearly subordinate to the original structure.*

The proposed addition is 1-story and 32' wide x 15' deep. The massing, size, and scale of the proposed 480 sq. ft. addition is clearly subordinate to the approximately 5,000 sq. ft. existing historic structure.

4. *Design dormer additions to be subordinate to the overall roof mass and in scale with those that may have been used originally in the neighborhood.*

N/A

Section VI: Guidelines for New Construction

6. **Rhythm of openings:** *Construct new buildings so that the relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) is visually compatible with historic buildings on the block or street. Maintain a similar ratio of height to width in the bays of the façade. Do not introduce incompatible façade patterns that upset the rhythm of openings established in surrounding structures.*

The addition, as proposed, features a 32' wide blank wall that will be visible from the public right-of-way. Staff recommends adding at least two full-sized windows or one pair of French doors to be consistent with the existing fenestration pattern.

7. **Roof Shape:** *Use roof shapes, pitches, and materials that are visually compatible with those of surrounding buildings. Most structures in Wales Garden have pitched roofs with gable, hip or a combination thereof as the predominant style. Do not introduce roof shapes or pitches that are not found in the area.*

The roof shape of the addition is consistent with the existing 1-story porch on the left side of the building.

8. **Materials, textures, details:** *Use materials, textures, and architectural features that are visually compatible with those of historic buildings on the block or street. When selecting architectural details, consider the scale, placement, profile, and relief of details on surrounding structures for the basis of design decisions. If horizontal siding is to be used, consider the board size, width of exposure, length, and trim detail such as corner boards on adjacent historic structure for specifications of the new material.*

- **Roofing:** The elevations show that composition shingles will be used, but the applicant indicated that they would like to propose a synthetic product that will match the look of the existing slate roof. Staff will need to see specification sheets and a sample of the product before making a recommendation.
- **Fascia:** Will be wood or cement fiberboard. The elevations indicate that wood or vinyl trim boards will be used, but plastic, vinyl, or PVC products are not permitted.
- **Siding:** The siding will be horizontal cement fiberboard with a reveal to match the existing wood siding.
- **Eaves:** Staff recommends for the eaves to be boxed in order to be more consistent with the existing 1-story porches.
- **Windows:** Staff recommends adding two full-size windows or one pair of French doors on the 32' blank wall.

STAFF RECOMMENDATIONS:

Staff finds that due to the distance from the public right-of-way and the existing density of landscaping that will minimize the visibility of the addition, the proposal meets Section VIII – Guidelines for Additions and recommends granting a Certificate of Design Approval for this project with the following conditions:

- *Roofing material shall be clarified with staff*
- *The eaves of the addition shall be boxed*
- *Two full-size windows or one pair of French doors shall be installed on the 32' blank wall*
- *All details deferred to staff*

201 Wateree Avenue – Wales Garden Architectural Conservation District



201 Wateree Avenue – façade



201 Wateree Avenue – left side

201 Wateree Avenue – Wales Garden Architectural Conservation District

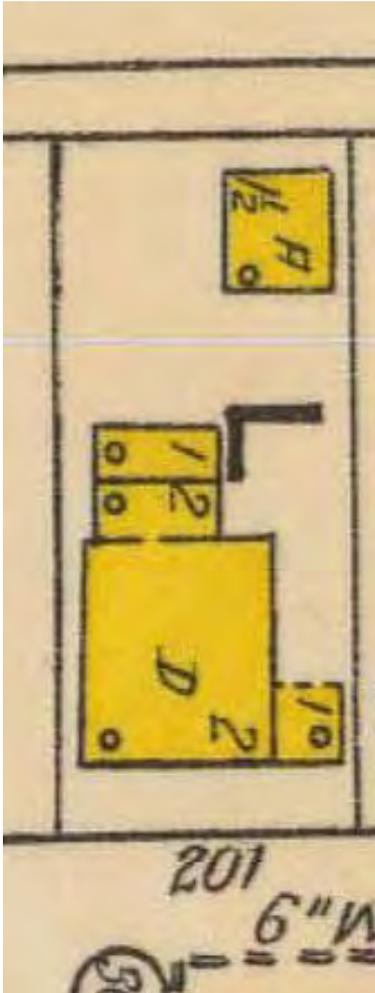


201 Wateree Avenue – dense vegetation on left side property line



201 Wateree Avenue – The dotted line shown above represents the visibility of the proposed building site from the public right-of-way.

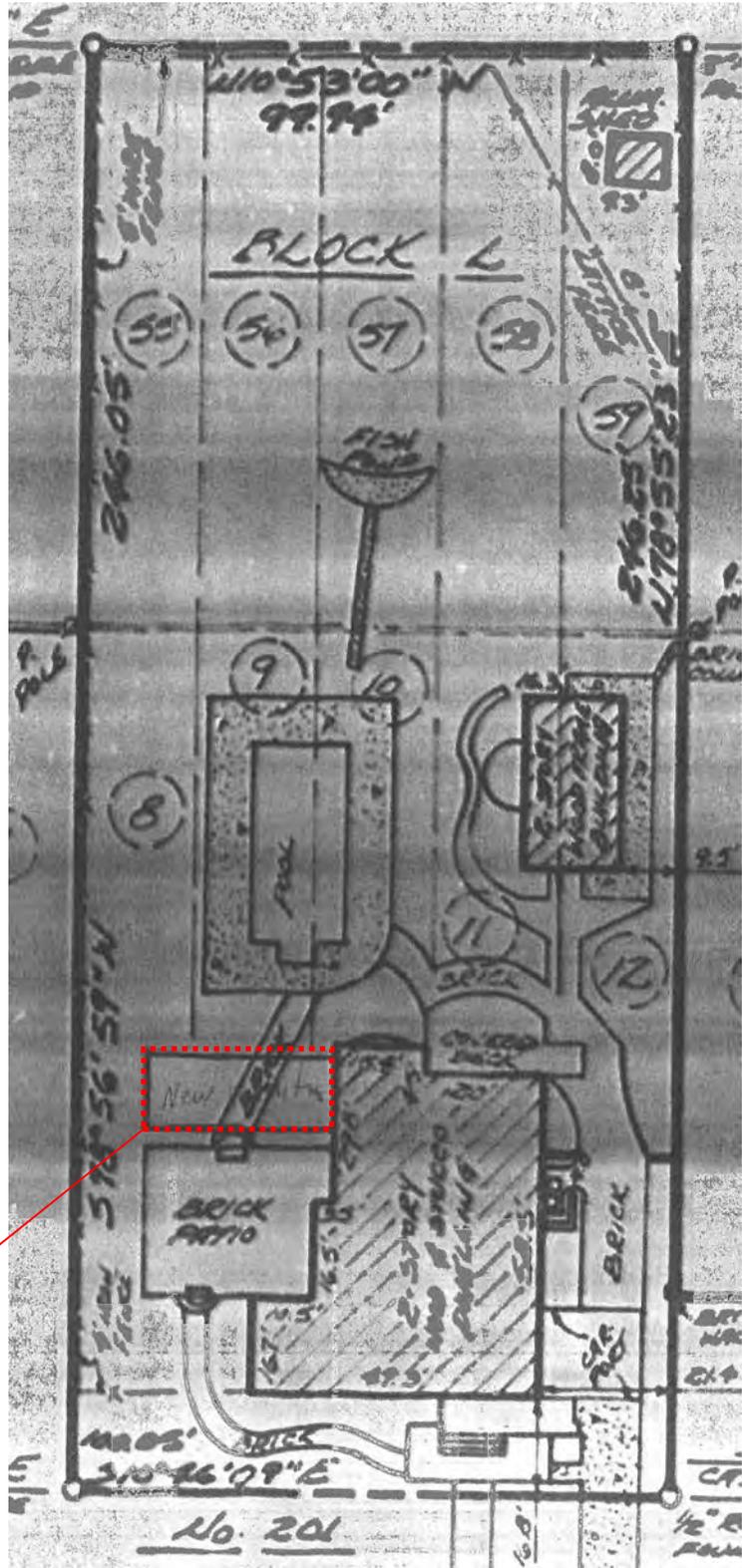
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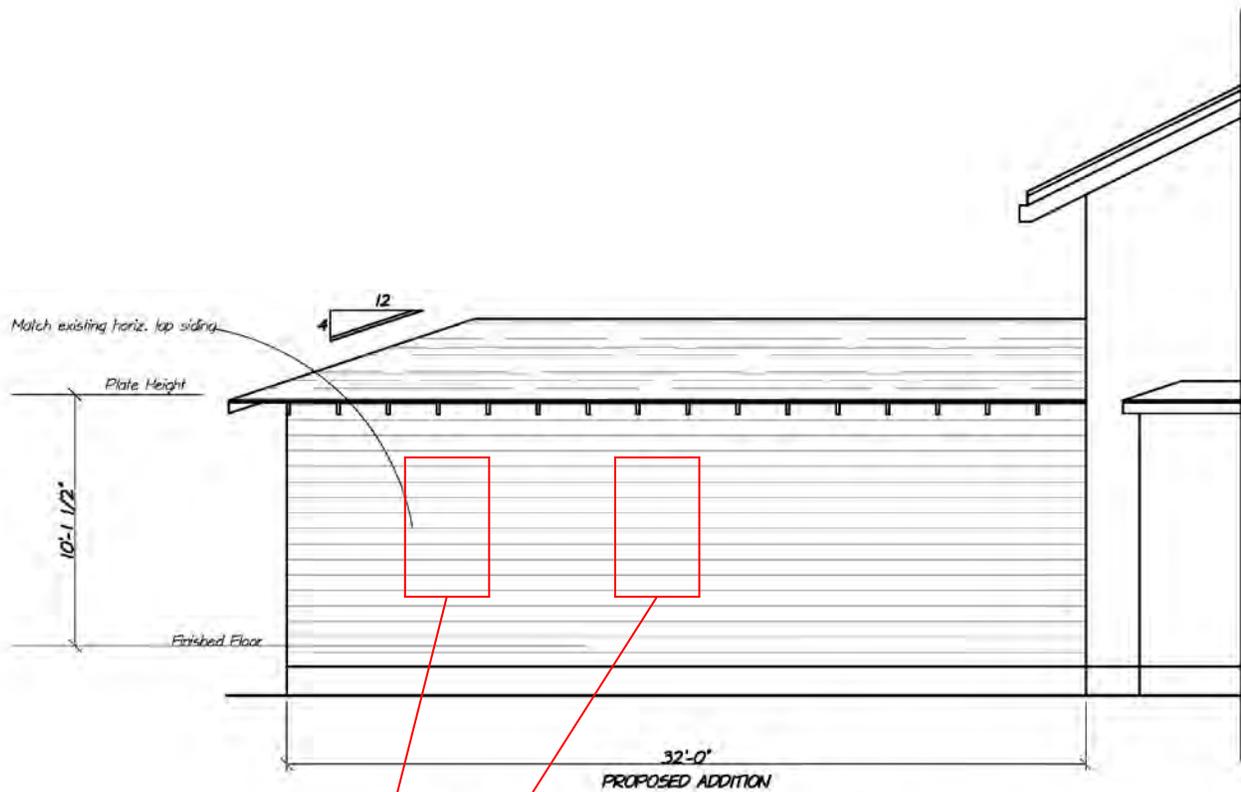
1923 Sanborn Fire Insurance map showing original building footprint and property lines.

Courtesy of USC Digital Collections

Proposed 1-story addition



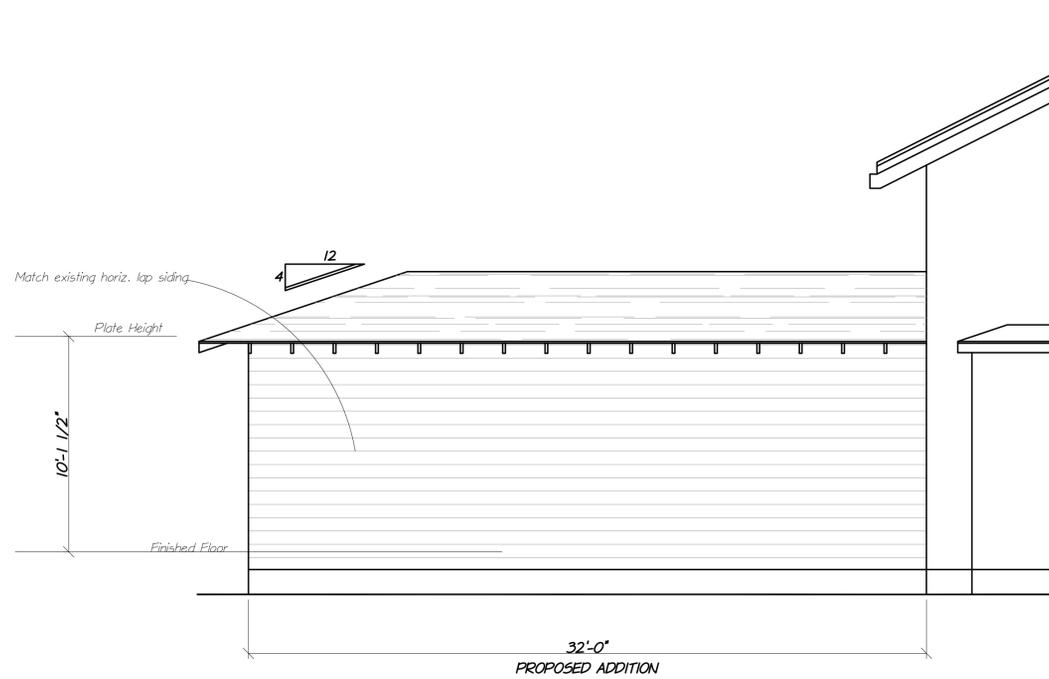
201 Wateree Avenue – site plan



Front Elevation

Proposed side addition

Staff recommends adding two full-sized windows or one pair of French doors



Front Elevation

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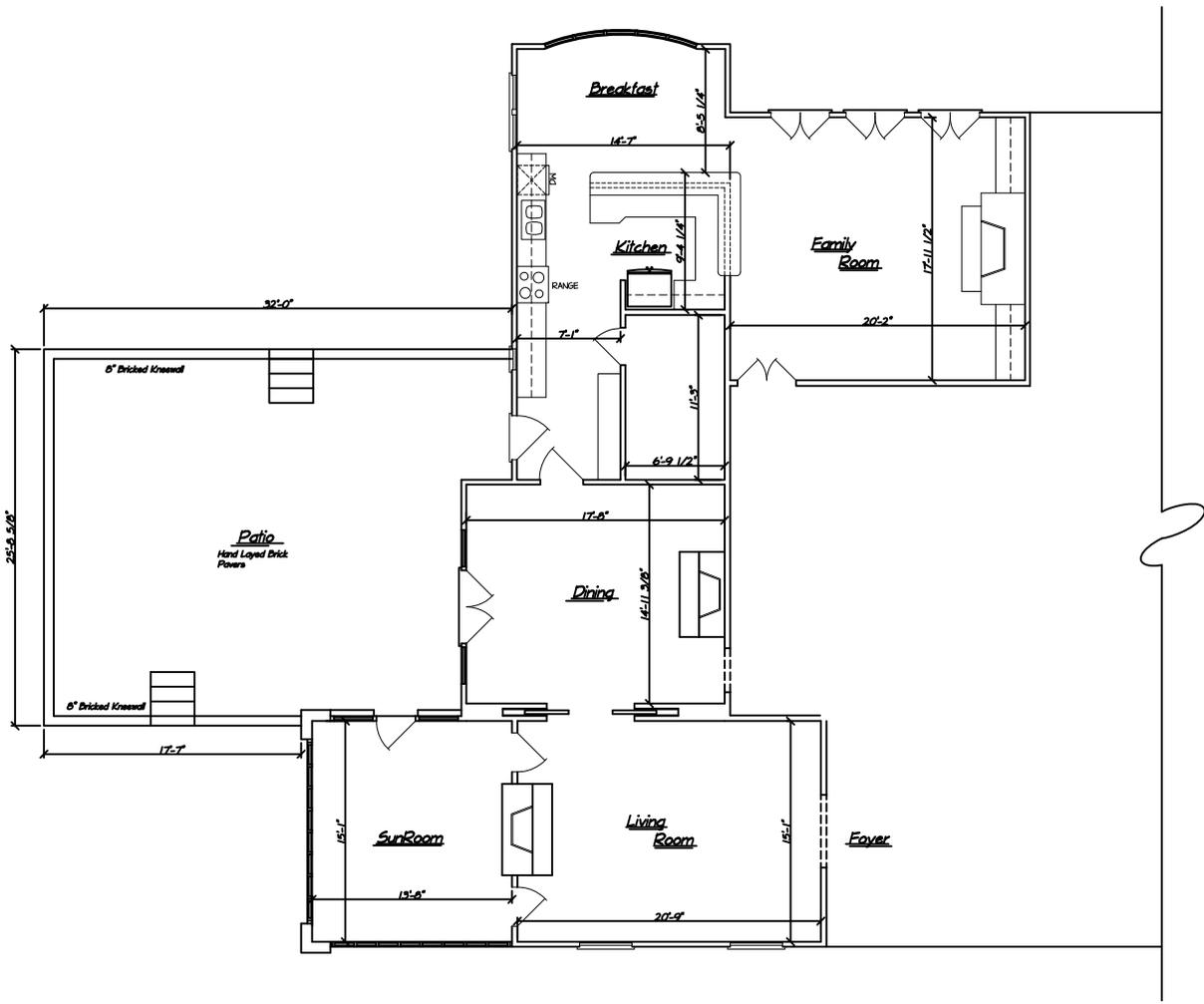
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As-Built Plan

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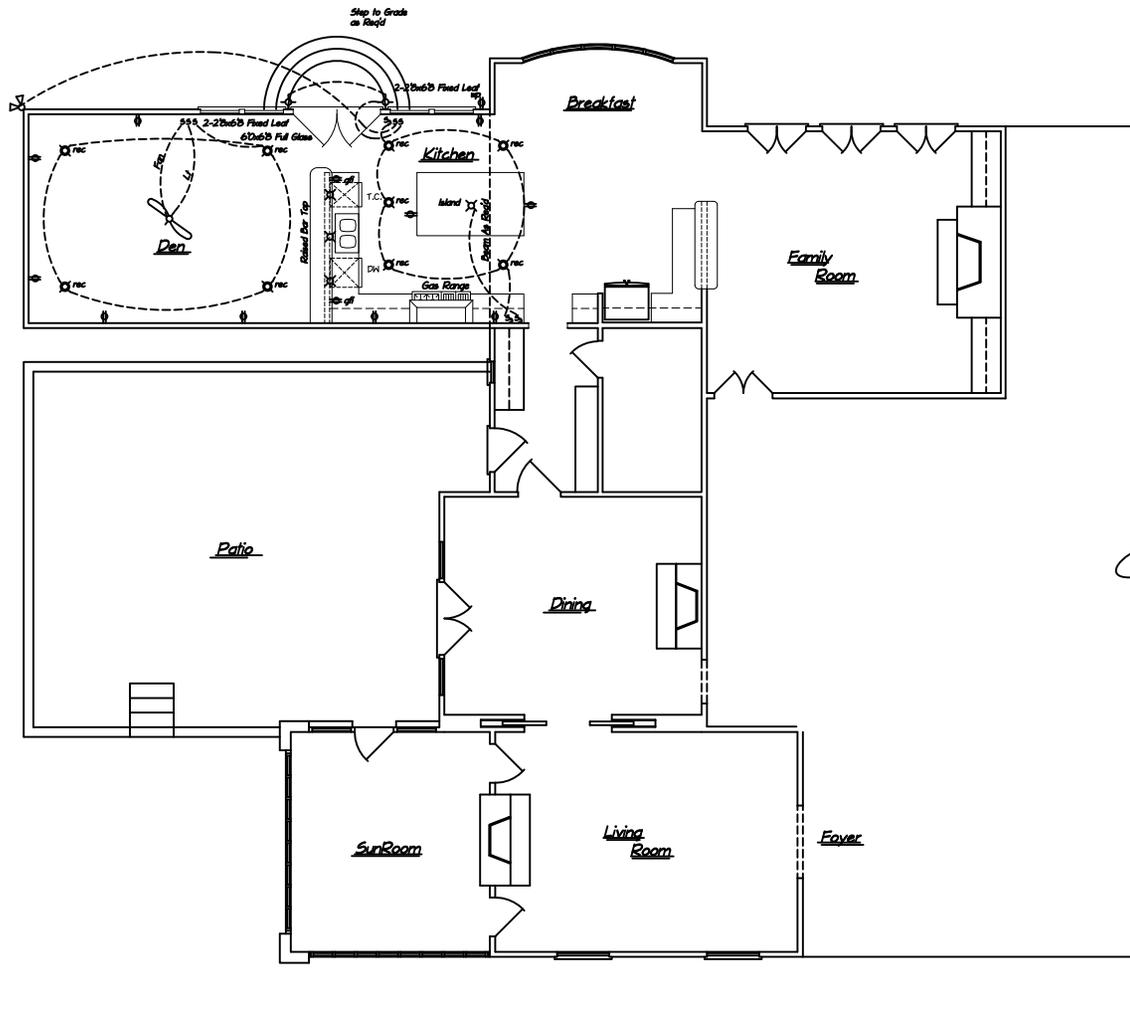
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Electrical Plan

First Floor

- Legend**
- Floodlight
 - Fan/Fan Support
 - Light Fixture
 - Recessed Light
 - Outlet
 - Light Switch
 - 3-Way Light Switch
 - Weather Proof Outlet

Note:
Telephone, Cable and Data outlets to be located on site with owners.

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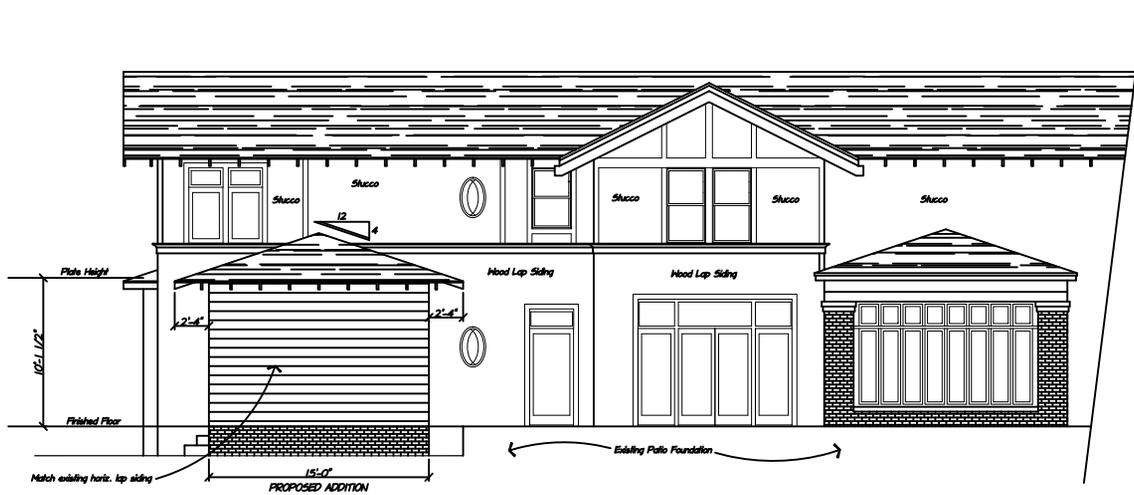


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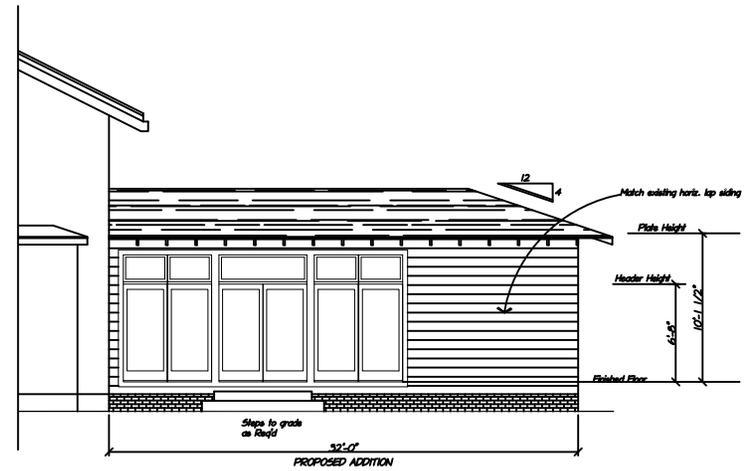
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Lt. Side Elevation



Rear Elevation

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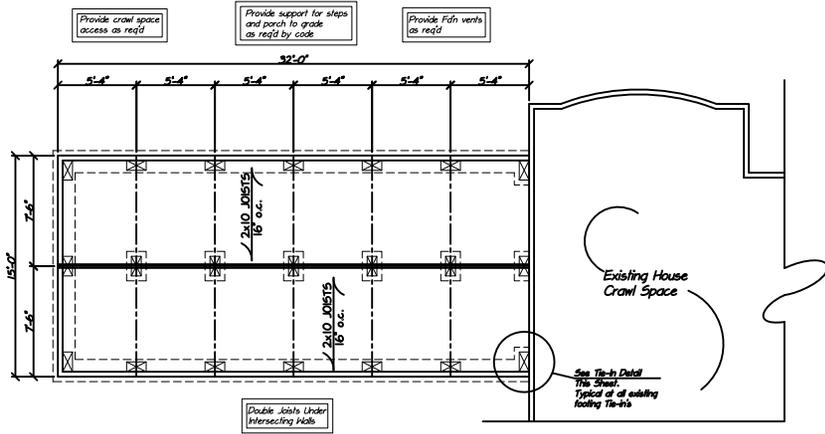
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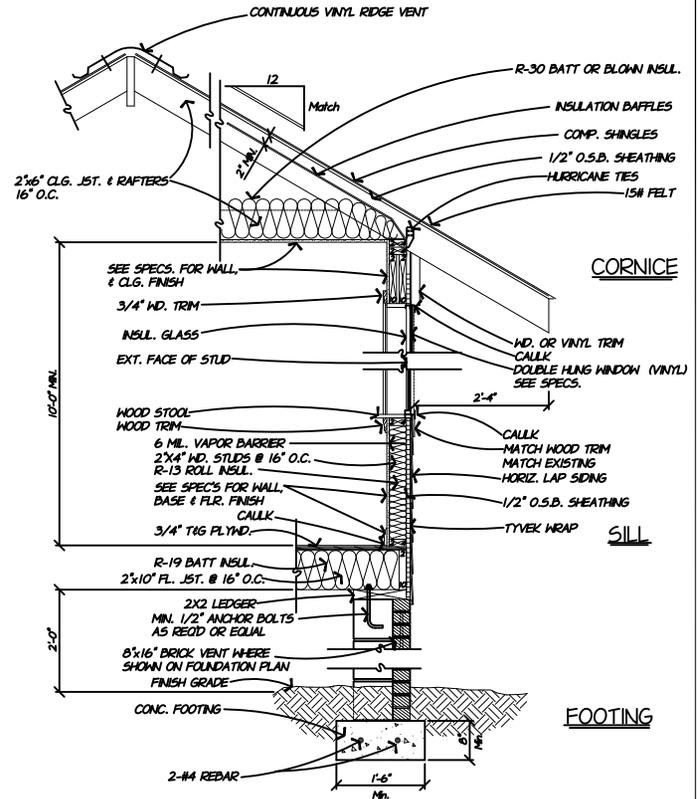
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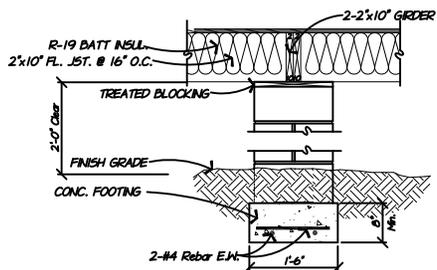


Foundation Plan

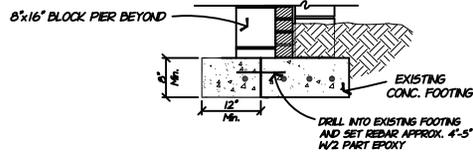


SIDING VENEER
1"=1'-0"

Typical Wall Sections



Girder Section



Typical Footing Tie In Section

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DESIGN NOTES

1. Floor - 40 lbs. Live load, 10 lbs. Dead load
2. Roof - 50 lbs. Live load, 20 lbs. Dead load
3. Soil bearing capacity - 2500 psf
4. Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. Use your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS

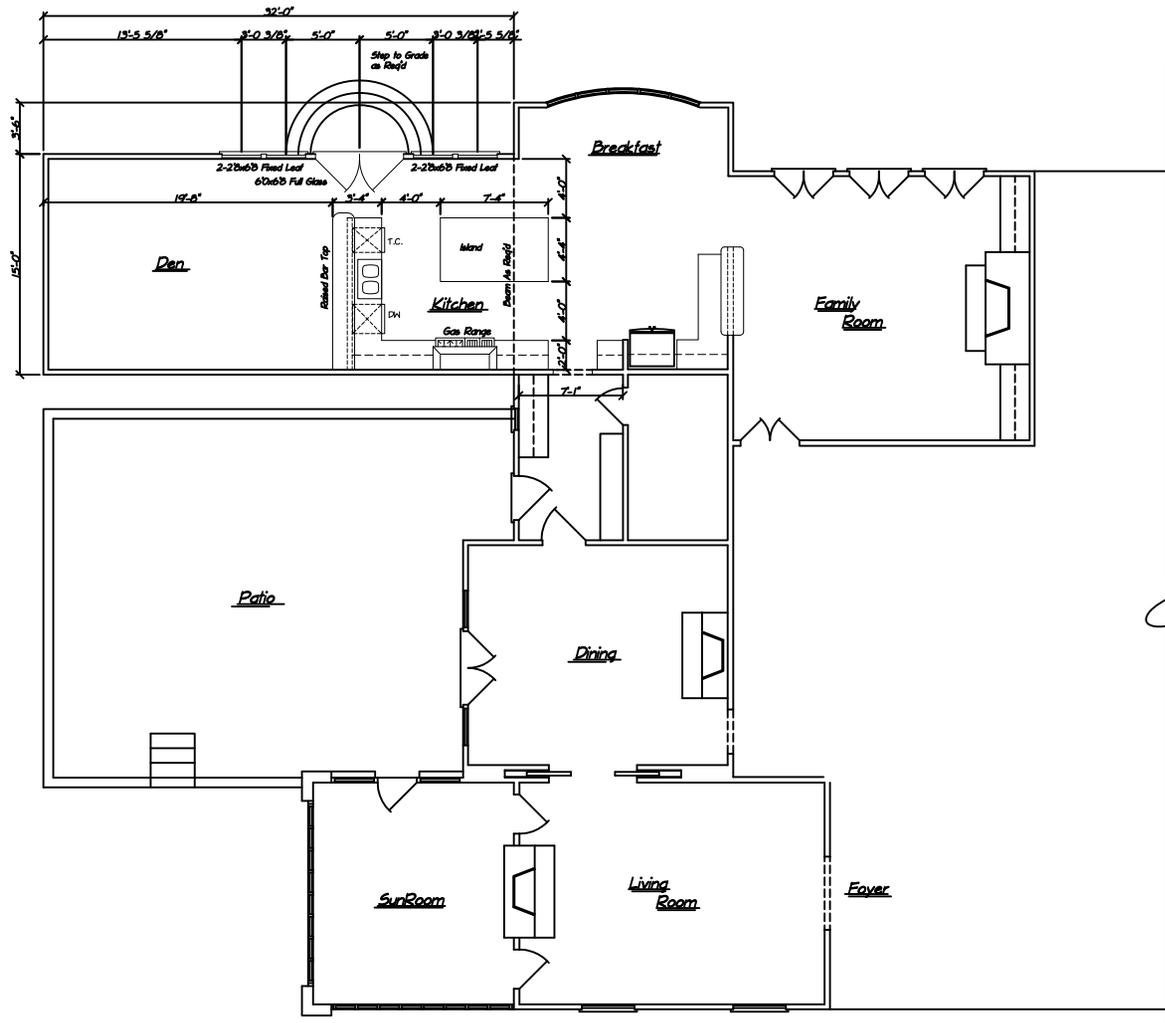
1. All slabs on grade shall be 4 inch 2000 PSI C&G concrete strength corrected, unless noted otherwise.
2. All slabs on grade shall bear on four inch compacted granular fill with a 6 12-12 rebar on side.
3. Slab edges shall have a 2 inch parapet unless noted otherwise.
4. Provide proper expansion joints and control joints as per local requirements.
5. Provide additional bearing points as required by floor joist manufacturer and loading conditions.
6. Foundation details may vary with local codes and conditions, verify with contractor or engineer.
7. Provide foundation system and notes as required by local codes and conditions.
8. Foundation wall and footing shall conform with your local building requirements.
9. Foundation walls are to be finished and have a completely finished and clear 1/2 inch.
10. Verify depth of footings with your local codes.
11. Provide terrace protection as required by IBC unless properly standards.

FRAMING

1. Contractor to confirm the size, spacing and species of all framing and structural members to meet your local code requirements.
2. Any structural or framing members not indicated on this plan are to be sized by the contractor.
3. Details floor joists under all porches with, unless otherwise noted.
4. All angled walls are 45 degree angles unless noted otherwise.
5. Provide wall and floor framing and bracing as required.
6. Provide additional bearing points as required by loading conditions.
7. Framing layout and notes may vary with local codes and conditions.
8. Roof framing plan is for general layout only, do not use for rafter cut.

MISC. NOTES

1. Professional Engineer and this plan to be 100% approved and sealed per state specifications.
2. All materials, systems and equipment to be installed per state specifications and local codes.
3. Provide 1/2 inch thick finished concrete garage walls and ceiling.
4. Confirm space for your local code and conditions and confirm light and venting.
5. The manufacturer of electrical systems and equipment. Consult your manufacturer and electrical contractors for exact specifications, location and size.



Square Footage	
Total Heated Addition	480.00

First Floor Plan
10' Ceilings Thruout Unless Otherwise Noted

1/4"=1'-0"

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