

D/DRC Case

914 Gregg Street

University Hill Architectural Conservation District

TMS: 11405-13-15

DESIGN/DEVELOPMENT REVIEW COMMISSION
DESIGN REVIEW DISTRICT
HISTORIC AGENDA
EVALUATION SHEET
Case #7

ADDRESS: 914 Gregg Street

APPLICANT: Charles L. Dibble, property owner

TAX MAP REFERENCE: TMS#11405-13-15

USE OF PROPERTY: Residential

REVIEW DISTRICT: University Hill Architectural Conservation District

NATURE OF REQUEST: Request for a Certificate of Design Approval for exterior changes.

FINDINGS/COMMENTS:

The ca. 1912 American Foursquare house located at 914 Gregg Street is a contributing structure in the local University Hill Architectural Conservation District and the University Neighborhood Historic District, which is listed in the National Register of Historic Places. The applicant has owned this house for almost 39 years, and during this time the house has had several exterior alterations. The earliest photograph staff could find of the house is from 1967, in which it appears to be unaltered architecturally. In the photograph the house features a prominent dormer, two large chimneys, 16/1 windows, an open porch with square columns, asymmetrical paired entry doors, and simple porch railings. Staff has included the 1967 photograph with this evaluation along with photos taken in 1993 and 2014 for comparison. The 1993 photograph shows that the front porch was enclosed and faux shutters were installed. The 2014 photograph shows the house's current condition. Changes made between 1993 and 2014 include replacement windows with pane configurations that do not match the originals, faux shutters removed, skylights added to the front porch roof, and the two windows on the front of the porch were changed to French doors with fanlights. A brick wall was also installed in the front yard of the property in 1996.

The applicant's request is to replace the existing asphalt shingle roof on the 1-story front porch with standing seam metal. Although there are examples of metal roofs in University Hill, the proposed application of shingles on the main roof and metal on the full-façade front porch roof is not consistent with the guidelines and is not typically seen on historic American Foursquare houses. Historically, metal roofs were used on a variety of buildings from modest houses to estates (e.g., Drayton Hall); however, roofing materials for main roofs and porches were consistent. Standing seam metal on 1-story porch roofs is usually seen on new construction houses that attempt to add a modern interpretation to a classic architectural form. The most common use of metal roofing material in University Hill was

flat lock soldered metal for nearly flat roofs, and copper or standing seam metal accents over entry doors and window bays. A limited number of houses also featured full metal roofs.

Based on early Sanborn Fire Insurance Maps, staff has determined that 914 Gregg Street originally featured wood shingles on the main roof and the front porch roof. This is also the case for most of the houses on the same block. The applicant has submitted photographs of other houses in the district that use metal roofing features. All of the houses shown in these photographs, with the exception of 1816 Senate Street, use metal roofing or accents in a way that is consistent with their original architectural form. The house at 1816 Senate Street originally featured slate tiles on the main and porch roofs, but staff approved a standing seam copper roof for use on the front and side 1-story porches in 2007 in order to preserve the main roof. At the time, the main slate roof needed major repairs and matching new slate with the unusual color of the historic slate proved very difficult. Staff determined that it was more architecturally important to have a visually consistent main roof, and permitted the slate tiles on the 1-story porches to be removed in order to provide enough matching original material to repair the damaged areas on the main roof. Copper was chosen as the material of choice for the porch roofs due to its historic complementary use with slate roofs and the difficulties of trying to match old and new slate.

The proposal to replace the existing shingles on the front porch of 914 Gregg Street with standing seam metal does not meet the guidelines and staff cannot recommend for approval. Staff would be more than happy to work with the applicant to develop a solution that is more consistent with the guidelines.

PERTINENT SECTIONS FROM THE GUIDELINES

5. ROOF PITCH/MATERIAL

a. Principles

Roofs are highly visibly components of historical buildings. They are an integral part of a building's overall design and often help define its architectural style. The most common residential roof types are gable, hip, or a combination. The original shape and pitch of the roof should be retained. Where existing roofing material is non-original, the existing roof may be retained, replaced in a manner known to be accurate based on documentation or physical evidence, or treated in a contemporary style. Rooftop additions are another common change to historical buildings. The addition should be designed to be distinguished from the historical portion of the building; be set back from the wall plane; and be placed so it is inconspicuous when viewed from the street.

b. Guidelines

- 1. The original roof form should be preserved in the course of rehabilitation.*

Although the house has been subject to a number of exterior changes through the years, the original roof form and features, such as the chimneys and the dormer, have been retained. The pitch of the front porch roof is within the typical range (3:12 to 4:12) that is common on American Foursquare houses.

2. *Historical roofing materials should be preserved when technically and economically feasible.*

As shown on the 1919 Sanborn map included with this evaluation, the historical roofing material for 914 Gregg Street was most likely wood shingles. As such, the original roofing material is no longer extant. The house currently features asphalt shingles on both the main roof and the 1-story porch roof.

3. *Deteriorated roof surfacing should be replaced with new material, such as composition shingles or tabbed asphalt shingles that match or are consistent with the existing materials in composition, size, shape, color, and texture.*

The applicant's proposal to replace the existing tabbed asphalt shingles on the 1-story front porch with a standing seam metal roof is not consistent with this guideline. The composition, size, shape, color, and texture of the proposed standing seam metal roof are not compatible with the existing asphalt shingles on the main roof. Metal is often used when the slope of a roof does not provide enough pitch to allow proper water runoff. The pitch of this roof, however, is consistent with other American Foursquare type houses in the district and does not require a metal roof to be water tight. The three skylights installed in the front porch roof are atypical for this type of house, and may be a potential source for water infiltration if not flashed or sealed correctly. If problematic, the skylights may be removed to minimize the risk of future water infiltration issues. Staff recommends the use of standard asphalt/fiberglass shingles for the front porch as there should not be any issues with water infiltration providing that the manufacturer's recommendations for waterproofing and installation are followed correctly.

4. *The following should be retained or replaced when necessary: dormer windows, cupolas, cornices, brackets, chimneys, cresting, and other distinctive architectural or stylistic features that give a roof its essential character.*

N/A

STAFF RECOMMENDATIONS:

*Staff finds that the proposal does not meet Section 5 – Roof Pitch/Material and **does not** recommend granting a Certificate of Design Approval.*

Staff would be happy to work with the applicant to develop a solution that is more in keeping with the historic character of the district.

914 Gregg Street – University Hill Architectural Conservation District



February 1967 – prior to porch enclosure

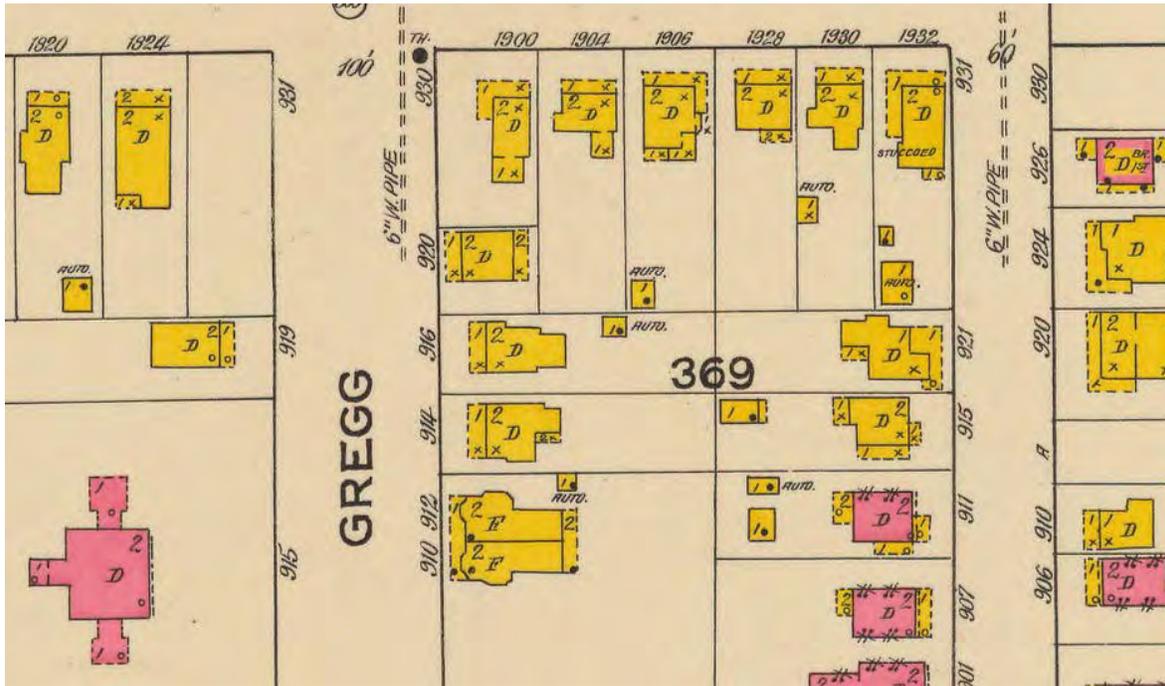


1993 view showing porch enclosure



2014 view showing revised porch enclosure with skylights

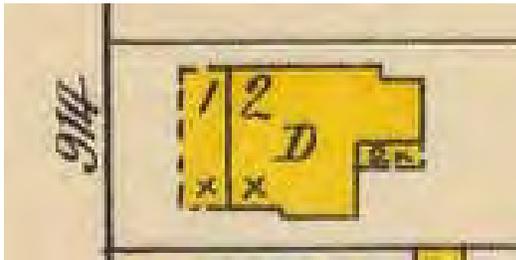
914 Gregg Street – University Hill Architectural Conservation District



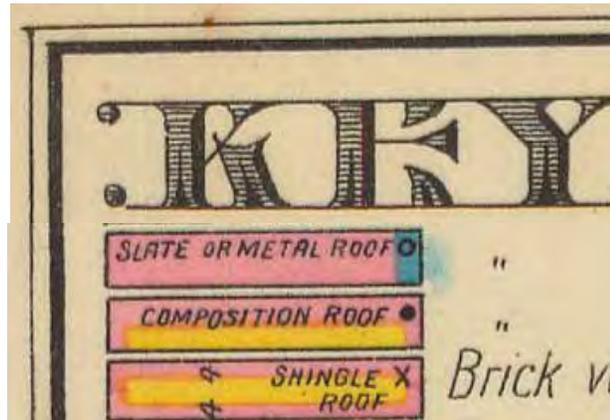
June 1919 Sanborn Fire Insurance Map

Most of the houses on Pendleton and Gregg streets featured wood shingle roofs as indicated by "X" marked on the building footprints above (see key below).

Maps courtesy University of South Carolina Digital Collections



Close-up view of 914 Gregg Street



Sanborn key to roofing materials

914 Gregg Street – University Hill Architectural Conservation District



Houses on Pendleton Street within the same block and just around the corner from 914 Gregg Street.

All houses feature similar roof pitches and consistent roofing materials.



Houses immediately adjacent to 914 Gregg Street (far right).

914 Gregg Street – University Hill Architectural Conservation District



1816 Senate Street

Non-original metal porch roof – Approved by staff in 2007 in order to preserve the main slate roof.

Photo submitted by applicant



1731 College Street

Full metal roof – The building originally featured a pressed metal sheet roof.

Photo submitted by applicant



20 Gibbes Court

Small, decorative standing seam metal accent roof above front entryway – Typical of architectural style.

Photo submitted by applicant



830 Laurens Street

New construction – Small, low-sloped metal accent above front entryway. Main roof is asphalt shingles.

Photo submitted by applicant

MEDALLION-LOK



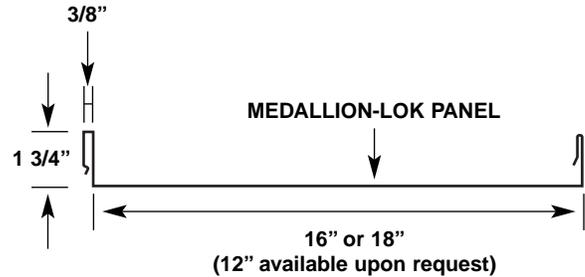
Panel/Trim/Accessories



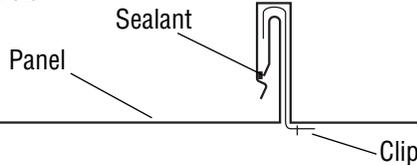
MEDALLION-LOK



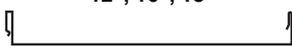
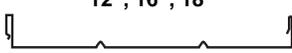
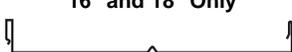
Medallion-Lok



Medallion-Lok
Seam Detail



Pan Conditions

MEDALLION-LOK STRIATED*	
	12", 16", 18"
MEDALLION-LOK FLAT PAN	
	12", 16", 18"
MEDALLION-LOK DOUBLE PENCIL RIBS	
	16" and 18" Only
MEDALLION-LOK SINGLE PENCIL RIB	
	12" Only

*Recommended Pan Condition

Medallion-Lok Load Tables and Section Properties

Load tables and section properties for Medallion-Lok can be found online at www.mcelroymetal.com. Please contact the **McElroy Technical Service Department** at 1-800-950-9082 for additional information.

Notes:

- Standard Medallion-Lok panel features a Galvalume Substrate with Kynar 500® coating. Standard gauge is 24 gauge. Other gauges and aluminium are available upon request.
- Minimum length is 4'. Maximum standard length is 50'. Longer lengths available upon request.
- Additional fees may apply for panel lengths under 4' and over 50'. Minimum lengths differ by production facilities. Please ask a McElroy Representative for details.
- Medallion-Lok can be factory notched on the eave end of the panel. This is available for a left to right or a right to left roof condition.
- Oil canning is inherent in all metal panels and is not cause for panel rejection. A signed pan waiver will be required for all Medallion-Lok orders prior to production.
- Available pan conditions include: Double Pencil Ribs, Striations or Flat Pan. Striated panels are recommended as they reduce the appearance of oil canning.
- McElroy standard trim is 24 gauge.
- Contact a McElroy Representative for specific pricing, lead times and special colors or gauges that may not be on a McElroy Metal color chart.