

D/DRC Case

S/S Blossom Street, 620 Blossom Street

Innovista Design District

TMS: 08914-13-02 & 08914-13-03



**DESIGN/DEVELOPMENT REVIEW COMMISSION
SITE/SUBDIVISION PLAN
REVIEWING AGENCY COMMENTS**

**SOUTH SIDE 600 BLOCK OF BLOSSOM STREET AND EAST SIDE OF PULASKI STREET
EDWARDS COMMUNITIES DEVELOPMENT
PRIVATE DORMITORY**

January 9, 2014

City Council Chambers, 3rd Floor, City Hall, 1737 Main Street
Columbia, South Carolina 29201

Subject Property:	South Side 600 Block of Blossom Street and East Side of Pulaski Street
TMS#:	08914-13-02 and 08914-13-03
Zoning District:	MX-2, -ID (Mixed Use Urban District within the Innovista Overlay District)
Council District:	2
Proposal:	Request Site Plan Review Approval of a 74-Unit, 214-Bed Private Dormitory
Applicant:	Edwards Communities Development
Proposed Use:	Private Dormitory
Staff Recommendation:	Recommend approval with various conditions.

Detail:	<p>This project entails the construction of a +/- 106,000 sq. ft. private dormitory on 3.8 acres. The proposed private dormitory consists of 74-units with 214 bedrooms (25 four, 28 three, 9 two, 12 one). The required number of parking spaces for this development is 161 (.75 per bedroom) whereas the applicant proposes to provide 169 (164 off-street and 5 within the Pulaski Street ROW). The required number of bicycle parking spaces is 54 (.25 per bed) whereas 58 will be provided.</p> <p>Though there are many staff comments within this case summary, the proposed site plan largely meets requirements.</p> <p>Should the Commission be inclined to grant approval of the site plan, staff would request that the Commission grant approval subject staff comments.</p>
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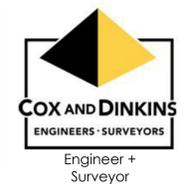
CITY AGENCY COMMENTS FOR SITE/SUBDIVISION PLAN REVIEW

<p>John Fellows, Planning Administrator</p>	<p>Recommend approval conditions:</p> <ol style="list-style-type: none"> 1. Blossom Street Crosswalk : Crosswalk shall be high visibility continental style crosswalks, thermoplastic markings that are 90 or 120 mils thick and shall be square aligned and 24 inches in width with 24 inch spacing coordinated with wheel track areas, thermal tape shall be used and not liquid thermal. 2. Retaining wall materials and designs shall be submitted for review. 3. Details of the security fence will need to be provided. 4. Street lighting will be required to provide safety - an electrical plan will need to be provided. 5. Details of masonry walls will need to be provided, details to be deferred to staff. 6. Exterior bike rack designs shall be deferred to staff. 7. Fencing under the Blossom Street Bridge shall be an architectural aluminum with black finish. 8. Exterior bike rack designs shall be deferred to staff. 9. Details of all right of way improvements shall be deferred to staff. 10. All remaining details to be deferred to staff.
<p>K. Brian Cook, Zoning Administrator</p>	<p>Recommend approval with condition: No building across existing lot lines.</p>
<p>Johnathan Chambers, Land Development Administrator</p>	<p>Recommend approval with conditions: Prior to the issuance of any permits, the two existing lots (TMS#08914-13-02 and 08914-13-03 must be consolidated into one. All work within the ROW must be improved to meet the design standards and city specifications for parking and road design. City and State Encroachment permits may be required for work being conducted within the ROW.</p>
<p>Robert Harkins, Plans Examiner</p>	<p>Recommend approval with condition: Provide HC accessibility as required by codes and standards.</p>
<p>Scott Rogers, Utilities</p>	<p>Recommend approval with conditions:</p> <ol style="list-style-type: none"> 1. Any needed upgrade, extension or relocation of City utilities must be provided by the developer. 2. Any privately owned/maintained utilities or permanent structures cannot be located inside exclusive City of Columbia utility easements. 3. Water and/or Sewer mains and 4" and above water meters will not be allowed inside public right-of-ways without an approved encroachment permit and written approval from the City Engineer.
<p>David Brewer, Traffic Engineering</p>	<p>Recommend approval.</p>
<p>David Koon, Fire Department</p>	<p>Recommend approval with condition: 1. The location of the FDC and Fire Hydrant shall be approved by the Fire Code Official.</p>
<p>Nancy Lee Trihey, Land Development Planner</p>	<p>Recommend approval with conditions: To meet standard landscape ordinance requirements, trees in street protective yard should be one shade tree per 40' of frontage. (Note: palmetto trees are not shade trees). Flowering dogwood (<i>Cornus florida</i>) is not recommended for full sun in Columbia. Suggest replacing with redbud (<i>Cercis canadensis</i>) or Fringe tree (<i>Chionanthus virginicus</i>). 60% of all landscaped areas must be living plants.</p>
<p>Sara Hollar, Forestry</p>	<p>Recommend approval with conditions: ROW maintenance (landscaping and irrigation) will be the responsibility of the adjacent property owner and must be maintained to not interfere with</p>

	vehicular and pedestrian traffic. Tree planting by others does not refer to the City of Columbia.
Tracy Mitchell, Stormwater	Recommend approval with conditions: Need to provide pre- and post-development hydrology calculations showing that there is no adverse impact or increase in runoff to adjacent properties or systems. Army Corps verification for application of permit for wetlands impacts required, if applicable to site work. Need to provide documentation showing that water quality requirements are being addressed.
Robert Sweatt, Street Division	Recommend approval.
John Hooks, Solid Waste	Recommend approval.
John Spade, Parking Services	Recommend approval with conditions: Parking Services recommends approval with the understanding that any on-street angled parking be laid out as follows: 45 degree angled parking with a stall depth of not less than 18'9" and a travel lane of not less than 12' as measured from the end of the parking space to the closest edge of the center line marking.



Design Development Review Committee Submittal for
University of South Carolina Student Housing - Blossom Street
Edwards Communities Development Company
December 4, 2013





Master Plan
USC Student Housing - Blossom Street



Project
Manager



Blossom Street Architecture
View Looking East



Blossom Street with Bridge & Sign Context
View Looking East



Architect



Engineer + Surveyor



Land Planner + Landscape Architect

Project Manager



Blossom Street Overpass



Blossom Street Overpass



Billboard Advertising Sign



View of wooded site area looking south from Blossom Street



Area underneath Blossom Street Overpass



View of wooded site area looking south from Blossom Street



Train Tracks & Overpass



Unsafe Railroad Crossing



Blossom Street Overpass



Blossom Street Overpass Looking West



Tree Preservation



Wetland & Stream Preservation



Billboard Advertising Sign



Blossom Street Overpass Looking East

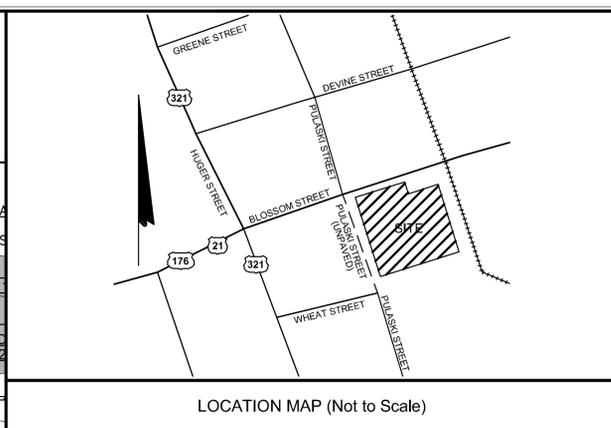
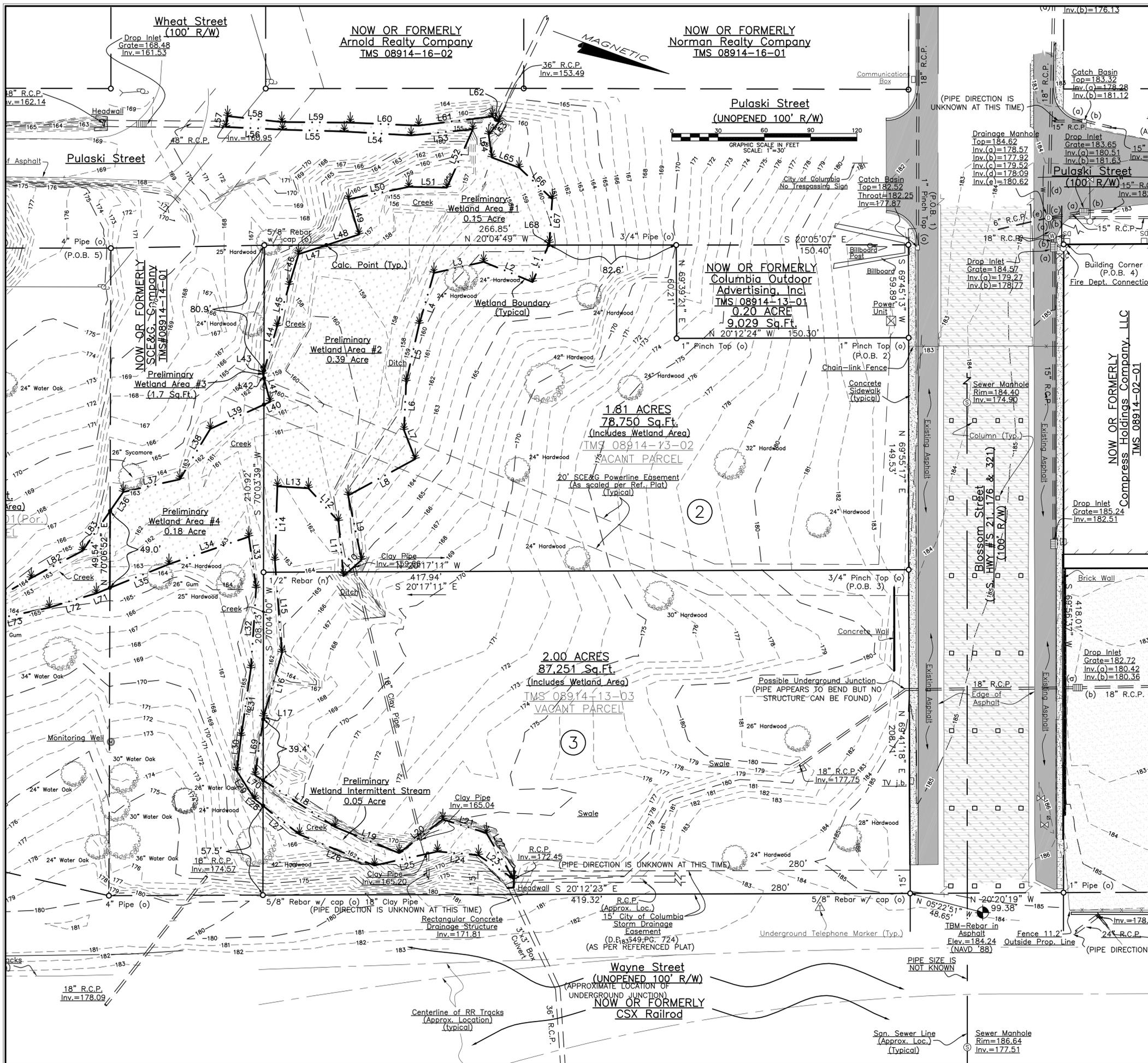


Billboard Advertising Sign Looking West

Existing Site Photos
USC Student Housing - Blossom Street



Project Manager



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REVISIONS

NO.	DATE	DESCRIPTION

PREPARED FOR:

EDWARDS COMMUNITIES DEVELOPMENT COMPANY
 495 S. HIGH STREET
 SUITE 150
 COLUMBUS, OH 43215
 Tel: (614) 241-2070
 Fax: (614) 241-2080

PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE TAKEN FROM ARCHIVES AND SURVEY WORK IN VARYING STAGES OF COMPLETION AND IS THEREFORE A COMPILATION. THIS PLAN IS FOR USE IN INITIAL PLAN REVIEW ONLY AND IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT OR FOR CONVEYANCE OF TITLE.

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The Palmetto Utility Protection Service, Inc.
 811 Before You Dig

South Carolina 811
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 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

EC1

COX AND DINKINS
 ENGINEERS - SURVEYORS

COX AND DINKINS, INC.
 724 BELTLINE BLVD.
 COLUMBIA, SC 29205
 803-254-0518
 Fax: 803-765-0993
 Email: cdinc@coxanddinkins.com

ROBERT T. BLAIR, III
 LICENSED PROFESSIONAL ENGINEER
 No. 12542

COX AND DINKINS, INC.
 CERTIFICATE OF AUTHORIZATION
 No. C00294

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION

PROJECT:

**USC STUDENT HOUSING
 BLOSSOM STREET**
 EDWARDS COMMUNITIES DEVELOPMENT COMPANY
 RICHLAND COUNTY, COLUMBIA, S.C.

EXISTING CONDITIONS PLAN

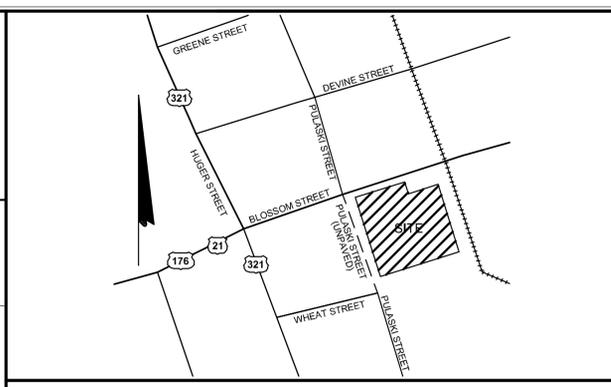
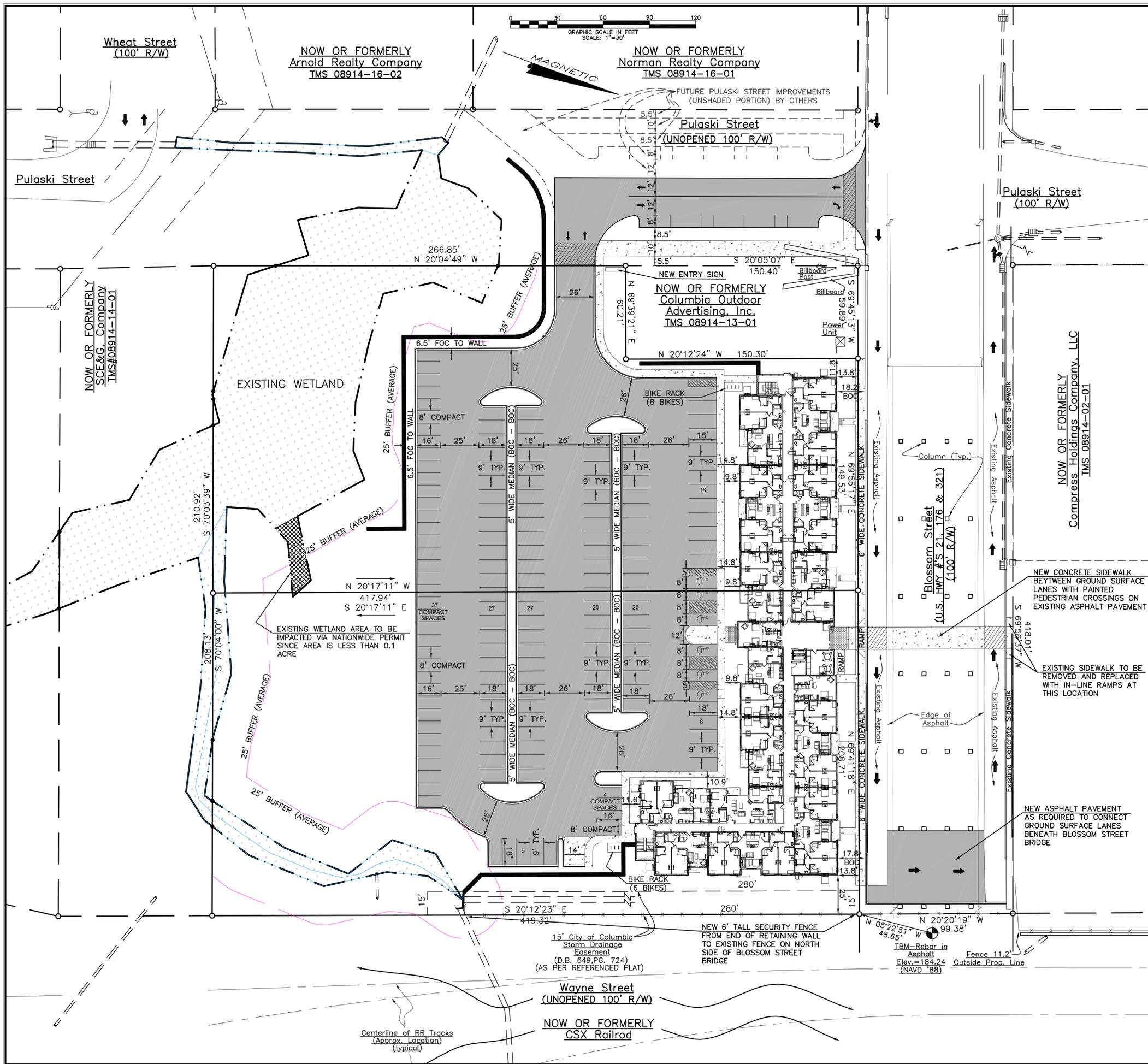
TMS 08914-13-02 & 08914-13-03

BOOK 994-1; M01-55 SF 351 13
 Y09-31; Y12-41

PROJECT NO:
1644

SHEET NO.
EC1

DATE:
 12/04/2013



LOCATION MAP (Not to Scale)

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PAVEMENT LEGEND



BUILDING & PARKING SUMMARY

BUILDING SUMMARY:

ONE (1) BEDROOM UNITS	=	12 UNITS (12 BEDS)
TWO (2) BEDROOM UNITS	=	9 UNITS (18 BEDS)
THREE (3) BEDROOM UNITS	=	28 UNITS (84 BEDS)
FOUR (4) BEDROOM UNITS	=	25 UNITS (100 BEDS)
TOTAL		74 UNITS (214 BEDS)

ON SITE VEHICLE PARKING SUMMARY:
SOUTH OF BLOSSOM (NORTH OF WETLAND):

STANDARD SPACES	=	117
COMPACT SPACES	=	41 (25% OF TOTAL)
HANDICAP SPACES	=	6
TOTAL SPACES		164

RATIO OF ON SITE PARKING SPACES PER BED = 164 / 214 = 0.77 PARKING SPACES PER BED

ON STREET PARKING SUMMARY:
*PULASKI STREET (*SPACES ON EAST SIDE OF PULASKI ONLY) = 5

BICYCLE PARKING SUMMARY:
**COVERED AND SECURED BICYCLE SPACES = 42 (75% OF TOTAL)
**PROVIDED INSIDE BUILDING
***EXTERIOR BICYCLE SPACES = 14
*** (8) PROVIDED NEAR WEST END OF BUILDING
*** (6) PROVIDED NEAR SOUTH END OF BUILDING
TOTAL BICYCLE PARKING PROVIDED = 56

RATIO OF BICYCLE PARKING SPACES PER BED = 56/214 = 0.26 SPACES PER BED

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Robert T. Blawie 124413
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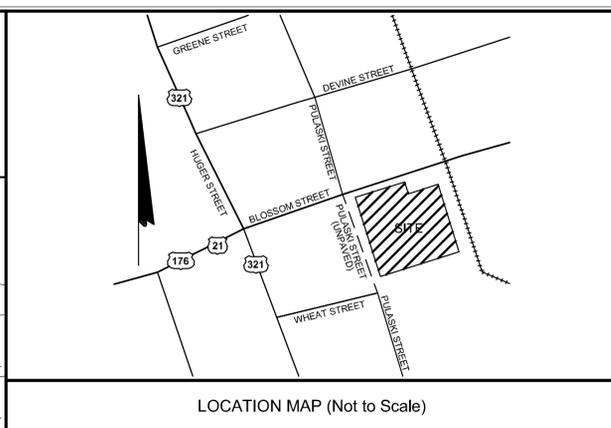
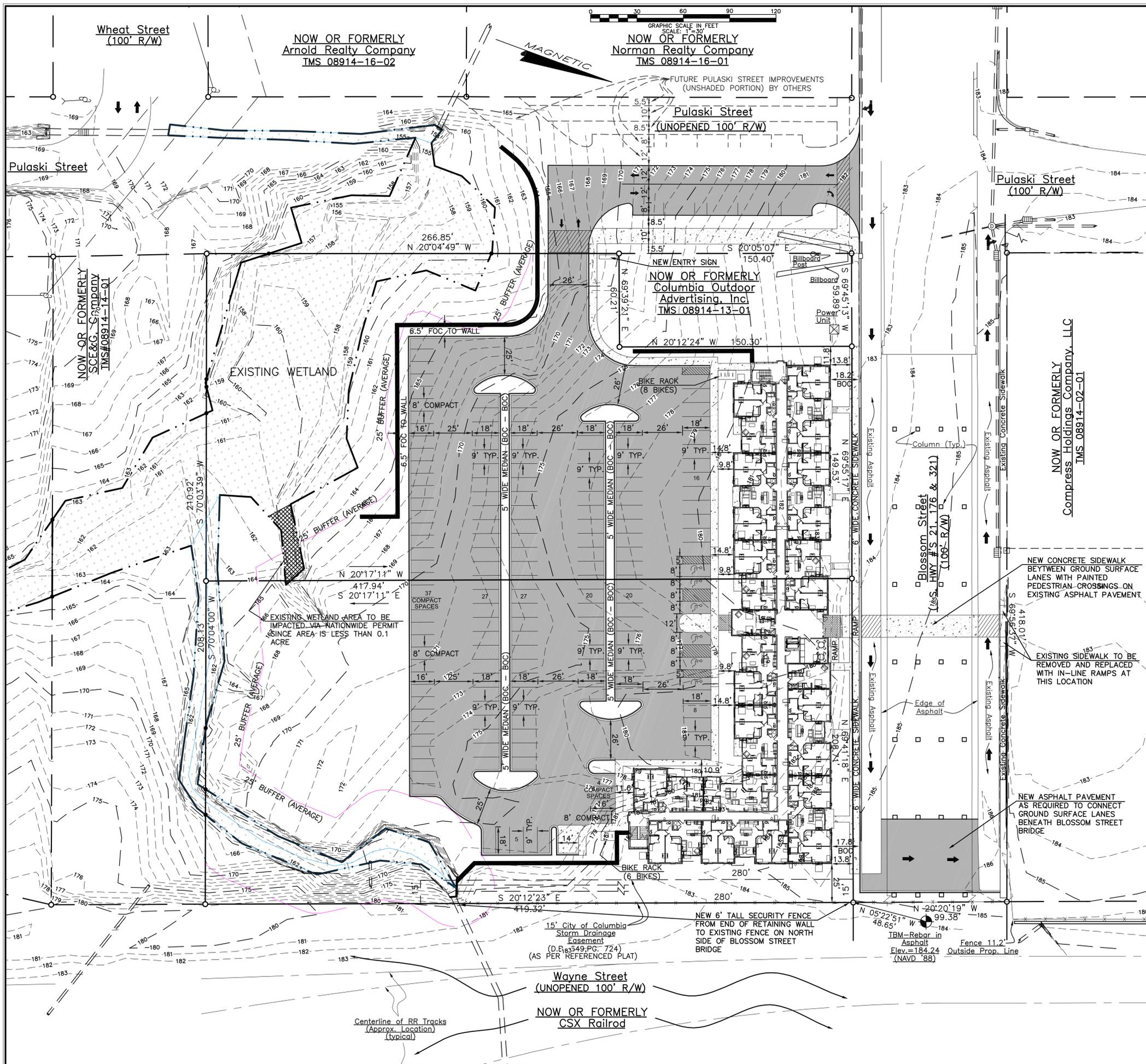
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PROJECT: **USC STUDENT HOUSING BLOSSOM STREET**
 EDWARDS COMMUNITIES DEVELOPMENT COMPANY
 RICHLAND COUNTY, COLUMBIA, S.C.
DDRC SITE PLAN

TMS 08914-13-02 & 08914-13-03
 BOOK Y94-1; M01-55 SF No. 13
 Y09-31; Y12-41 351

PROJECT NO. **1644** SHEET NO. **C1**
 DATE: 12/04/2013



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SOUTH CAROLINA PROFESSIONAL ENGINEER
 No. 12542
Robert T. Blair III
 LICENSED PROFESSIONAL ENGINEER
 No. 12542

SOUTH CAROLINA PROFESSIONAL ENGINEER
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CERTIFICATE OF AUTHORIZATION SEAL

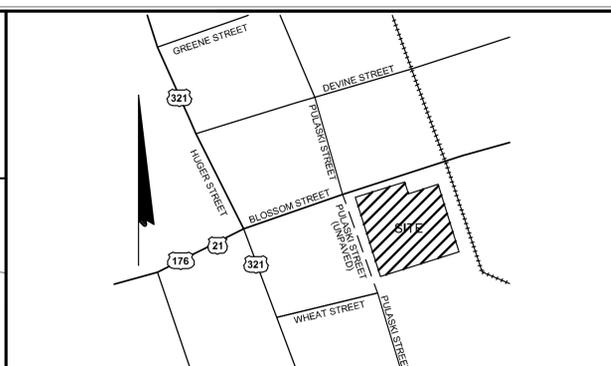
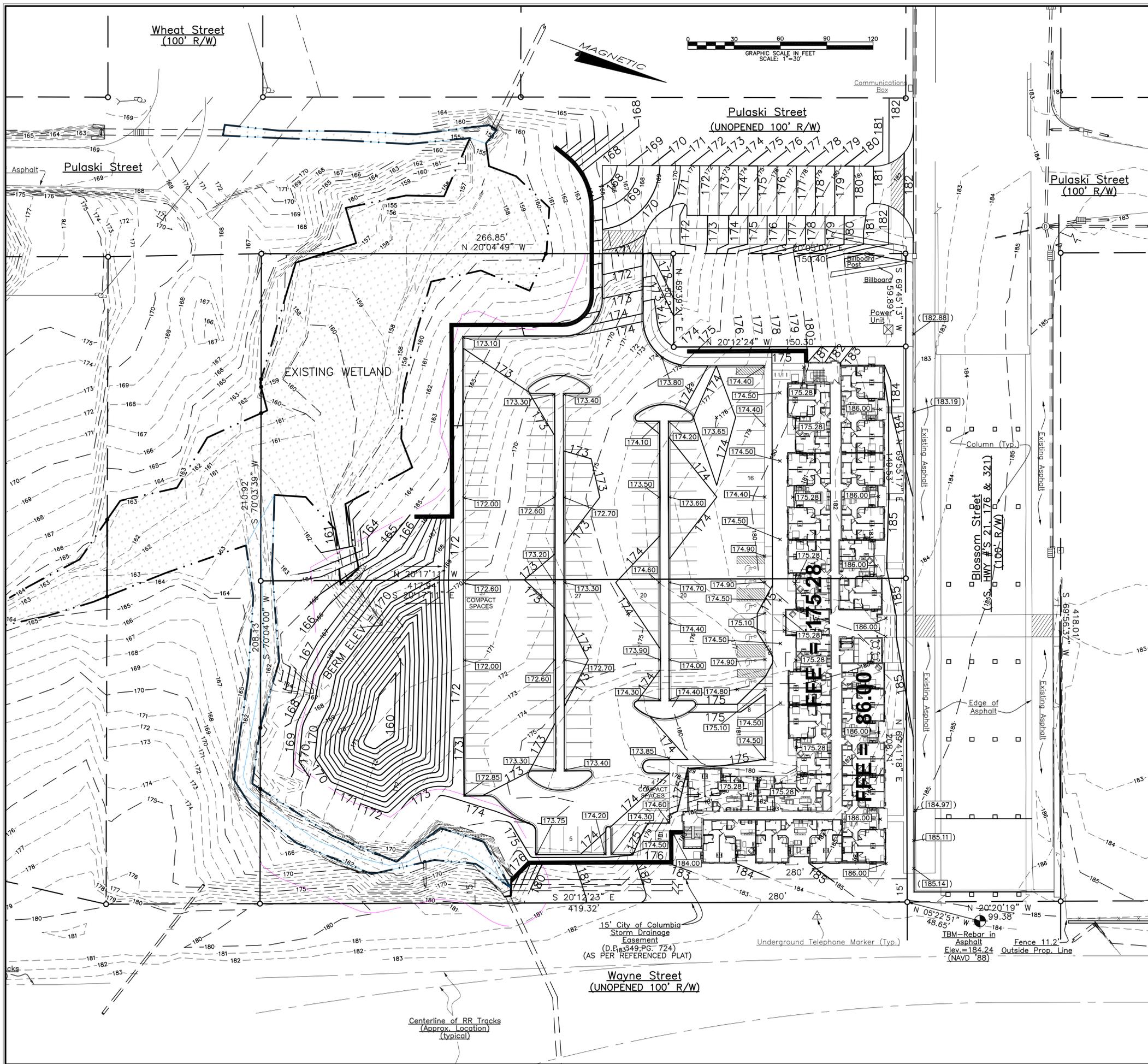
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PROJECT:
**USC STUDENT HOUSING
 BLOSSOM STREET**
 EDWARDS COMMUNITIES DEVELOPMENT COMPANY
 RICHLAND COUNTY, COLUMBIA, S.C.
DDRC SITE PLAN (WITH TOPO)

TMS 08914-13-02 & 08914-13-03

BOOK Y94-1; M01-55	SF NO.	351
Y09-31; Y12-41	SF NO.	13
PROJECT NO.	1644	
DATE	12/04/2013	
SHEET NO.		C2



LOCATION MAP (Not to Scale)

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TOPOGRAPHIC LEGEND

	EXISTING CONTOURS
	EXISTING SPOT ELEVATION
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATION

NO.	DATE	DESCRIPTION

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NOT FOR CONSTRUCTION

LICENSED PROFESSIONAL ENGINEER
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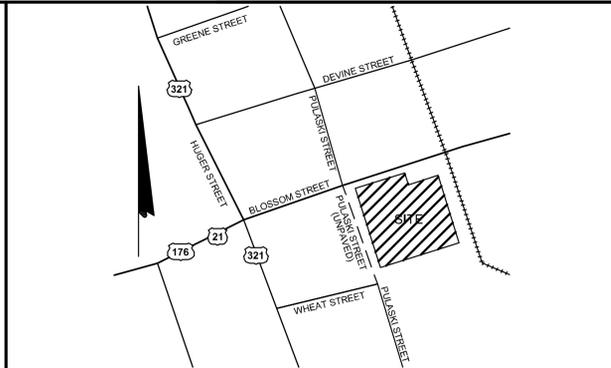
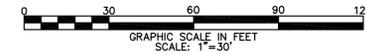
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USC STUDENT HOUSING
BLOSSOM STREET
 EDWARDS COMMUNITIES DEVELOPMENT COMPANY
 RICHLAND COUNTY, COLUMBIA, S.C.
DDRC SCHEMATIC GRADING PLAN

TMS 08914-13-02 & 08914-13-03
 BOOK Y94-1; M01-55 SF NO. 351 13
 Y09-31; Y12-41
 PROJECT NO. 1644 SHEET NO. **G1**
 DATE 12/04/2013



LOCATION MAP (Not to Scale)



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FOR INFORMATION ONLY

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TREE INVENTORY

TREE TABLE				
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1	20	8	1	N/A
2	15	1	0	N/A
3	7	0	0	N/A
7	N/A	N/A	N/A	52

ZONES 1,2,3
Total No. of Trees
6" & Larger = 52

NOTE:
THE TREE SPECIES AND SIZES SHOWN ON THIS INVENTORY HAVE BEEN IDENTIFIED TO THE BEST OF THE SURVEYOR'S ABILITY. TREE SYMBOLS SHOWN ON THIS PLAN ARE FOR GRAPHICAL ILLUSTRATION ONLY AND MAY OR MAY NOT BE CORRECT. THESE SYMBOLS DO NOT DEPICT ACTUAL TREE CANOPY OR TREE COVERAGE. IF A MORE DETAILED ANALYSIS IS NEEDED COX AND DINKINS, INC. STRONGLY SUGGESTS A PROFESSIONAL ARBORIST BE CONSULTED.

PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE TAKEN FROM ARCHIVES AND SURVEY WORK IN VARYING STAGES OF COMPLETION AND IS THEREFORE A COMPILATION. THIS PLAN IS FOR USE IN INITIAL PLAN REVIEW ONLY AND IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT OR FOR CONVEYANCE OF TITLE.

COX AND DINKINS, INC. HAS ATTEMPTED TO LOCATE UNDERGROUND PIPES & UTILITIES OF WHICH WE HAVE KNOWLEDGE. HOWEVER, THERE ARE SOME UNDERGROUND PIPES LOCATED ON THE PROPERTY WHICH WE CANNOT FIND THE ORIGIN OR TERMINUS OF AT THIS TIME. THERE ALSO MAY EXIST BURIED UNDERGROUND UTILITIES OF WHICH WE HAVE NO KNOWLEDGE OF AND WERE NOT OBSERVED DURING THE SURVEY. IF SUCH INFORMATION IS DEEMED NECESSARY WE SUGGEST THE OWNER CONTRACT WITH AN INDEPENDENT THIRD PARTY UTILITY LOCATOR.

The Palmetto Utility Protection Service, Inc.

 3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
 CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS.

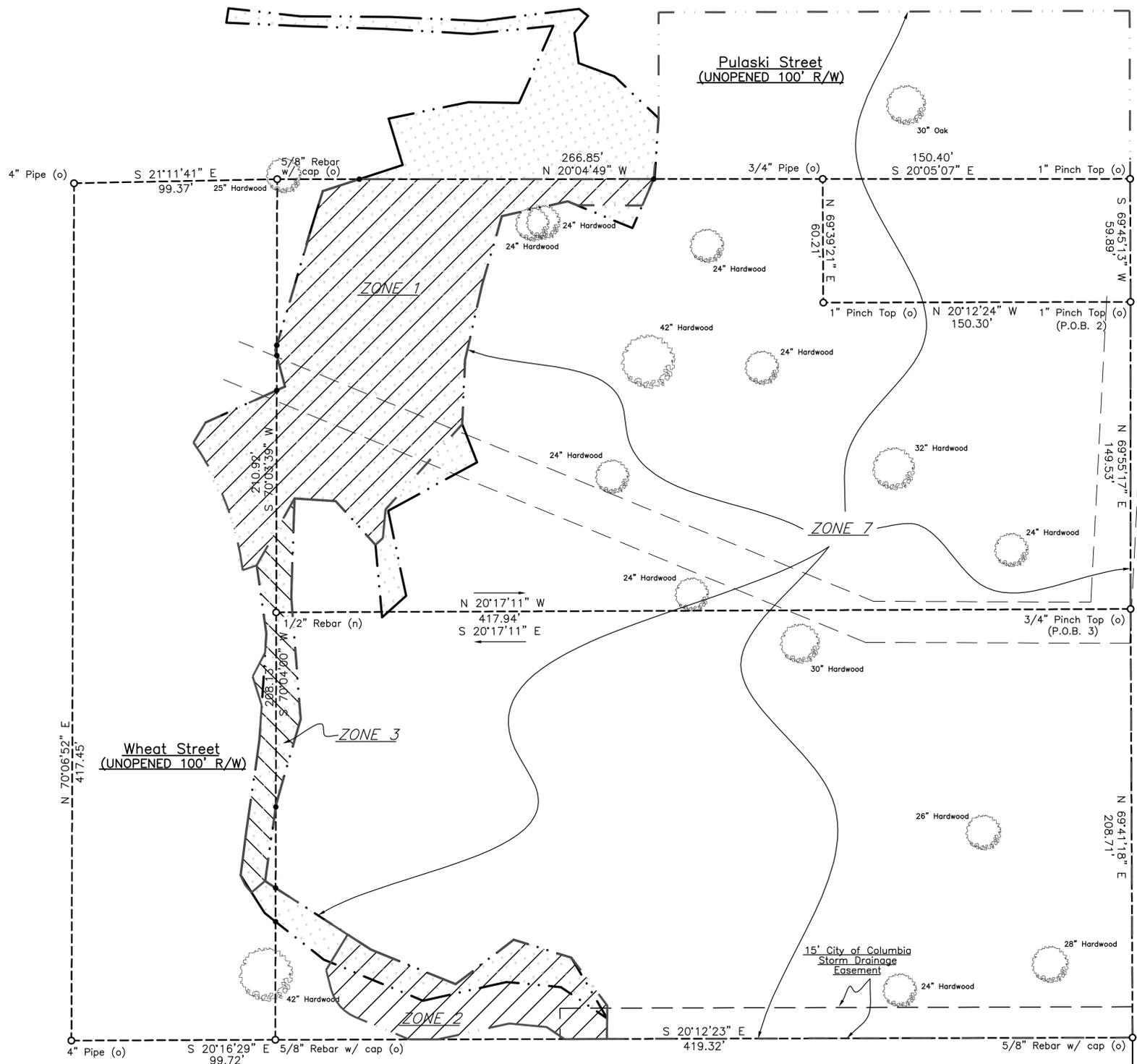
PREPARED FOR:

EDWARDS COMMUNITIES DEVELOPMENT COMPANY
495 S. HIGH STREET
SUITE 150
COLUMBUS, OH 43215
Tel: (614) 241-2070
Fax: (614) 241-2080

PROJECT:
**USC STUDENT HOUSING
BLOSSOM STREET**
EDWARDS COMMUNITIES DEVELOPMENT COMPANY
RICHLAND COUNTY, COLUMBIA, S.C.

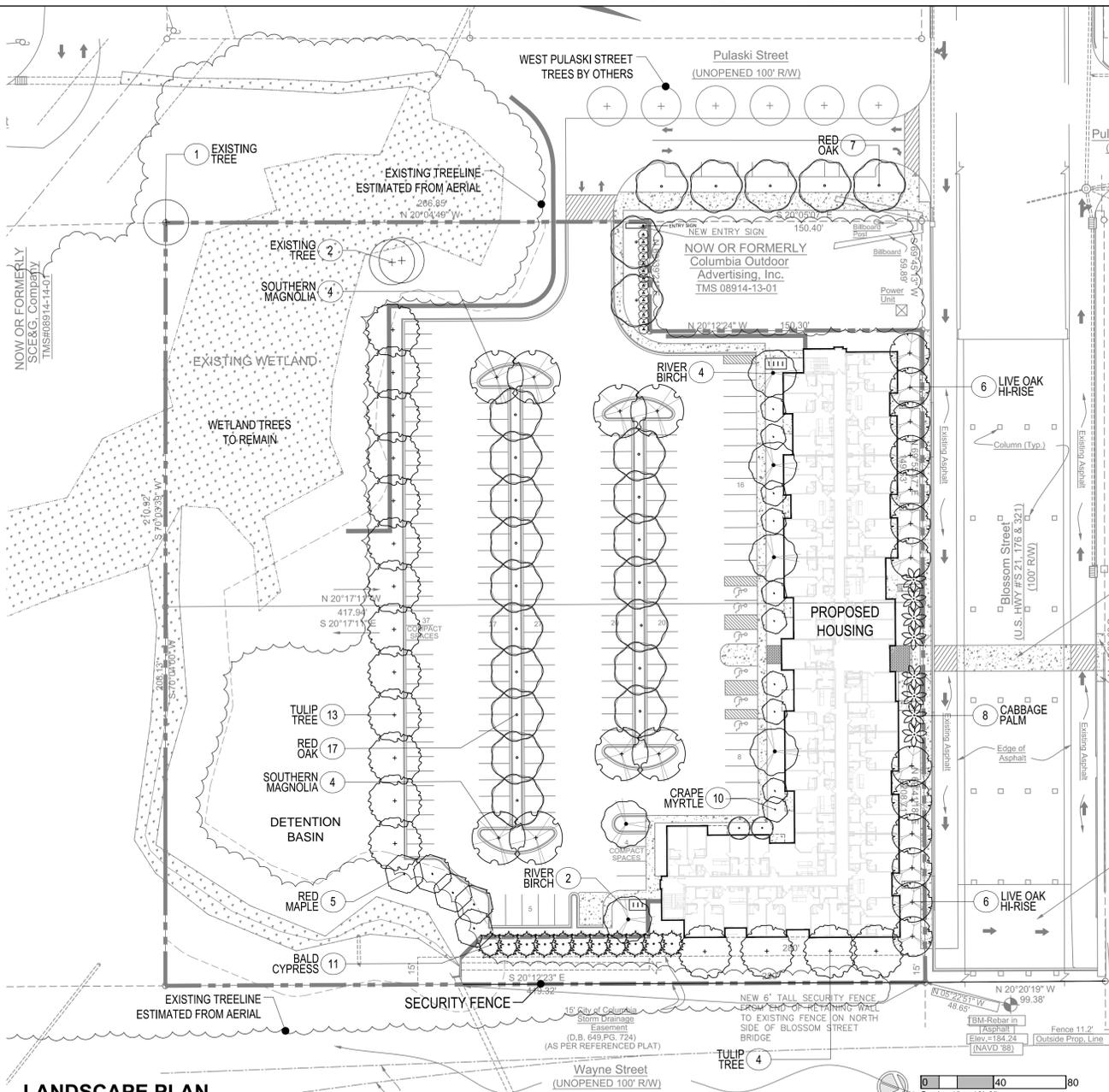
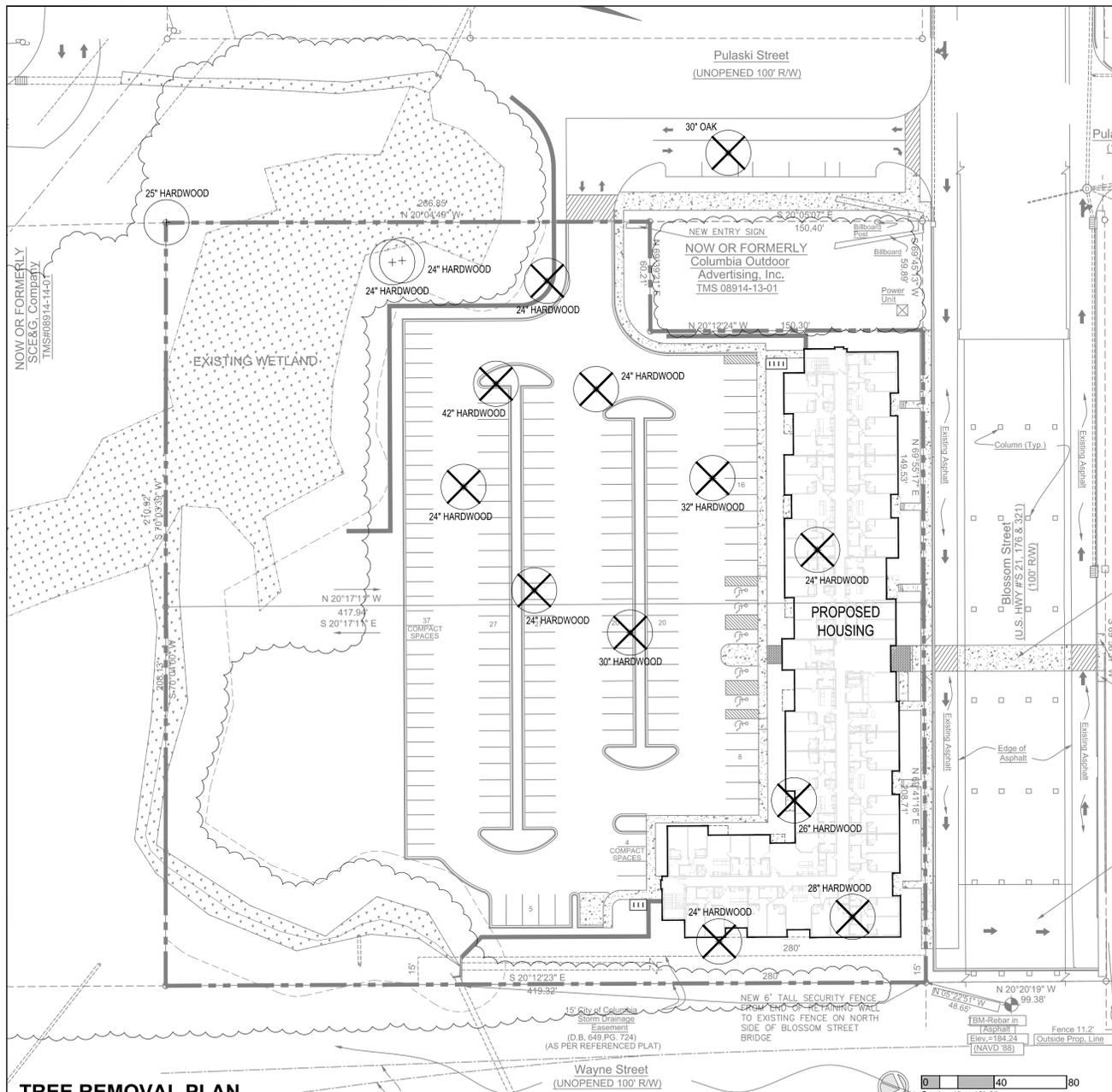
DRC TREE INVENTORY

TMS 08914-13-02 & 08914-13-03
BOOK Y94-1; M01-55 SF NO. 351 13
Y09-31; Y12-41
PROJECT NO. 1644 SHEET NO. T1
DATE 12/04/2013



Blossom Street
(U.S. HWY #S 21, 176 & 321)
(100' R/W)

Wayne Street
(UNOPENED 100' R/W)
NOW OR FORMERLY
CSX Railroad



TREE REMOVAL PLAN

LANDSCAPE REQUIREMENTS

USC STUDENT HOUSING - BLOSSOM STREET

PROJECT AREA

3.81 ACRES @ 30 UNITS / ACRE

DENSITY FACTOR FOR THE SITE (DFS): 115

PROTECTED TREES REMOVED (UNITS)

TREE #	DBH	SPECIES	CONDITION	UNITS
1	42"	Hardwood	Good	57.6
2	32"	Hardwood	Good	33.6
3	30"	Hardwood	Good	29.4
4	30"	Oak	Good	29.4
5	28"	Hardwood	Good	25.8
6	26"	Hardwood	Good	22.2
7	24"	Hardwood	Good	18.6
8	24"	Hardwood	Good	18.6
9	24"	Hardwood	Good	18.6
10	24"	Hardwood	Good	18.6

PROTECTED TREE UNITS TO BE REPLACED: 272.4

EXISTING TREES TO REMAIN

QUAN.	DBH	SPECIES	CONDITION	DFU	UNITS
1	25"	Hardwood	Good	20.4	20.4
2	24"	Hardwood	Good	18.6	37.2
42	6" - 11"	Hardwood	Good	4	168
9	12" - 17"	Hardwood	Good	7	63
1	18" - 23"	Hardwood	Good	10.6	10.6

EXISTING TREE UNITS TO REMAIN: 299.2

TOTAL REQUIRED TREE UNITS

REQUIRED DENSITY FACTOR FOR PROJECT AREA: 115

PROTECTED TREE UNITS TO BE REPLACED: 272.4

TOTAL: 387.4

PROPOSED TREES

QUANTITY	CALIPER	SPECIES	DFU	UNITS
24	2"	RED OAK	1.0	24
13	2"	LIVE OAK	1.0	13
8	2"	SOUTHERN MAGNOLIA	1.0	8
17	2"	TULIP TREE	1.0	17
11	2"	BALD CYPRESS	1.0	11
6	2"	RIVER BIRCH	1.0	6
5	2"	RED MAPLE	1.0	5
8	10 FT	CABBAGE PALM	1.0	8
10	2"	CRAPE MYRTLE	1.0	10

PROPOSED TREES: 102

TOTAL PROVIDED TREE UNITS

EXISTING TREES TO REMAIN 299.2

PROPOSED TREES 102

TOTAL: 401.2

Owner

EDWARDS COMMUNITIES
 495 S. HIGH STREET, STE 150
 COLUMBUS, OHIO 43215

land planner & landscape architect

creative
 DESIGN + PLANNING
 495 SOUTH HIGH STREET, SUITE 350
 COLUMBUS, OHIO 43215
 614-221-1554

surveyor + engineer

COX AND DINKINS
 ENGINEERS - SURVEYORS
 COX AND DINKINS, INC.
 724 BELTLINE BLVD.
 COLUMBIA, SOUTH CAROLINA 29205
 803-254-0518 Fax: 803-765-0993
 Email: cdinc@coxanddinkins.com

architect

Lupton Rausch Architecture
 430 South Front Street
 Columbus, Ohio 43215
 614-224-9050

document record

EDWARDS COMMUNITIES DEVELOPMENT CORPORATION
USC STUDENT HOUSING
BLOSSOM STREET
 RICHLAND COUNTY, COLUMBIA, SOUTH CAROLINA

sheet title
LANDSCAPE PLANTING PLAN
 submittal date
 December 4, 2012
 sheet number

 Page 10

UNIT COUNT	
Unit Name	Number of Units
1 Bedroom	12
2 Bedroom	9
3 Bedroom	28
4 Bedroom	74

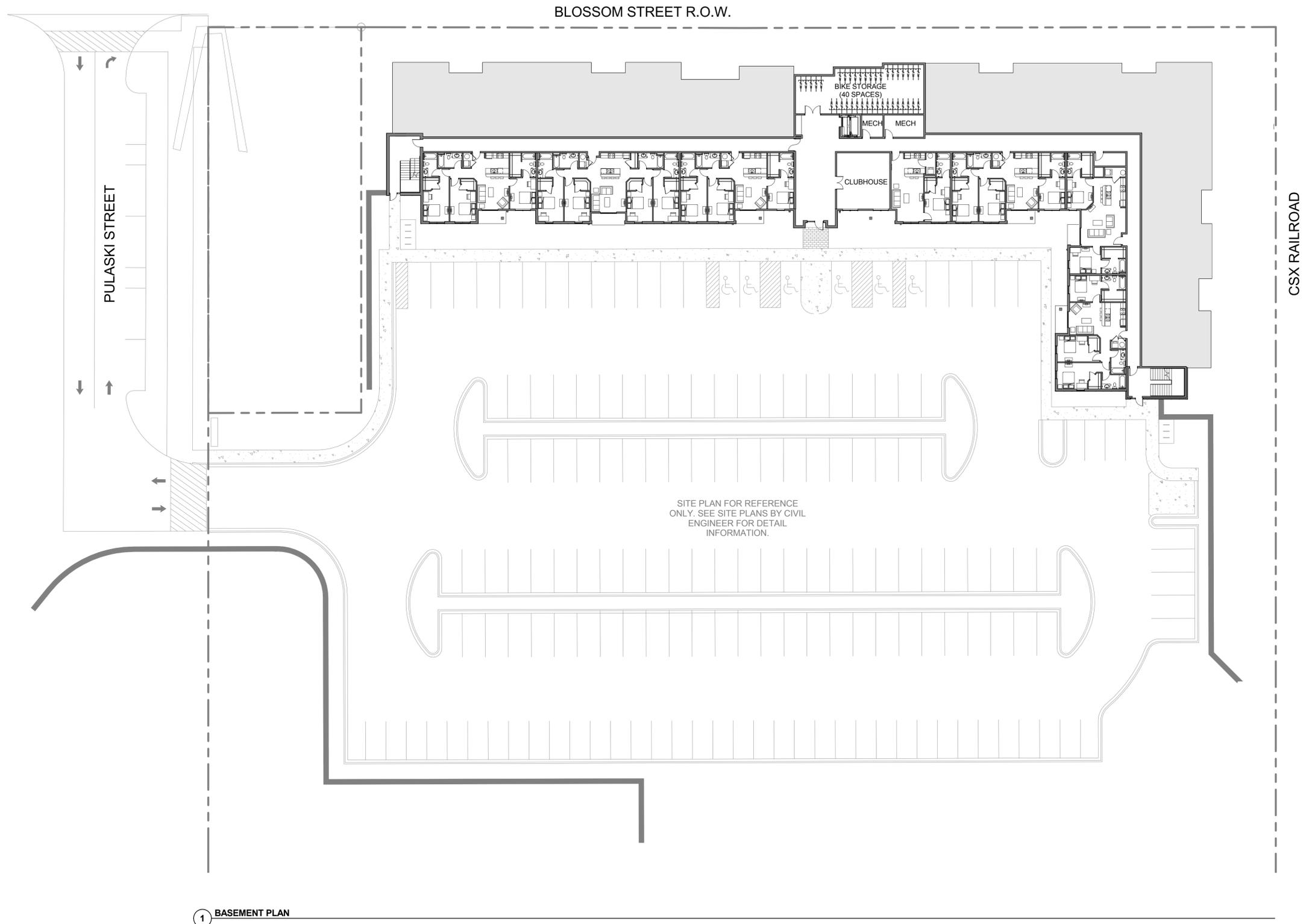
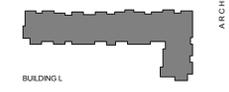
PRELIMINARY
NOT FOR CONSTRUCTION

EDWARDS COMMUNITIES

A NEW STUDENT HOUSING COMMUNITY
UNIVERSITY OF SOUTH CAROLINA STUDENT HOUSING - BUILDING L

PULASKI ST. & BLOSSOM ST.
COLUMBIA, SC 29201

PROJECT NUMBER 13043.00
SCHEMATIC DESIGN 12/04/13



1 BASEMENT PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION

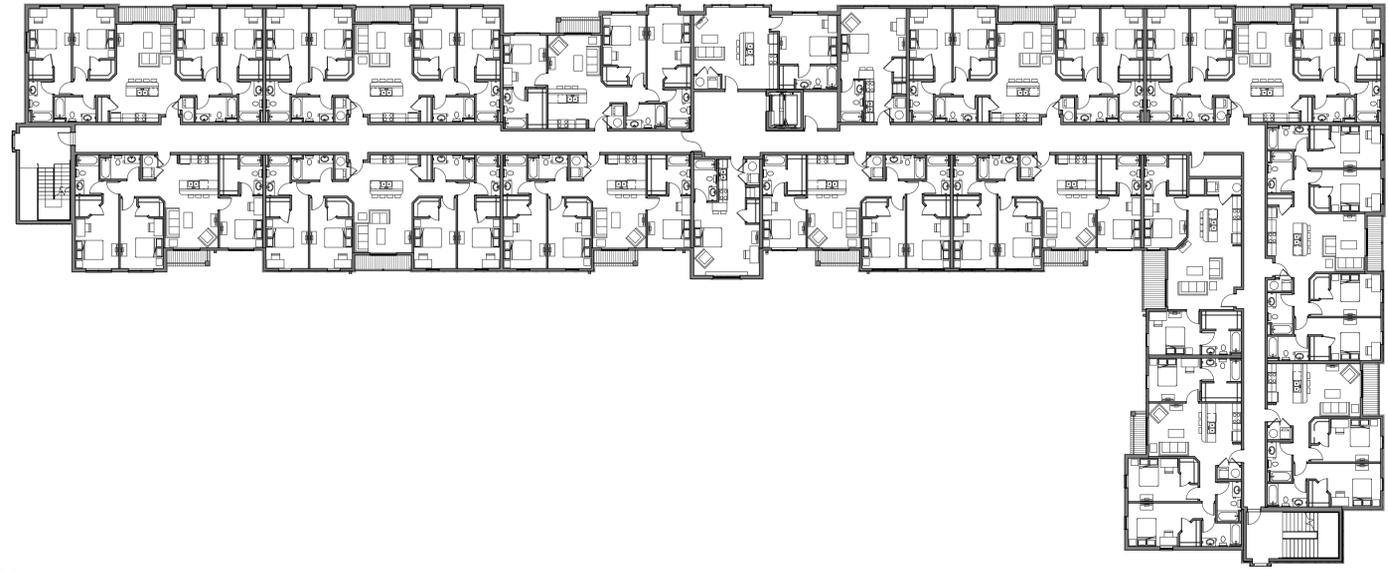
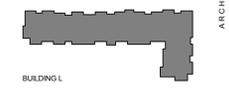
EDWARDS COMMUNITIES

A NEW STUDENT HOUSING COMMUNITY
 UNIVERSITY OF SOUTH CAROLINA STUDENT HOUSING - BUILDING L

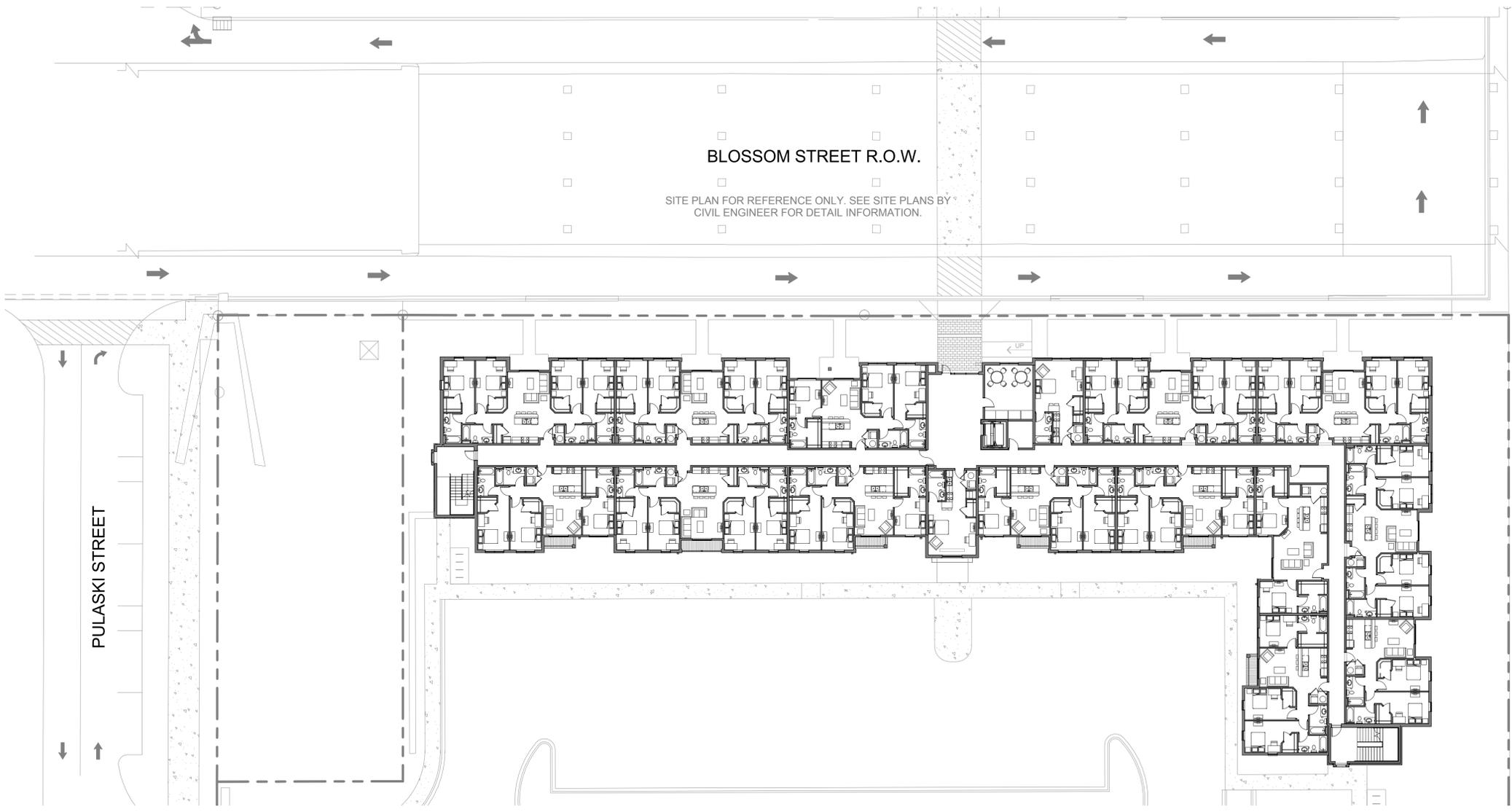
PULASKI ST. & BLOSSOM ST.
 COLUMBIA, SC 29201

PROJECT NUMBER 13043.00
 SCHEMATIC DESIGN 12/04/13

0' 2' 4' 8' 12' 16' FEET
 SCALE

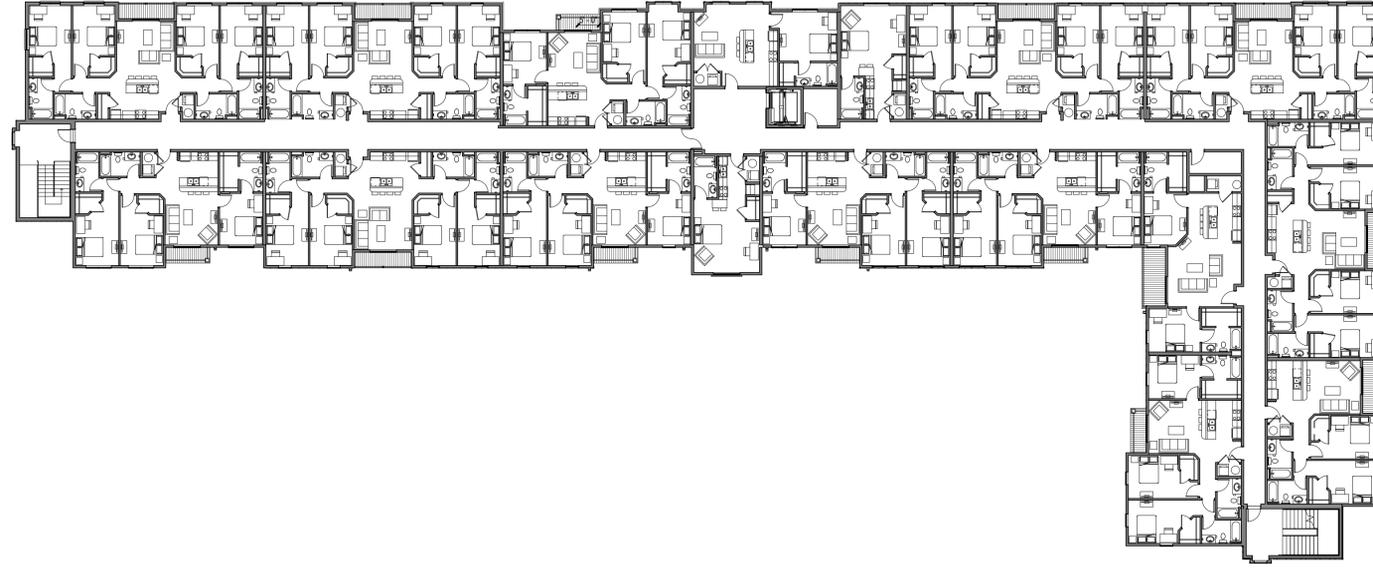


2 SECOND FLOOR PLAN

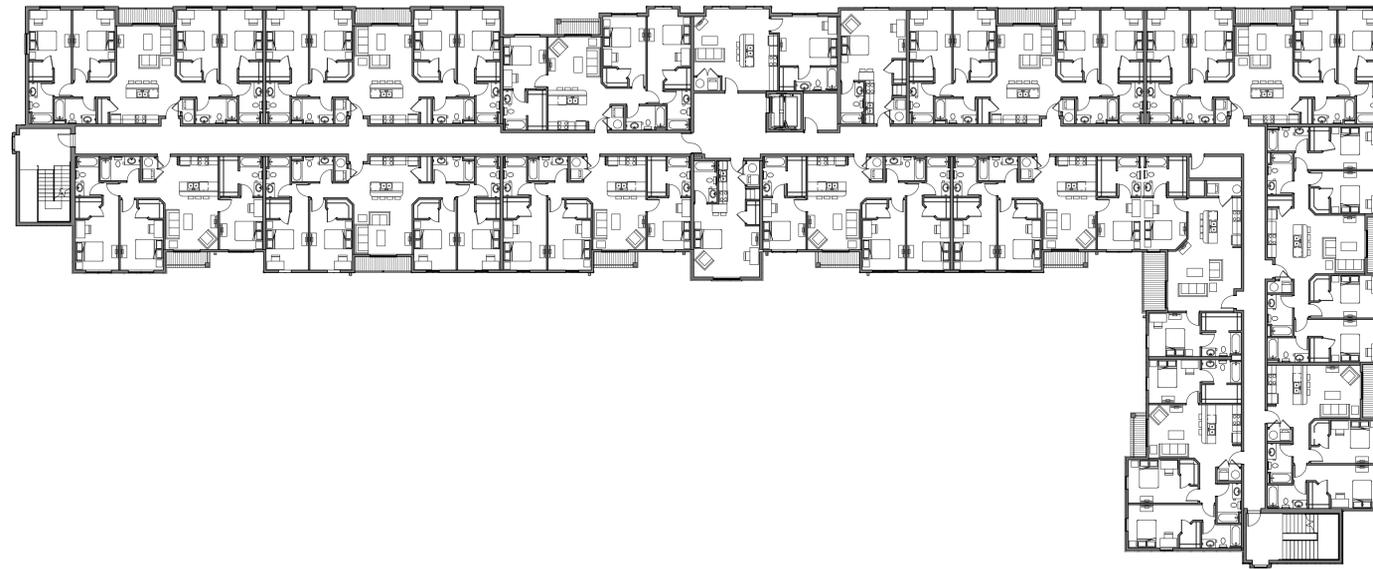


1 FIRST FLOOR PLAN

614.233.6929 FX
 www.luptonrausch.com
 614.224.9050 V
 PRELIMINARY NOT FOR CONSTRUCTION
 EDWARDS COMMUNITIES
 A NEW STUDENT HOUSING COMMUNITY UNIVERSITY OF SOUTH CAROLINA STUDENT HOUSING - BUILDING L
 PULASKI ST. & BLOSSOM ST. COLUMBIA, SC 29201
 PROJECT NUMBER 13043.00 SCHEMATIC DESIGN 12/04/13
 0' 2' 4' 8' 12' 16' FEET SCALE
 BUILDING L
 SHEET NUMBER A2
 LUPTON RAUSCH



2 FOURTH FLOOR



1 THIRD FLOOR

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EDWARDS
COMMUNITIES

A NEW STUDENT HOUSING
COMMUNITY
UNIVERSITY OF SOUTH
CAROLINA STUDENT
HOUSING - BUILDING L

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COLUMBIA, SC 29201

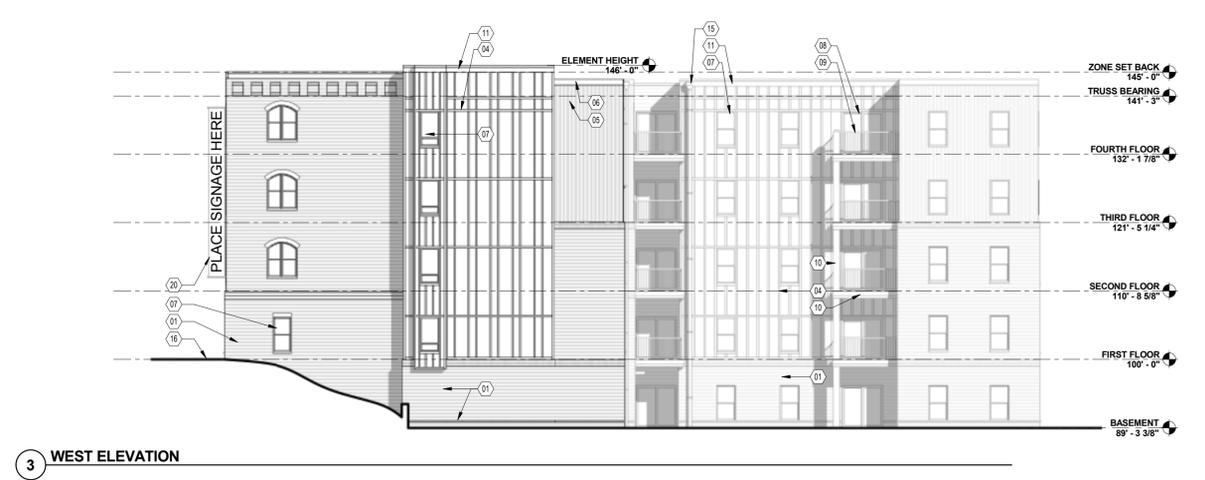
PROJECT NUMBER 13043.00
SCHEMATIC DESIGN 12/04/13

0' 2' 4' 8' 12' 16' FEET
SCALE



BUILDING L

- CODED NOTES - EXTERIOR ELEVATIONS**
01. BRICK VENEER - TYPE 1
 02. BRICK VENEER - TYPE 2
 03. PAINTED CEMENT COMPOSITE SIDING (HORIZONTAL)
 04. PAINTED CEMENT COMPOSITE BOARD AND BATTEN SIDING
 05. PREFINISHED METAL SIDING (RIBBED PROFILE)
 06. PREFINISHED METAL COPING
 07. PREFINISHED ALUMINUM WINDOW UNIT
 08. PREFINISHED ALUMINUM DOOR ASSEMBLY
 09. PREFINISHED ALUMINUM BALCONY RAIL ASSEMBLY
 10. PREFINISHED CEMENT COMPOSITE TRIM
 11. PREFINISHED ALUMINUM BREAK METAL OVER EXTERIOR TRIM ASSEMBLY
 12. ALUMINUM CURTAIN WALL ASSEMBLY
 13. EXPOSED STEEL STRUCTURE - PAINTED
 14. PERFORATED SCREEN PANEL ASSEMBLY
 15. SCUPPER AND DOWNSPOUT ASSEMBLY
 16. APPROXIMATE PROFILE OF FINISHED GRADE - REFER TO SITE PLANS
 17. GUARDRAIL
 18. STRUCTURAL BEAM
 19. PREFINISHED METAL ROOF OR SIDING
 20. EXTERIOR SIGNAGE
 21. CANOPY
 22. CONCRETE WALL
 23. WALL OPENING



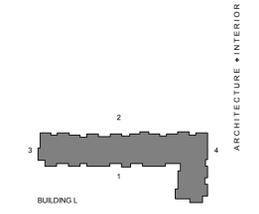
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EDWARDS COMMUNITIES

A NEW STUDENT HOUSING COMMUNITY
UNIVERSITY OF SOUTH CAROLINA STUDENT HOUSING - BUILDING L

PULASKI ST. & BLOSSOM ST.
COLUMBIA, SC 29201

PROJECT NUMBER 13043.00
SCHEMATIC DESIGN 12/04/13





4 EAST ELEVATION (WAYNE STREET)



3 WEST ELEVATION



2 SOUTH ELEVATION



1 NORTH ELEVATION (BLOSSOM ST.)

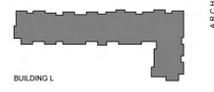
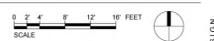
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USC STUDENT HOUSING - BUILDING L

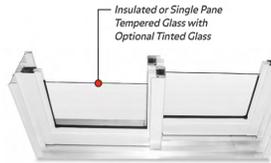
PULASKI ST. & BLOSSOM ST.
COLUMBIA, SC 29201

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SCHEMATIC DESIGN 12/04/13

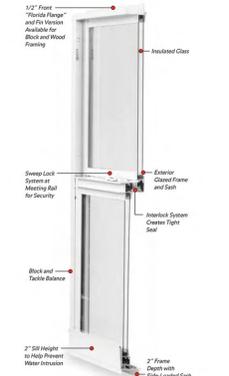


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430 South Front Street, Columbus, OH 43215
ARCHITECTURE + INTERIOR DESIGN

ALUMINUM WINDOW AND DOOR COLOR

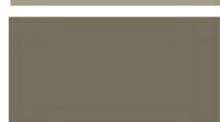


DETAIL THRU SLIDING ALUMINUM DOOR



DETAIL THRU TYPICAL ALUMINUM WINDOW

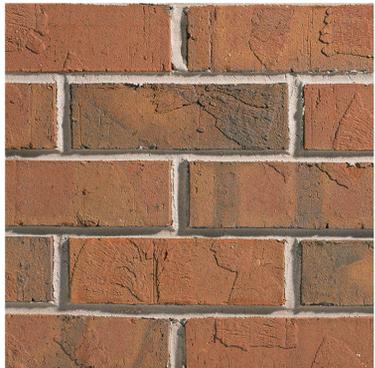
CEMENT COMPOSITE SIDING COLORS



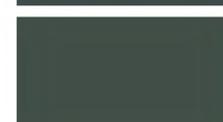
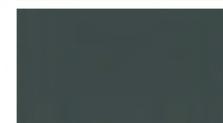
METAL COLOR - BRUSHED SLATE



BRICK VENEER - TERRA COTTA RANGE



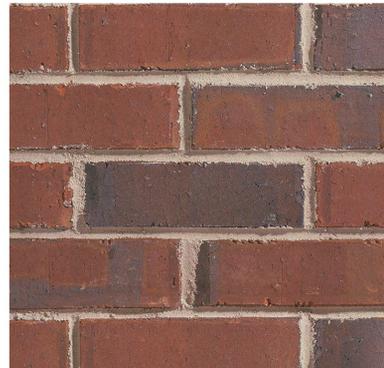
CEMENT COMPOSITE SIDING COLORS



METAL COLOR - ZINC GRAY



BRICK VENEER - RED RANGE



PAINTED CEMENT COMPOSITE BOARD & BATTEN SIDING



PAINTED CEMENT COMPOSITE SIDING - HORIZONTAL



PREFINISHED METAL SIDING (RIBBED PROFILE)



PREFINISHED METAL SIDING (RIBBED PROFILE)



PAINTED CEMENT COMPOSITE BOARD & BATTEN SIDING



PREFINISHED ALUMINUM RAIL ASSEMBLY



PREFINISHED METAL ROOFING OR SIDING



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