

D/DRC Case

907 Senate Street

W. Gervais Street Historic Commercial District

TMS: 08916-02-02

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case # 1

ADDRESS: 907 Senate Street

APPLICANT: Connie Spencer, agent/architect

TAX MAP REFERENCE: TMS# 08916-02-02

USE OF PROPERTY: Commercial

REVIEW DISTRICT: W. Gervais Street Historic Commercial District/City Center

NATURE OF REQUEST: Request Certificate of Design Approval for exterior changes

FINDINGS/COMMENTS:

This address is for the rear section of the building that houses Urban Outfitters, which fronts onto Gervais Street. The new restaurant, Hickory Tavern, will face onto Senate Street, although an existing parking lot will separate it from the streetfront. The back portion of the building, not a significant elevation for this structure, will feature a new double door entry in place of the current roll-up loading door, two new roll-up doors, a single door entry, and a two story porch for outdoor dining. This is a somewhat unique situation in the Vista and generally speaking it would not be recommended for a porch structure such as the one proposed to attach to the actual front elevation of a building. Some windows are proposed for the alley side of the building, but these will not be very visible, if at all, from a public right-of-way.

The West Gervais Street Historic Commercial District guidelines use the Secretary of the Interior's Standards for Rehabilitation as their basis. Additionally, the site plan is reviewed using the City Center's Design Guidelines

- (1) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Changes are occurring to the back of the building which is not a highly significant elevation for this building.

- (2) *The historic character of a district shall be retained and preserved through the preservation of historic materials and features which characterize the historic district.*

The significance of this building lies largely in its form and massing, which is similar to other historic warehouse buildings in the district, and its use of brick. These features are being maintained.

(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The new loading doors are not original but since this is not a significant elevation, they do not unduly impact the building.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Not applicable.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Aside from some new openings, the exterior of the building will be retained as is.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Not applicable.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Not applicable.

(8) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

The large loading door to the right of the building will be converted to a set of double aluminum doors that will serve as the entry to the restaurant. This will require a small amount of infill since these doors will be @ 1' smaller than the current opening. The owners have salvaged brick which they will use for the infill. Mortar for the brick infill should match existing mortar in color and profile. A metal canopy over the door is proposed but details have yet to be worked out. Wall signage is planned above the canopy as well as a projecting sign for the alley but this can be worked out at staff level as the project progresses.

Immediately to the left of the new entry is a two story outdoor dining area. This will be approximately 1,080 s.f. per floor and will require the removal of the extant curb as the proposed porch extends past it. The small newly-planted tree in the back lawn will have to be removed or re-located and a parking space will be lost. The porch itself will be a black metal structure with concrete slab flooring on both bottom and upper stories. Soffits will be

tongue in groove cedar with a clear protective stain. Metal support posts will be a maximum of 6"x6". Originally vertical pickets were envisioned for the railing, but horizontal cables, as pictured, provide a less residential feel and are visually less intrusive. The porch curves at its right side; staff would recommend either a simple 90 degree angle instead to keep the lines consistent with the building's simple lines.

The roofline of the building steps down gently as it moves to the left and has a nice terra cotta coping. The roof of the new porch as originally proposed would have been a shed style, standing seam metal roof with a low pitch which would align horizontally with the highest part of the roof on the right but would require building up the roof support on the left to maintain a consistent horizontal line. However, a porch roof which would allow the building's original roofline to read is desirable. The architect accordingly tried a low pitched half-hip roof (shown). This does not require building up the original roofline but doesn't complement the simple roofline immediately above and is not typical of the district. Staff believes that a very low-pitched roof or even no roof would be preferable in this instance.

Two new garage style doors and single entry door are proposed at the first floor, allowing access between the indoors and outside. These openings reference the loading door and the use of the back of the structure and again, since this is not a significant elevation, these openings are permissible. If the DDRC permits, staff is happy to work out the details of these doors with the architect.

(9) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The large new openings impact the building in an irreversible way, but this is not a significant elevation.

Site Plan per City Center Guidelines

6.8.2 Surface Parking

• Street trees should be provided along all street frontage and spaced at 35- to 40-foot intervals. Continuous landscape screening (along 100 percent of the street frontage except at entrances and exits) must be provided by an evergreen or deciduous hedge. Street trees should be installed at a minimum size of 2 1/2-inch caliper and should be 14 to 16 feet high.

Staff is evaluating whether a tree can be placed to the left of the driveway, due to the placement of utilities. If it can be, then it should be planted. Per this guideline, a hedge must also be planted at the left side of the parcel on Senate Street.

Note: Along Gervais Street, there is still one tree that remains to be planted as agreed from the development of Urban Outfitters. Also, a 5' deep hedge or a masonry wall is required at the front of the alley on Gervais Street to screen the alley. If a wall is chosen, staff will need to review it prior to construction.

• *Hedges should be installed at a minimum height of 24 inches, with a maximum spacing of 30 inches; hedges should be maintained at a height of 36 to 42 inches. Hedges should be installed in a minimum 5-foot wide continuous landscape lone.*

A hedge, with a minimum of 36-42” in height should be installed to the left of the driveway; there are various utilities which will need to be worked around.

• *Solid masonry walls 30 to 36 inches high can be substituted for hedges to screen parking areas; Materials should match the site's exterior building materials. Where such walls replace hedges, the 5-foot landscape zone should be maintained.*

As there is an existing hedge along the right side of the streetfront of the parcel, staff would recommend installing another hedge to the left of the curb cut. There are various utilities there that will have to be accommodated.

• *Interior parking lot landscaping should be provided to divide lots into groups of parking spaces and break large expanses of parking. Parking lots should have one landscaped island and one shade tree per twenty parking spaces. The minimal size of an interior landscaped parking island should be 200 square feet. Landscaped islands at least 5 feet in width shall be introduced in all parking areas at intervals not exceeding 100 feet. A minimum of 10 percent of the total area of the lot shall be dedicated to landscaped areas.*

The area devoted to parking in the back of the lot is small enough that landscape islands will not be necessary.

Street trees and other streetscape improvements are planned for all streets in City Center. Where new development is planned for an area not scheduled for installation of streetscape improvements within the succeeding year, the developer may be required to provide them. The City will provide design specifications on request; these specifications (including dimensions, materials, and planting methods) must be followed and will be subject to inspection.

Per the City ordinance, for existing buildings with newly configured parking lots, shade trees must be 60' apart. The applicants will have to ensure that this requirement is met in the back parking lot.

STAFF RECOMMENDATIONS

Staff recommends granting a Certificate of Design Approval based upon the W. Gervais Street Historic Commercial Guidelines, which are based upon the Secretary of the Interior Standards for Rehabilitation as well as Section 6.8.2 of the City Center Design District guidelines with the following conditions:

- A flat or low-pitched or no porch roof with details approved by staff;
- Roof cladding details to be approved by staff
- The balustrade to maintain a right angle rather than a curved angle on the corner;
- Specifications regarding all doors and windows to come to staff for review;
- Signage and entry canopy details to come to staff for review
- A new landscape plan will need to be submitted to meet City ordinance and design district guidelines for the parcel
- All details deferred to Staff



View of back of building from Senate Street



Closer view of back of building



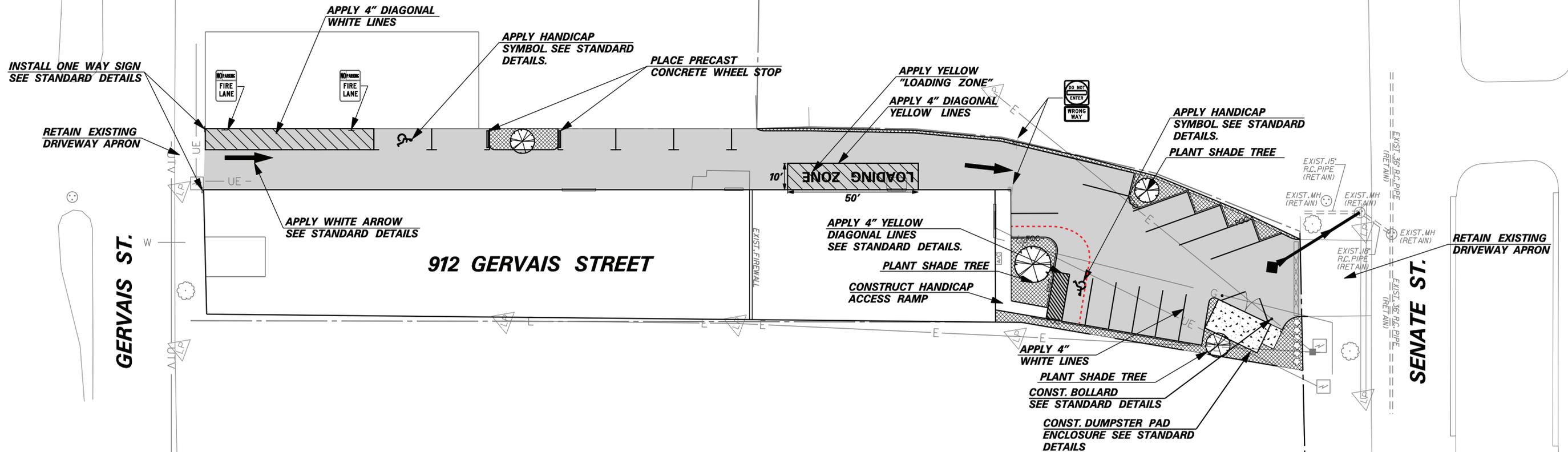
To the right of the driveway



Left of driveway. Property line appears (from site plan) to be next to pole.



1/28/2013 L:\12169\Plan\SHL_C2A_Site_Plan_Layout_Phase 2.dgn



LEGEND

	Existing Structure		Face of Curb
	Existing Pavement		New Storm Drain
	Existing Contour		Proposed Contour
	Existing Gate		Landscaped Area
	Property Line		New Catch Basin
	Existing Catch Basin		Silt Fence
	Existing Drop Inlet		Inlet Structure Filter
	Fire Hydrant		Stabilized Construction Entrance
	Light Pole		Existing Gas Line
	Existing Manhole		Existing Overhead Electric Line
	Power Pole		Existing Underground Electric Line
	Water Meter		Existing Water Line
	Water Valve		Existing Sanitary Sewer Line
	Existing Tree		Existing Storm Drain

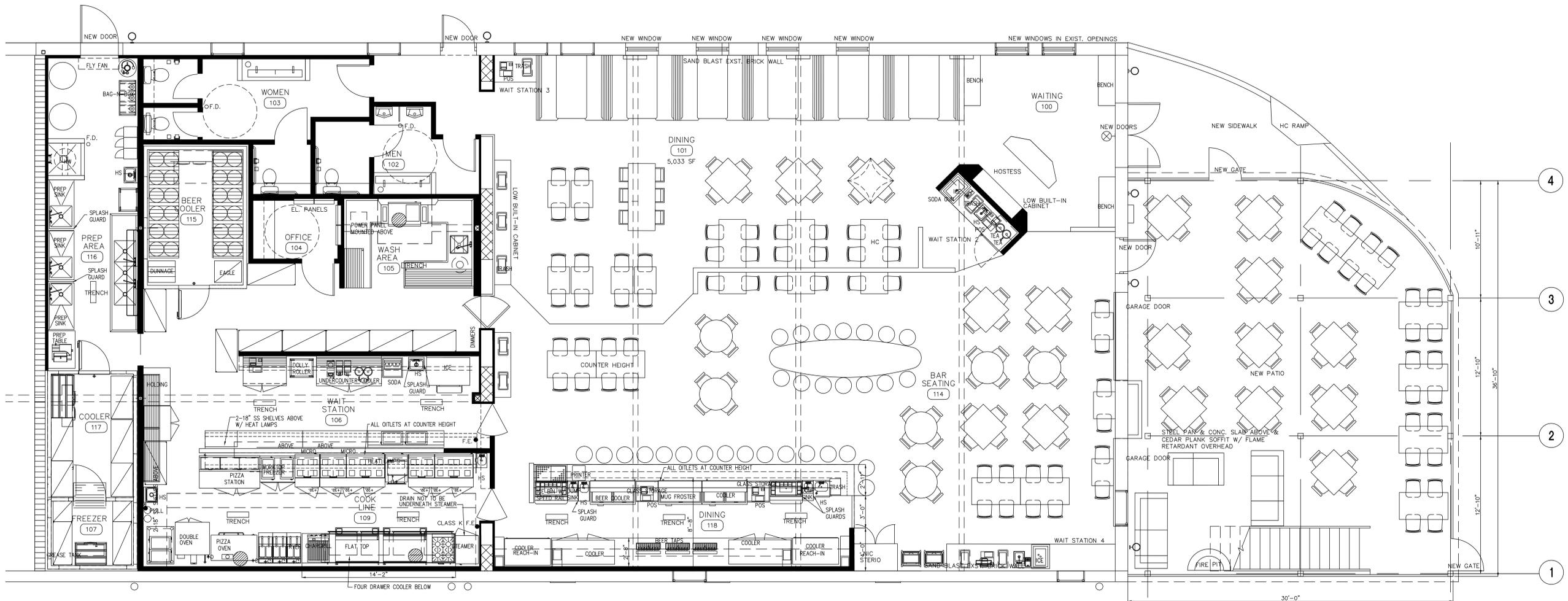
	CONCRETE
	GRASSED AREA
	PAVEMENT AREA

NOTES

1. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
2. PAVEMENT MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH CITY OF COLUMBIA STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
3. ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
4. ADA ACCESSIBILITY LOCATED AT THE GERVAIS STREET ENTRANCE TO BUILDING.



<p>Florence & Hutcheson An ICA Company 501 Huger Street, Columbia, SC 29201</p>	<p>PRELIMINARY PLANS</p>	<p>NOT FOR CONSTRUCTION</p>	<table border="1"> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>1</td><td></td><td></td><td></td></tr> </table>	4				3				2				1				<p>PLANS PREPARED FOR CDA ARCHITECTS</p>
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<table border="1"> <thead> <tr> <th>REV. NO.</th> <th>BY</th> <th>DATE</th> <th>DESCRIPTION OF REVISION</th> </tr> </thead> <tbody> <tr> <td>TOPO.</td> <td></td> <td>DATE</td> <td></td> </tr> <tr> <td>DWG.</td> <td></td> <td>DATE</td> <td></td> </tr> <tr> <td>R/W</td> <td></td> <td>DATE</td> <td></td> </tr> </tbody> </table>	REV. NO.	BY	DATE	DESCRIPTION OF REVISION	TOPO.		DATE		DWG.		DATE		R/W		DATE		<p>912 GERVAIS STREET SITE DESIGN SITE LAYOUT - PHASE 2</p>			
REV. NO.	BY	DATE	DESCRIPTION OF REVISION																	
TOPO.		DATE																		
DWG.		DATE																		
R/W		DATE																		
			<p>PLAN SCALE 1" = 20'</p>	<p>DWG. NO. C-2A</p>																



1 EQUIPMENT PLAN—MAIN LEVEL
A2.1 1/4" = 1'-0"



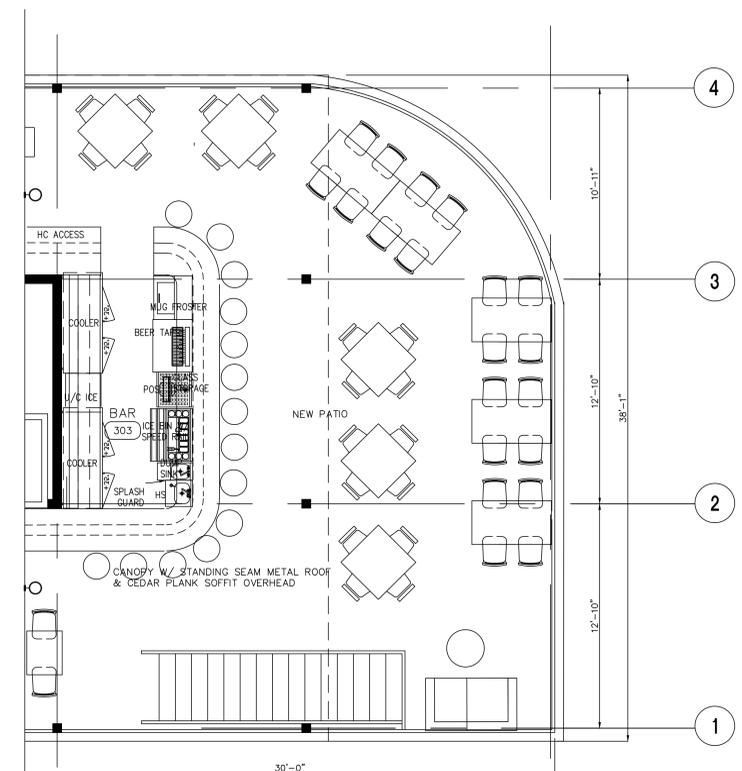
FOR COORDINATION WITH
FINISH SCHEDULE ONLY

NOTES:

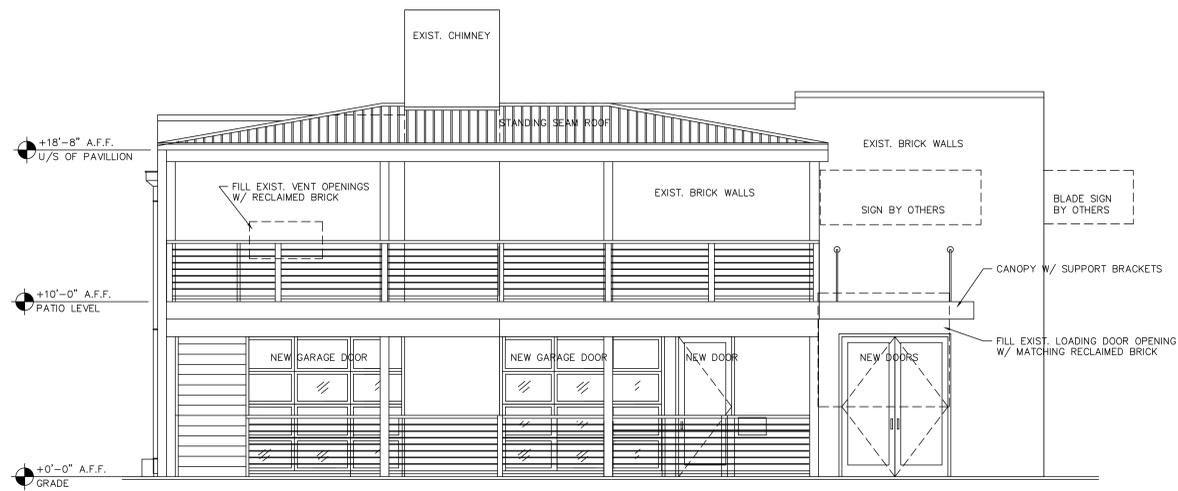
1. ALL KITCHEN EQUIPMENT TO BE NSF APPROVED
2. ALL EQUIPMENT TO BE SEALED TOGETHER UNLESS THEY ARE PLACED 3" APART OR ALTERNATE PIECES ARE ON CASTERS
3. ALL KITCHEN EQUIPMENT TO BE ON 4" MIN. LEGS OR CASTERS
4. ALL LIGHTING OVER FOOD & BEVERAGE PREP TO HAVE SHATTERPROOF LENS & PROVIDE 50 FT CANDLES OF ILLUMINATION ON WORK SURFACES
5. SEATING TO MEET NCAC 23.1. TABLES ARE NOT FIXED.
6. SERVICE IS AVAILABLE AT ACCESSIBLE TABLES LOCATED WITHIN THE SAME AREA AS THE COUNTER OR BAR.
7. ALL ARTIFICIAL DECOR IS FLAME RESISTANT

LEGEND

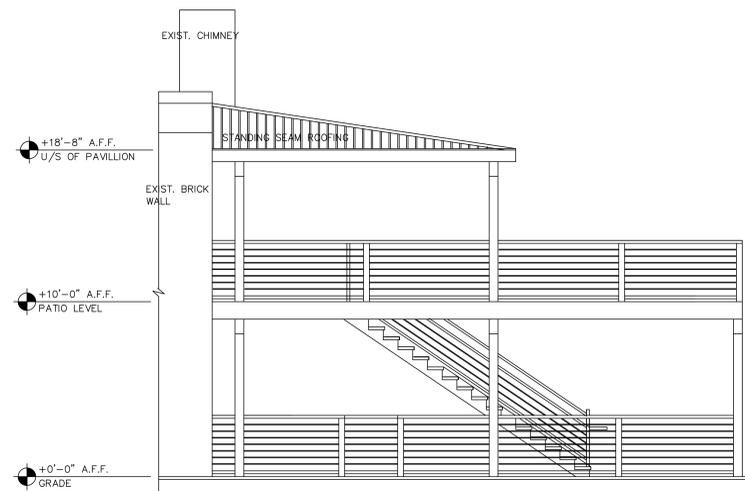
	INDICATES FLOOR DRAIN LOCATION.
	INDICATES WALL MOUNTED FIRE EXTINGUISHER. SIZE & TYPE OF EXTINGUISHER AS REQ'D BY CODE.



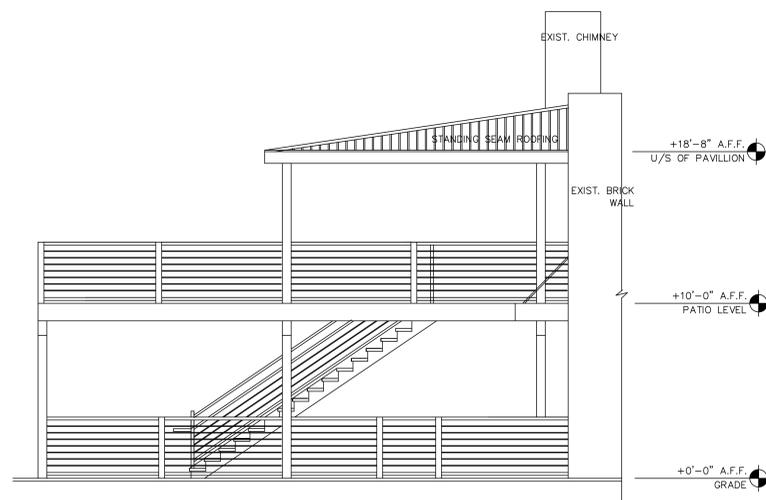
2 EQUIPMENT PLAN—UPPER PATIO
A2.1 1/4" = 1'-0"



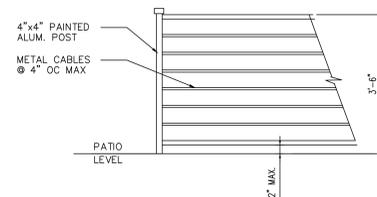
1 SOUTH ELEVATION
A6.0 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A6.0 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
A6.0 SCALE: 1/4" = 1'-0"



4 TYP. RAIL DETAILS
A6.0 NTS

- NOTES:
1. ALL WOOD IS TO RECEIVE CLEAR PROTECTIVE STAIN
 2. ALL ARTIFICIAL DECOR IS FLAME RESISTANT

- NOTE:
1. TOP & BOTTOM RAILS 1"x3" RAILS
 2. RAILING CABLES ARE TO HAVE OPENINGS NOT TO EXCEED 4" MAX.
 3. MAX. BETWEEN CABLES & DECORATIVE OPENINGS SHALL NOT EXCEED 4"
 4. ALL METAL TO BE PREFINISHED BLACK POWDER COATED ALUMINUM

COLD ELEVATIONS

spencer architect
 11031 CATAL BLUFF
 TECA, CN, SC 29708
 803-802-8590 FAX 803-547-5204

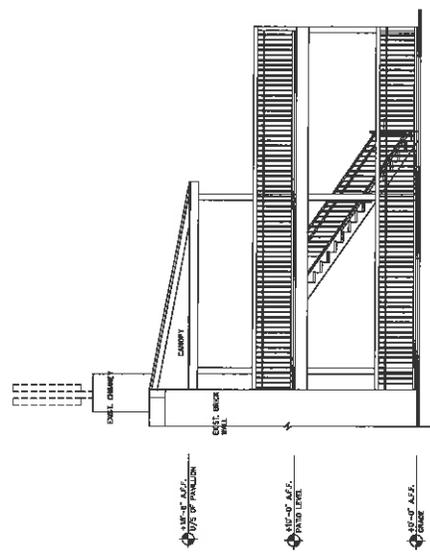
A NEW RESTAURANT UPRIFT FOR
 HICKORY TAVERN
 807 SENATE STREET, COLUMBIA, SC

PROJECT DATE: 10/21/13
 PROJECT NUMBER: 13037

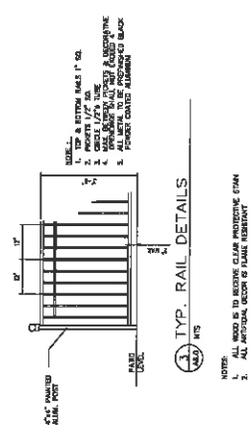
ISSUE DATE:

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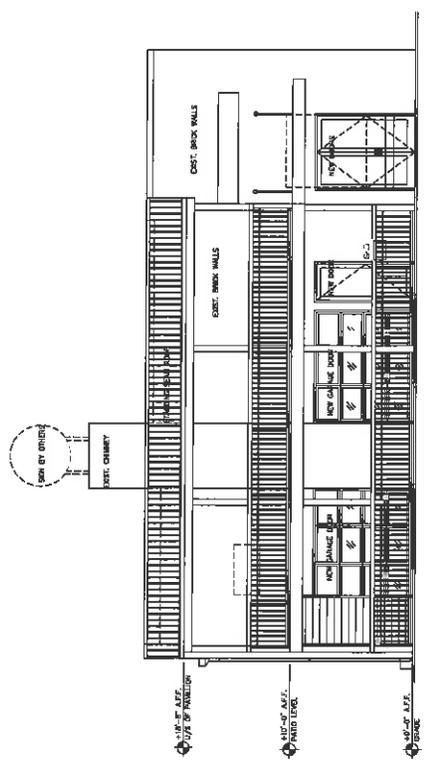
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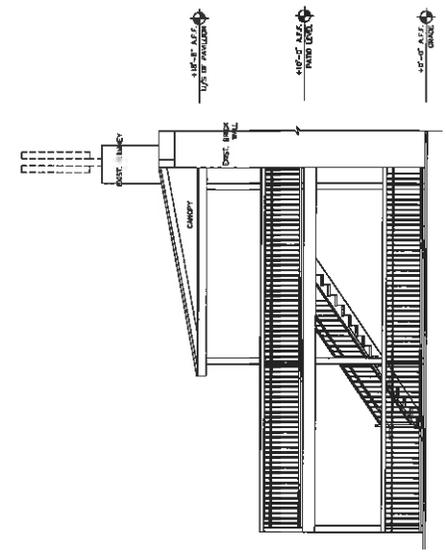
2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



TYP. RAIL DETAILS
 NOTES:
 1. ALL WOOD IS TO RECEIVE CLEAR PROTECTIVE STAIN
 2. ALL METAL WORK IS FLAME RESISTANT



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"