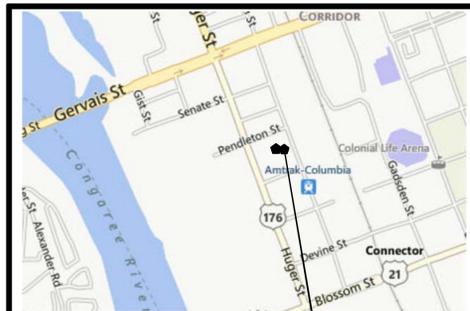


# PULASKI SQUARE

520 PENDLETON STREET, COLUMBIA, SOUTH CAROLINA RICHLAND COUNTY



LOCATION MAP  
SCALE 1"=1000

**CODE INFORMATION**

TWO AND THREE STORY APARTMENT BUILDINGS

BASED ON 2012 INTERNATIONAL BUILDING CODE W/ SOUTH CAROLINA AMENDMENTS

302	Use Group:	R-2
602	Building Construction Type:	VB

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COVER PAGE	
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1 OF 1	SITE PLAN
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L1.2	PLANT MATERIALS, SCHEDULE & DETAILS
L1.3	PLANTING DETAILS AND TREE PROTECTION DETAILS
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AS0.2	ARCHITECTURAL SITE PLAN / EXTERIOR AMENITIES
AS0.3	SITE DETAILS
AS0.4	SITE DETAILS - PICTURES
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A2.2	BUILDING B FIRST FLOOR PLAN
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A4.1	BUILDING A EXTERIOR ELEVATIONS
A4.2	BUILDING B EXTERIOR ELEVATIONS
A4.4	PENDLETON AND COLLEGE STREET ELEVATIONS
A4.5	RENDERINGS

LAND AREA	90,363 S.F.	2.08 +/- ACRES
DENSITY	19.28 UNITS/ACRE	
CONSTRUCTION TYPE: SLAB ON GRADE, WOOD FRAME I.B.C. CONSTRUCTION TYPE: VB OCCUPANCY: FAMILY		

<b>BUILDING A1 &amp; A2</b> FLOORS: 2 UNITS 12 (x2) = 24 TOTAL GROSS S.F.: 17,648 S.F. (x2) = 35,296 S.F. TOTAL	<b>PARKING REQUIREMENTS</b> 2 SPACES PER UNIT REQUIRED 40 UNITS X 2 = 80 SPACES  MX-2 PARKING REDUCTION % = 40% SPACES REQUIRED = 48 25% ALLOWABLE COMPACT=12 SPACES  SPACING PROVIDED 14 GARAGE 24 REGULAR OFF STREET 16 COMPACT OFF STREET 4 HC  <b>TOTAL PARKING SPACES = 58</b>	<b>DEVELOPED IMPERVIOUS SURFACE ON LOT:</b> PARKING & SIDEWALKS 34,662.2 S.F. = 38.36% OF THE SITE  BUILDING AREA ON LOT BUILDING A: 8,824 S.F. X 2 = 17,648 S.F. BUILDING B: 11,609 S.F. COMMUNITY BUILDING: 1,000 S.F. MAINT. BLDG: 384 S.F.  <b>TOTAL BUILDING AREA:</b> 30,641 S.F. = 33.9% OF SITE  <b>TOTAL DEVELOPED SURFACE AREA</b> 65,303 S.F. = 72.26% OF SITE  <b>TOTAL UNBUILT SPACE</b> 25,060 S.F. = 27.74% OF SITE  <b>TOTAL GREEN SPACE IN R.O.W.</b> 7,369 S.F.
<b>BUILDING B1</b> FLOORS: 3 UNITS: 14 GROSS S.F. 25,928 S.F.		
<b>BUILDING B2</b> FLOORS: 2 UNITS: 2 GROSS S.F. 3,066 S.F.		
<b>TOTAL GROSS LIVING UNITS</b> 64,290 S.F.		
COMMUNITY BUILDING: 1,000 S.F.		
MAINT. BLDG: 384 S.F.		
<b>TOTAL UNITS: 40</b> <b>TOTAL GROSS S.F. 65,674 S.F.</b>		

**CONTRACTOR**  
**WODA CONSTRUCTION, INC.**  
 WESTERVILLE, OHIO

NAME \_\_\_\_\_ DATE \_\_\_\_\_

NAME \_\_\_\_\_ DATE \_\_\_\_\_

NAME \_\_\_\_\_ DATE \_\_\_\_\_

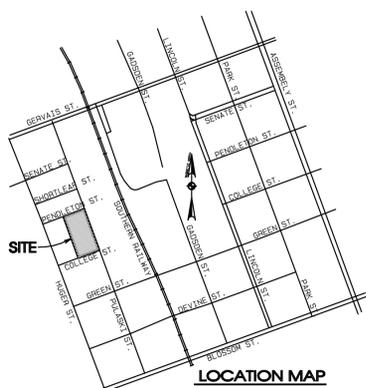
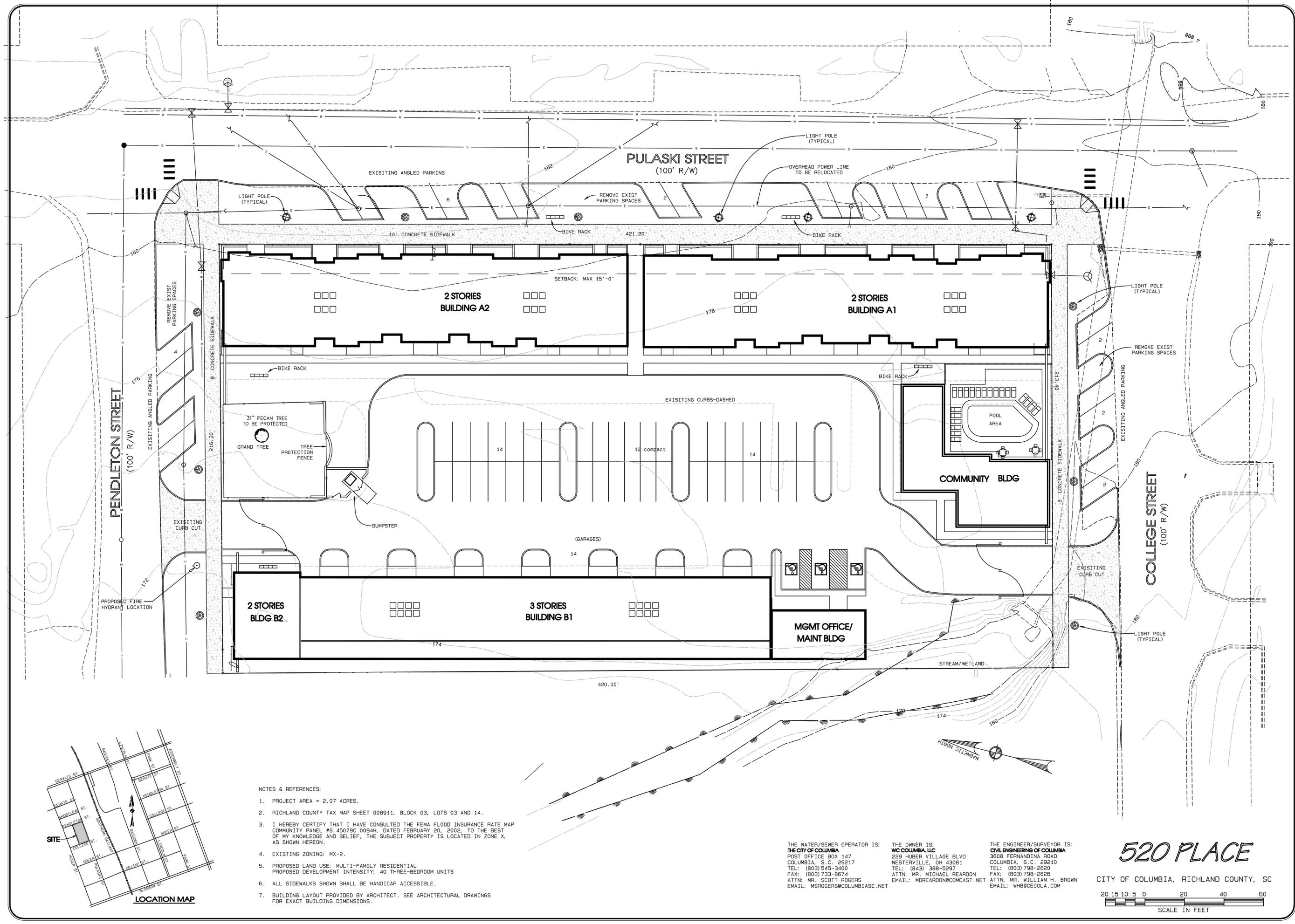
**ARCHITECT**  
**D.E. WEATHERBY & ASSOCIATES, INC**  
 GAHANNA, OHIO

NAME \_\_\_\_\_ DATE \_\_\_\_\_

DESCRIPTION LOC	UNIT	BEDROOM	BATHS	UNIT TYPE TOWNHOME	ACCESSIBILITY		AREA GROSS
		3BR	3 BA		MOBILITY	A/V	
BUILDING A-1	1	X	X	X	X		1419 SF
	2	X	X	X	X		1419 SF
	3	X	X	X	X		1419 SF
	4	X	X	X	X		1419 SF
	5	X	X	X	X	X	1419 SF
	6	X	X	X	X		1419 SF
	7	X	X	X	X		1419 SF
	8	X	X	X	X		1419 SF
	9	X	X	X	X		1419 SF
	10	X	X	X	X		1419 SF
	11	X	X	X	X		1419 SF
	12	X	X	X	X		1419 SF
BUILDING A-2	13	X	X	X			1419 SF
	14	X	X	X			1419 SF
	15	X	X	X	X		1419 SF
	16	X	X	X	X		1419 SF
	17	X	X	X	X		1419 SF
	18	X	X	X	X		1419 SF
	19	X	X	X	X		1419 SF
	20	X	X	X	X		1419 SF
	21	X	X	X	X		1419 SF
	22	X	X	X	X		1419 SF
	23	X	X	X	X		1419 SF
	24	X	X	X	X		1419 SF
BUILDING B-1	25	X	X	X			1820 SF
	26	X	X	X			1820 SF
	27	X	X	X	X		1820 SF
	28	X	X	X	X		1820 SF
	29	X	X	X	X		1820 SF
	30	X	X	X	X		1820 SF
	31	X	X	X	X		1820 SF
	32	X	X	X	X		1820 SF
	33	X	X	X	X		1820 SF
	34	X	X	X	X		1820 SF
	35	X	X	X	X		1820 SF
	36	X	X	X	X		1820 SF
	37	X	X	X	X		1820 SF
	38	X	X	X	X		1820 SF
BLDG B-2	39	X	X	X			1419 SF
	40	X	X	X			1419 SF
TOTAL	40		40	40	2	1	

DRAWINGS DATED

**DESIGN REVIEW**      **12-20-2013**



- NOTES & REFERENCES:
- PROJECT AREA = 2.07 ACRES.
  - RICHLAND COUNTY TAX MAP SHEET 008911, BLOCK 03, LOTS 03 AND 14.
  - I HEREBY CERTIFY THAT I HAVE CONSULTED THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #S 45079C 0094H, DATED FEBRUARY 20, 2002, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN HEREON.
  - EXISTING ZONING: MX-2.
  - PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL  
PROPOSED DEVELOPMENT INTENSITY: 40 THREE-BEDROOM UNITS
  - ALL SIDEWALKS SHOWN SHALL BE HANDICAP ACCESSIBLE.
  - BUILDING LAYOUT PROVIDED BY ARCHITECT. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.

THE WATER/SEWER OPERATOR IS:  
**THE CITY OF COLUMBIA**  
 POST OFFICE BOX 147  
 COLUMBIA, S.C. 29217  
 TEL: (803) 545-3400  
 FAX: (803) 733-8674  
 ATTN: MR. SCOTT ROGERS  
 EMAIL: MSROGERS@COLUMBIASC.NET

THE OWNER IS:  
**WC COLUMBIA, LLC**  
 229 HUBER VILLAGE BLVD  
 WESTERVILLE, OH 43081  
 TEL: (843) 388-5297  
 ATTN: MR. MICHAEL REARDON  
 EMAIL: MREARDON@COMCAST.NET

THE ENGINEER/SURVEYOR IS:  
**CIVIL ENGINEERING OF COLUMBIA**  
 3608 FERNANDINA ROAD  
 COLUMBIA, S.C. 29210  
 TEL: (803) 798-2820  
 FAX: (803) 798-2826  
 ATTN: MR. WILLIAM H. BROWN  
 EMAIL: WHB@CECOLA.COM

**520 PLACE**  
 CITY OF COLUMBIA, RICHLAND COUNTY, SC

SCALE 1" = 20'  
 20 15 10 5 0 20 40 60  
 SCALE IN FEET

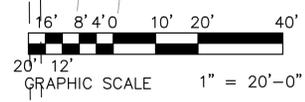
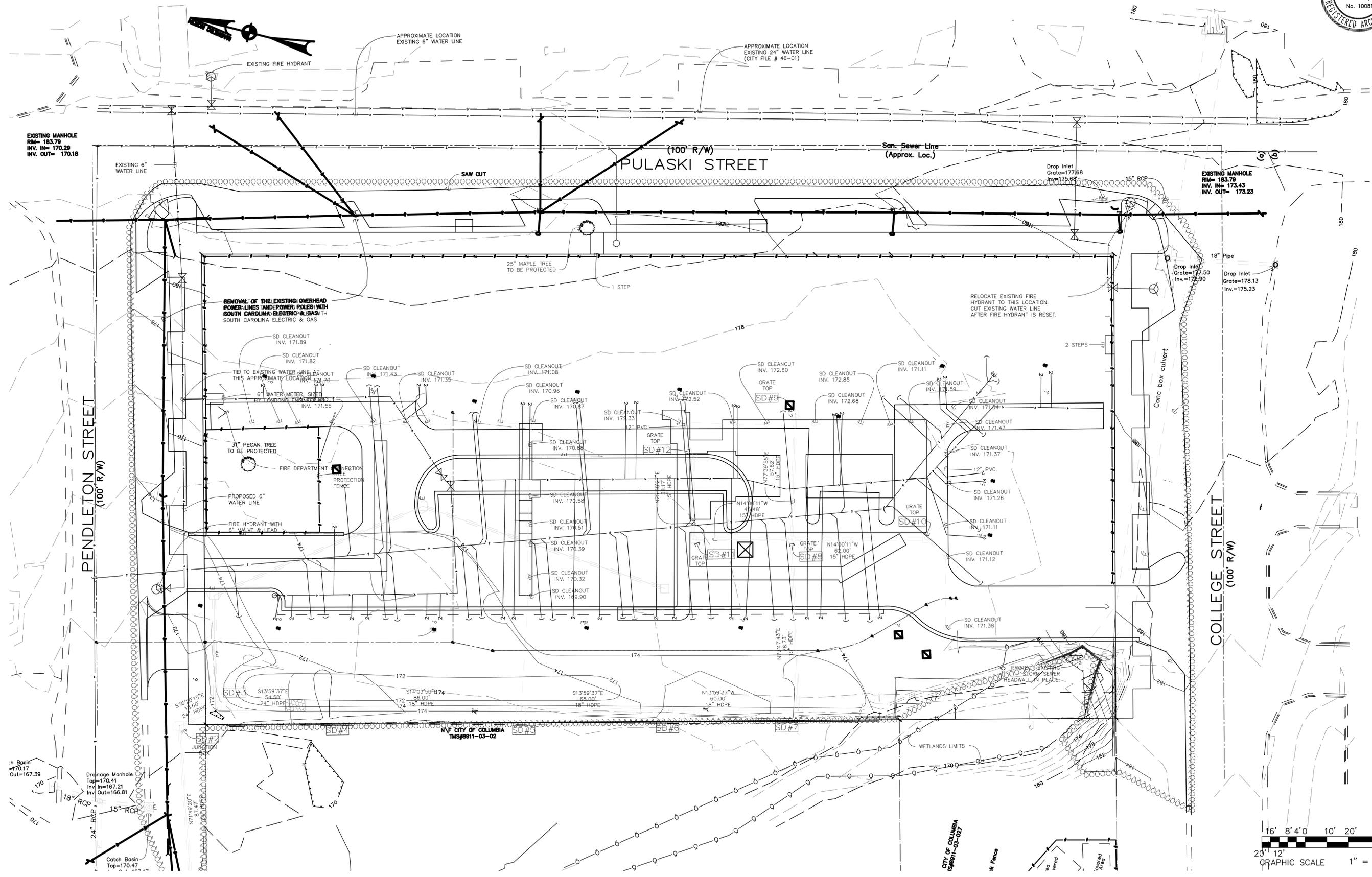
<b>SCALE</b> 1" = 20' <b>DATE</b> DEC. 3, 2013 <b>DRAWN BY</b> HOLTZCLAW <b>DESIGNED BY</b> WALSH <b>DRAWING NUMBER</b> 1 OF 1	<b>CHECKED BY:</b> 13119	<b>SITE PLAN</b> PREPARED FOR <b>WC COLUMBIA, LLC</b> WESTERVILLE, OHIO	<b>REVISION</b> NO. DATE DESCRIPTION 1 12-20-13 REV PER CITY COMMENTS
	<b>BY</b> WLF		

**CIVIL ENGINEERING OF COLUMBIA**  
 CONSULTING ENGINEERING, SURVEYING AND PLANNING  
 3608 FERNANDINA ROAD, COLUMBIA, SOUTH CAROLINA 29210  
 TELEPHONE (803) 798-2820 FAX (803) 798-2826

ANY CERTIFICATIONS, WARRANTIES, OR GUARANTEES FOR THE PRODUCT ON THIS SHEET WAS PREPARED FOR THE CITY OF COLUMBIA, SOUTH CAROLINA. THE ENGINEER/SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL STANDARD OF CARE IN THE STATE OF SOUTH CAROLINA. THIS PROJECT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE DESIGN ENGINEER. THE PREPARATION OF THESE DOCUMENTS IS STRICTLY PROHIBITED.

**CIVIL ENGINEERING OF COLUMBIA**  
 CIVIL ENGINEERING OF COLUMBIA, INC.  
 LICENSE NO. 000295

**CIVIL ENGINEERING OF COLUMBIA**  
 PROFESSIONAL ENGINEER  
 WILLIAM H. BROWN  
 LICENSE NO. 4953



DATES	DRAWN BY	SHEET NO.
40% REVIEW		
PERMIT		
80% REVIEW		
BID ISSUE		
CONST. DOC.		
REVISIONS		

DEW

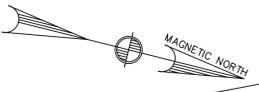
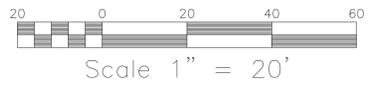
ARCHITECTURAL SITE PLAN  
SCALE 1" = 20'-0"

PULASKI SQUARE APARTMENTS  
520 PENDLETON STREET, COLUMBIA, SOUTH CAROLINA

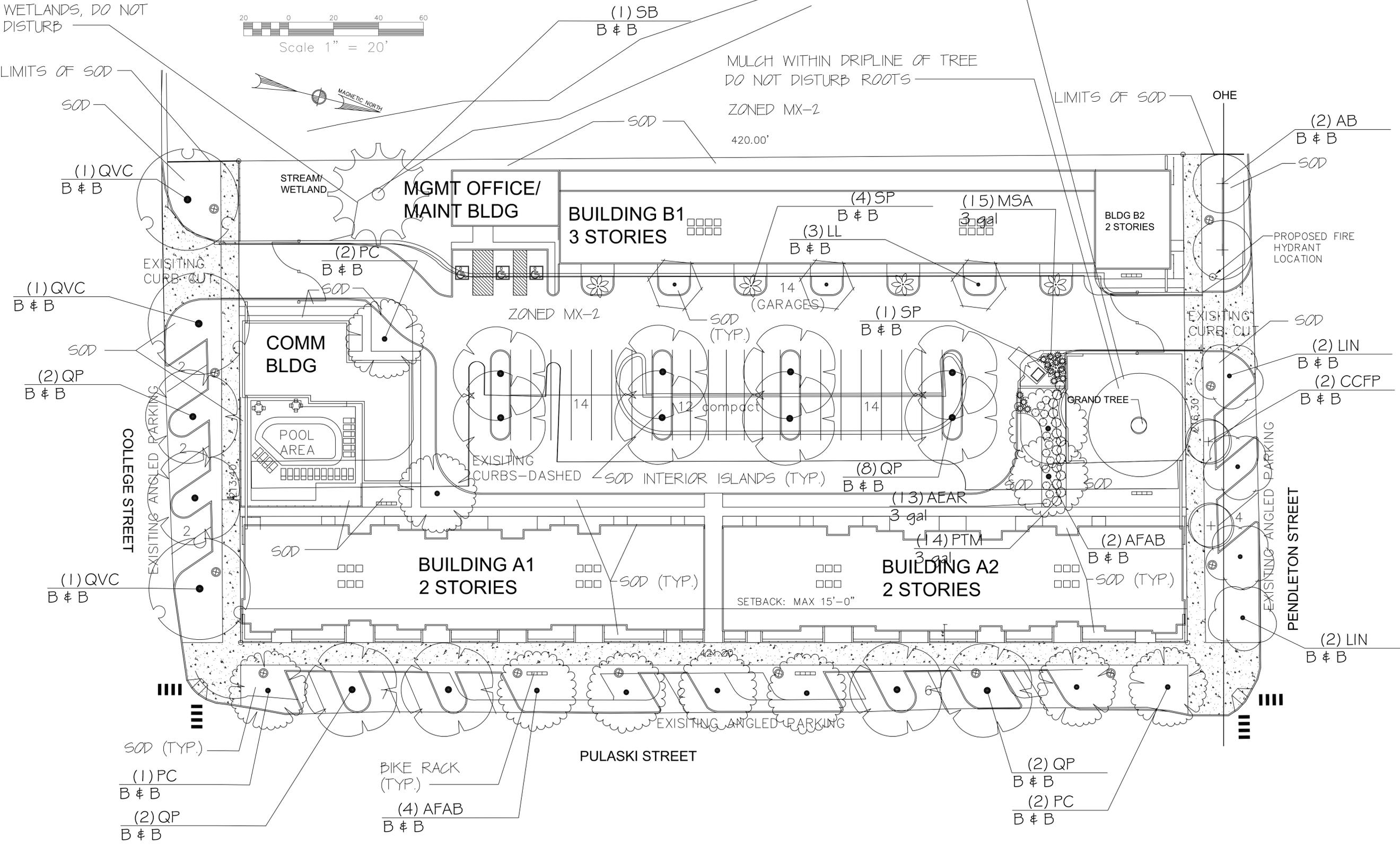
D.E. WEATHERBY & ASSOCIATES, INC. 4716 KNOTTY KNOLLS DRIVE GAHANNA, OH 43230 614-396-3265

JOB NUMBER W0187

NOTES: ALL PLANTINGS ON PROPERTY AND IN RIGHT OF WAY TO BE MECHANICALLY IRRIGATED WITH AN AUTOMATED SPRINKLER SYSTEM.  
FOR DUMPSTER SCREEN DETAILS SEE SHEET AS0.3



EXISTING GRAND TREE TO REMAIN  
SEE SHEET L1.3 FOR TREE PROTECTION DETAIL



REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA  
LANDSCAPE ARCHITECTURE • HORTICULTURE  
P.O. BOX 24, BALLENTINE, SOUTH CAROLINA 29002  
(803) 240-7990 • rmllooney@rebeccamlooney.com



PROJECT TITLE:  
**PULASKI SQUARE**  
PULASKI STREET, COLUMBIA, SC

DATE:  
12/20/2013

REVISION HISTORY:

DATE	NO.	ISSUE FOR	BY

DRAWING TITLE:  
**PLANTING PLAN**

SHEET NO.  
**L1.1**

**LANDSCAPE SPECIFICATIONS**

- The term contractor shall refer to the landscape contractor in landscape specifications.
- Pre-construction meeting to be held on site prior to installation.
- The contractor shall notify the landscape architect if existing conditions are found to be different than shown on the landscape plan. The contractor shall keep a full set of the landscape plans, details and specifications and irrigation plans on site at all times while work is in progress. Request clarification from landscape architect if conflicts occur between any of the plans. It is highly recommended to make a site visit prior to submitting bid.
- All plant material shall conform to "American Standard for Nursery Stock", latest edition. All plant material to be symmetrical and typical of their species unless otherwise indicated by landscape architect. Plant material shall be sound, healthy, vigorous, and free from disease and pest and shall have normal root system. Plant material shall be covered during transporting to avoid wind damage. Plant material not found to be acceptable according to these specifications shall be removed from site and replaced at contractor's expense.
- All plant material shall be warranted against death or unhealthy condition for a period of one (1) year from date of written final acceptance of the landscape installation. Theft of plants, vandalism or lack of reasonable care shall exclude plantings from this warranty. Owner to provide adequate watering and reasonable care during the warranty period.
- No part of this work shall be performed or installed in any location or manner which may endanger the health, safety or welfare of the owner or public now or in the future.
- The contractor agrees that he/she shall assume sole and complete responsibility for their performance on job site. They shall be responsible for site conditions pertaining to their work during the course of landscape installation of this project including safety of all persons and property. That this requirement shall apply continuously and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner and landscape architect harmless from any and all liability, real or alleged, in connection with his/her performance on work on this project, excepting liability arising from the sole negligence of the owner or landscape architect.
- During construction all on-site plant material must be watered and all work must be maintained by the contractor until final written acceptance by landscape architect.
- The contractor shall comply with all applicable rules, regulations, laws and ordinances imposed by authorities having jurisdiction over this project site. Any part of the plans, notes or specifications that are in conflict with these rules, regulations, laws or ordinances shall not apply and the contractor shall immediately give written notice to the landscape architect of the conflict.
- Sizes given are minimums. Install sizes and varieties as per plans unless written approval by landscape architect.
- All substitutions must be requests in writing and can only be approved by the landscape architect in writing. Any request for on-site meetings must be scheduled with a minimum of 48 hours notice to the landscape architect.
- Landscape work shall include but not be limited to grubbing our weeds, tilling, planting, mulching, weed control and clean up. Remove all existing sod, weeds and debris in proposed beds prior to installation.
- Grade at start of landscape installation shall be +/- 0.1" finished grade. Fine grade to remove rocks 2" diameter or greater and debris. Fine grade to eliminate any depressions that would hold water. Contractor is responsible for maintaining on-site drainage during installation. No import or export of soil is in scope of these specifications. The contractor is responsible for installing any erosion control devices necessary to insure the containment of any and all sediment from leaving the construction site. Contractor shall not change grade to cause runoff to stand or cause runoff to flow toward building.
- All grades shall slope away from building enough for positive drainage away from the building to occur. Inform landscape architect if there are any drainage problems prior to installation.
- Call to locate utilities prior to digging. Contact landscape architect if there are any conflicts with existing utilities and proposed plantings or irrigation installation. Contractor shall be responsible to coordinate with general contractor and site package contractor all underground utilities on-site prior to digging.
- The contractor shall obtain a full agronomic soils test with recommendations for the pH amendment. Take random samplings representing soil from across entire project. Test shall be obtained at least 2 weeks prior to start of installation. Bring a copy of soils report to pre-construction meeting for landscape architects records. Fertilize and adjust pH according to soils report.
- All planting beds are to be amended with the following materials per 1,000 sf
  - Topdress beds with three (3) cubic yards of mushroom compost
  - Fifteen (15) lbs. of agricultural gypsum
 Then machine till to depth of 4-6".
- The burden of the proof of soil amendment rests with the contractor. Soil tests may be required at the contractor's expense in order to confirm amendment of soil.
- Install mechanical irrigation system prior to plantings. Provide owner with accurate as-built for irrigation and sleeve installation.
- Plant shrubs and trees slightly elevated above finished grade.
- Remove tags from plant material that could cause girdling of the plant in the future.
- Tree calipers shall be measured 6" above rootball for trees 4" caliper or less and 12" above rootball for trees greater than 4" caliper.
- Trees shall not be planted within 4' of buried utilities. Relocate slightly if necessary. Contractor responsible for locating utilities prior to digging. Trees shall not be planted closer than 4' from the edge of hard surfaces such as curbing, foundations, patios and sidewalks.
- Rootball for containerized plants shall hold soil when removed from pot but not be rootbound. No B&B plants shall be accepted if rootball is broken or loose.
- All planting holes for trees and shrubs shall be two (2) times the diameter of the rootball. Set plant with top of rootball slightly elevated. Backfill for all plantings shall be amended soil being 3 parts soil from pit: 1 part mushroom compost. Mix evenly. Set plant in center of hole. Plant plumb and with best side turned out toward highest visibility. Backfill in manner that avoids air pockets. Install 21 gram agriform fertilizer tablets as per manufacturer's recommendations.
- Set B&B plants in hole, backfill 2/3 amended soil to stabilize, remove top 1/3 portion of burlap and wire, then complete backfill with amended soil.
- Apply pre-emergent herbicide for weed control to all planting beds prior to mulching as per manufacturer's recommendations. Check label for compatibility with plant material.
- Mulch with brown cypress mulch to the depth of 2".
- All chemicals on-site to be kept in their original containers and shall be handled, installed and disposed of in accordance to prevailing laws.
- Do not prune any trees or shrubs without written prior approval from landscape architect.
- Guy and stake all trees as per details shown on plan. Guy in manner that avoids putting stress on smaller limbs and avoid wires scarring bark due to wind movement.
- Keep all plants watered well during installation process. Deep water all plantings within 24 hours of initial installation.
- All areas not designated as planting beds shall be sodded. Sod area shall be tilled to the depth of 4-6" then fine graded and rocks and debris removed. Eliminate any unevenness prior to sodding or seeding.
- Apply LESCO 16-4-8 fertilizer to all areas to be sodded or seeded as per soils report and manufacturer's recommendations.
- Sod shall be fresh cut Tiftway 419 Bermudagrass. Sod shall be well rooted and shall hold together when picked up from the corners. Lay sod with hand tight joints. Avoid overlapping.
- Roll sod with a water ballast to have good soil to root contact. Water within 8 hours of installation and keep well watered during the establishment period. Do not roll sod on slopes that exceed 3:1.
- Apply pre-emergent to all sodded areas.
- Clean up site daily of all materials associated with the landscape installation until completion of the installation. Keep tools safely placed to avoid injuries.
- The contractor shall maintain the landscape throughout the installation period. Any plants that die or are found to be in an unhealthy condition during the warranty time shall be replaced at the contractor's expense within three (3) weeks of notification of death or decline.

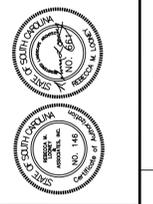
**PLANT SCHEDULE**

<u>LARGE TREE DECIDUOUS</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
	AFAB	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple Red Fall color	B & B	2.5"Cal	14-16' ht.	6
	PC	Pistacia chinensis / Chinese Pistache	B & B	2.5"Cal	14-16' ht.	5
	QP	Quercus phellos / Willow Oak	B & B	2.5"Cal	14-16' ht.	14
	SB	Salix babylonica / Weeping Willow	B & B	2.5"Cal	14-16' ht.	1
<u>LARGE TREE EVERGREEN</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
	QVC	Quercus virginiana 'Cathedral' / Cathedral Live Oak	B & B	2.5"Cal	14-16' ht.	3
<u>PALM TREES</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
	SP	Sabal palmetto / Cabbage Palmetto	B & B		14-16' ht.	5
<u>SMALL TREE DECIDUOUS</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>
	AB	Acer buergerianum / Trident Maple	B & B	2.5"Cal	8' ht.	2
	CCFP	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2.5"Cal	8' ht.	2
	LL	Lagerstroemia x 'Lipan' / Lipan' Crape Myrtle	B & B	2.5"Cal	8' ht.	3
	LIN	Lagerstroemia x 'Natchez' / White Crape Myrtle Multi-Trunk	B & B	2.5"Cal	8' ht.	4
<u>SHRUBS</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>QTY</u>
	AEAR	Azalea Encore 'Autumn Rouge' TM / Encore Azalea	3 gal			13
	PTM	Pittosporum tobira 'Mojo' / Mojo Pittosporum	3 gal			14
<u>GRASSES</u>	<u>CODE</u>	<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>QTY</u>
	MSA	Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass	3 gal			15

ALL AREAS NOT DESIGNATED AS PLANTING BEDS SHALL BE SODDED WITH BERMUDA GRASS 419 SOD

**NOTES: PROPERTY IS 2 ACRES, REQUIRED DFS IS 60 UNITS. 32" GRAND TREE TO REMAIN GIVES CREDIT OF 33 UNITS. REMAINING UNITS REQUIRED IS 27 UNITS. PLANTINGS AS SHOWN MEET AND EXCEED THOSE REQUIRED UNITS OF TREES WITH TOTAL OF 42 UNITS SHOWN.**

REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA  
 LANDSCAPE ARCHITECTURE • HORTICULTURE  
 P.O. BOX 24, BALLENTINE, SOUTH CAROLINA 29002  
 (803) 240-7990 • rmllooney@rebeccamlooney.com



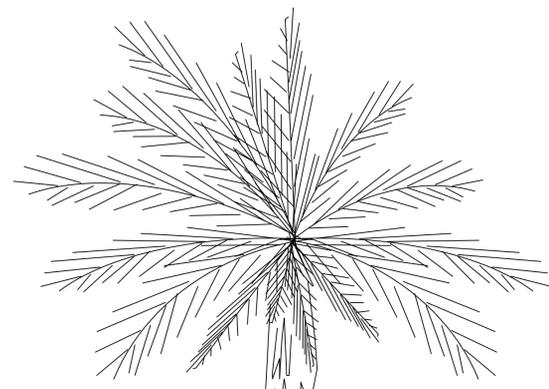
**PULASKI SQUARE**  
 PULASKI STREET, COLUMBIA, SC

DATE: 12/20/2013

REVISION HISTORY:			
DATE	NO.	ISSUE FOR	BY

PLANT MATERIAL SCHEDULE AND SPECIFICATIONS

SHEET NO. **L1.2**



2. HARDWOOD STAKES 2" X 2"  
SET AT APPROXIMATELY 70°  
DRIVEN (MIN. 18") FIRMLY  
INTO SUBGRADE PRIOR  
TO BACKFILLING

2 STRANDS OF ARBOR TIE tm  
AT 1/2 PALM HEIGHT

FORM SAUCER WITH  
3" CONTINUOUS RIM

SPECIFIED PLANTING MIX  
WATER & TAMP TO  
REMOVE AIR POCKETS

ELEVATE ROOT BALL  
ABOVE GRADE 4-6"

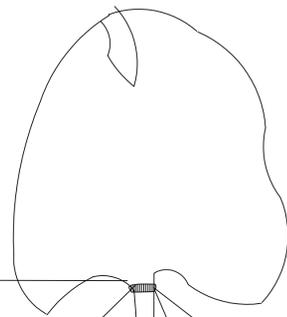
MULCH

INSTALL 20-10-5 PLUS MINORS AGRIFORM  
FERTILIZER TABLETS AS PER MANUFACTURER'S  
RECOMMENDATIONS

2 X BALL DIA.

PALM TREE PLANTING — ANGLE STAKE

SCALE: NOT TO SCALE



ARBOR TIE tm

PLANT SLIGHTLY ELEVATED  
ABOVE EXISTING GRADE

3 2"x4"x24" PRESS TREATED  
STAKES — TOP OF STAKE  
6" ABOVE GROUND, ATTACH  
FLAGTAPE FOR SAFETY  
SPECIFIED PLANTING MIX  
WATER & TAMP TO  
REMOVE AIR POCKETS

FORM SAUCER

MULCH

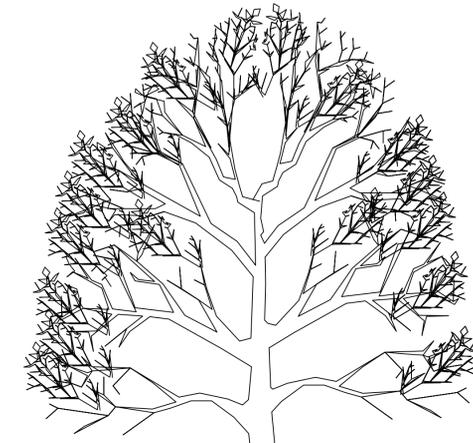
INSTALL 20-10-5 PLUS MINORS AGRIFORM  
FERTILIZER TABLETS AS PER MANUFACTURER'S  
RECOMMENDATIONS

BACKFILL 2/3 WAY TO STABILIZE  
TREE THEN REMOVE TOP 1/3 PORTION  
OF BURLAP (TYP.)

2 X BALL DIA.

TREE PLANTING — GUYING

SCALE: NOT TO SCALE



REMOVE ALL BARRIERS UPON  
COMPLETION OF PROJECT

ROOT PROTECTION ZONE:  
ONE FOOT FOR EACH INCH  
OF TRUNK DIAMETER

NO GRUBBING  
ALLOWED UNDER  
DRIP LINE

DRIP LINE

DIMENSION ON PLAN

3'-0"

DEAD TREES AND SCRUB  
GROWTH SHALL BE CUT  
FLUSH WITH ADJACENT  
GRADE

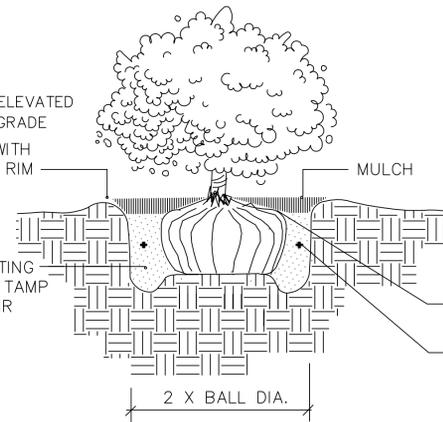
ORANGE SAFETY FENCE ON METAL POSTS OR  
2"x4" STANDARDS AND DOUBLE 1"x4" RAILS OR  
3' HIGH SILT FENCE WITH FLAGGING

GENERAL TREE PROTECTION NOTES:

1. NO GRADING WITHIN THE TREE PROTECTION ZONE.
2. NO PARKING, MATERIAL STORAGE, BURY PITS, CONCRETE WASHOUT, BURNING OF DEBRIS, OR OTHER SIMILAR CONSTRUCTION SITE ACTIVITIES THAT COULD DISTURB OR COMPACT THE SOIL WITHIN THE TREE PROTECTION ZONE.
3. INSTALL TREE PROTECTION BARRIERS PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION ACTIVITY AND KEEP BARRIERS IN PLACE UNTIL ZONING ADMINISTRATOR OR LAND DEVELOPMENT PLANNER APPROVES THEIR REMOVAL. THESE INCLUDE:
  - a. FOUR-FOOT TALL WOODEN POST AND RAIL FENCING OF 2"x4" POSTS AND DOUBLE 1"x4" RAIL.
  - b. ORANGE POLYETHYLENE LAMINAR FENCING MOUNTED ON WOODEN POSTS.
4. PLACE TREE PROTECTION BARRIERS AROUND THE TREES IN A RADIUS OF NO LESS THAN ONE FOOT (1') FOR EVERY ONE INCH (1") OF TREE TRUNK DIAMETER.

TREE PROTECTION

N.T.S.



PLANT SLIGHTLY ELEVATED  
ABOVE EXISTING GRADE  
FORM SAUCER WITH  
3" CONTINUOUS RIM

MULCH

SPECIFIED PLANTING  
MIX. WATER & TAMP  
TO ELIMINATE AIR  
POCKETS

PLANT SLIGHTLY ELEVATED

INSTALL 20-10-5 PLUS MINORS AGRIFORM  
FERTILIZER TABLETS AS PER MANUFACTURER'S  
RECOMMENDATIONS

2 X BALL DIA.

SHRUB PLANTING

SCALE: NOT TO SCALE

REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA  
LANDSCAPE ARCHITECTURE • HORTICULTURE  
P.O. BOX 24, BALLENTINE, SOUTH CAROLINA 29002  
(803) 240-7990 • rmllooney@rebeccamlooney.com



PULASKI SQUARE  
PULASKI STREET, COLUMBIA, SC

PROJECT TITLE:

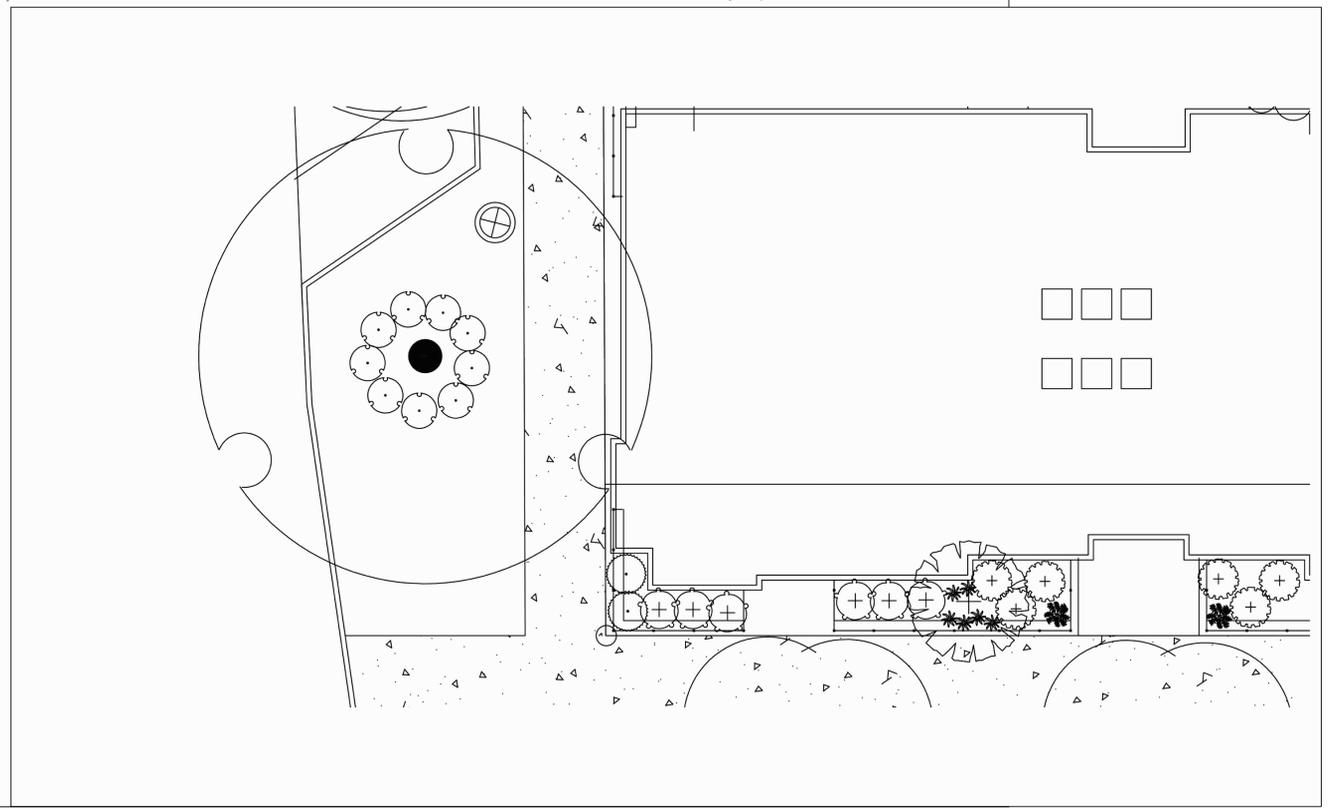
DATE:  
12/20/2013

DATE	NO.	ISSUED FOR	BY

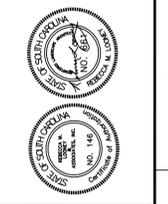
PLANTING DETAILS AND  
TREE PROTECTION DETAIL

DRAWING TITLE:

SHEET NO.  
L1.3



REBECCA M. LOONEY AND ASSOCIATES, INC. ASLA  
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PROJECT TITLE:  
**PULASKI SQUARE**  
 PULASKI STREET, COLUMBIA, SC

DATE:  
 12/20/2013

REVISION HISTORY:

DATE	NO.	ISSUE FOR	BY

DRAWING TITLE:  
**SAMPLE BLDG. A PLANTINGS  
 ON CORNER OF PULASKI  
 AND COLLEGE STREETS**

SHEET NO.  
**L1.4**



**SITE STATISTICS**

ZONING DISTRICT:

PROPOSED USE:

LAND AREA:

DENSITY:

ON SITE PARKING REQUIRED:

@ 2 SPACES/UNIT

MX-2 PARKING REDUCTION:

TOTAL ON SITE PARKING REQ'D

PARKING PROVIDED:

COMPACT SPACES ALLOWED:

COMPACT SPACES PROVIDED:

ON STREET PARKING PROVIDED:

MX-2 W/ INNOVISITA OVERLAY

MULTI-FAMILY

2.08 ACRES

(40 UNITS) 19.23 UNITS/ACRE

= 80 SPACES

(@ 40%) <32 SP>

48 SPACES

57 SPACES

@ 25% 12 SPACES

12 SPACES

25 SPACES

**SITE NOTES**

SITE SETBACKS

ZONED MX-2

FRONT YARD SETBACK:

MIN: N/A

MAX: 15'-0"

SIDE YARD SETBACKS

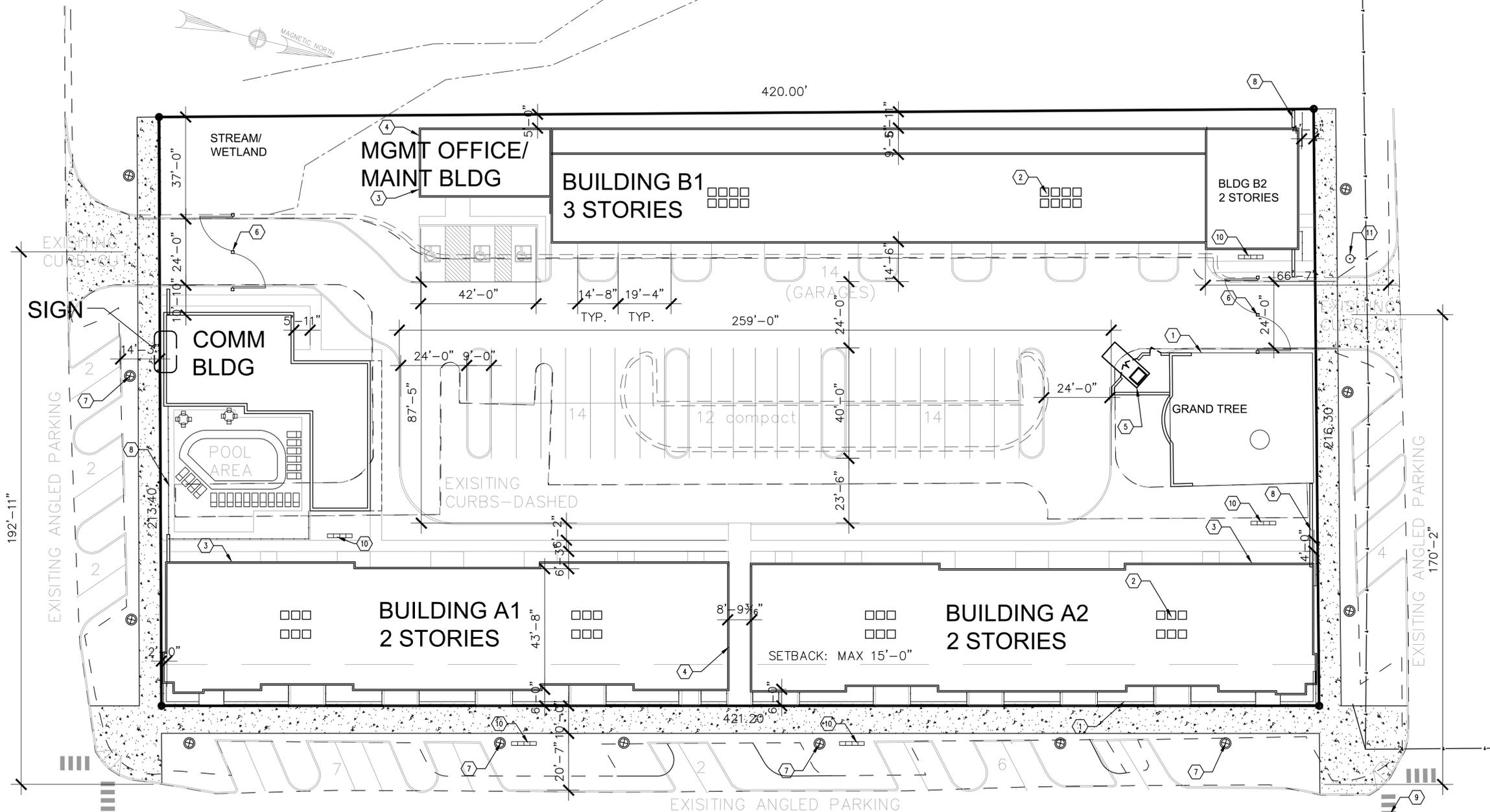
MIN: N/A

REAR YARD SETBACK

MIN: N/A

**CODED NOTES**

1. FENCING
2. CONDENSING UNITS
3. GAS METERS
4. ELECTRIC METERS
5. DUMPSTER
6. SECURITY GATES
7. STREET LIGHTS
8. WALL
9. SIDEWALK IMPROVEMENTS
10. BIKE RACKS
11. PROPOSED FIRE HYDRANT LOCATION; REFERENCE CIVIL DRAWINGS

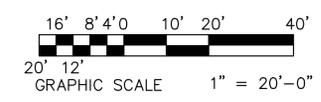


**PULASKI SQUARE APARTMENTS**  
520 PENDLETON STREET, COLUMBIA, SOUTH CAROLINA

ARCHITECTURAL SITE PLAN / EXTERIOR AMENITIES

D.E. WEATHERBY & ASSOCIATES, INC. 4716 KNOTTY KNOLLS DRIVE GAHANNA, OH 43230 614-396-3265

**ARCHITECTURAL SITE PLAN**  
SCALE 1" = 20'-0"



DATES	DRAWN BY	SHEET NO.
40% REVIEW		
PERMIT		
80% REVIEW		
BID ISSUE		
CONST. DOC.		
REVISIONS		

DEW

AS0.2

JOB NUMBER: W0187



	MATERIAL	MANUFACTURER	STYLE/COLOR
APARTMENT BUILDINGS			
FLOOR	COMPOSITE SHINGLES		
SIDING	CORRUGATED METAL		
BRICK	FACE BRICK		
SOFFIT / FASCIA	ALUMINUM		
WINDOWS	ALUMINUM		
ENTRY DOORS	INSULATED METAL		
BALCONY HANDRAILS	METAL		
GUTTERS / DOWN SPOUTS	ALUMINUM		
TRIM	FIBER CEMENT / ALUM.		

**PULASKI SQUARE APARTMENTS**  
 520 PENDLETON STREET, COLUMBIA, SOUTH CAROLINA

**SITE DETAILS**

D.E. WEATHERBY & ASSOCIATES, INC. 4716 KNOTTY KNOLLS DRIVE GAHANNA, OH 43230 614-396-3265

DATE	DRAWN BY	SHEET NO.
40% REVIEW		DEW <b>AS0.3</b>
PERMIT		
80% REVIEW		
BID ISSUE		
CONST. DOC.		
REVISIONS		JOB NUMBER: W0187

**N** DETAIL

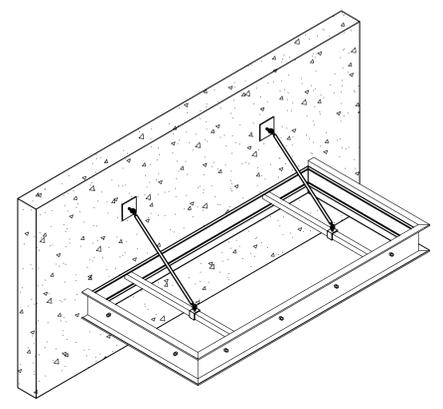
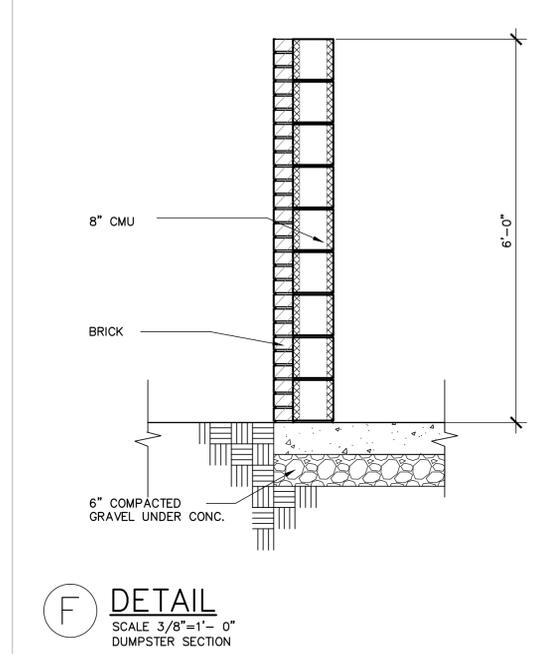
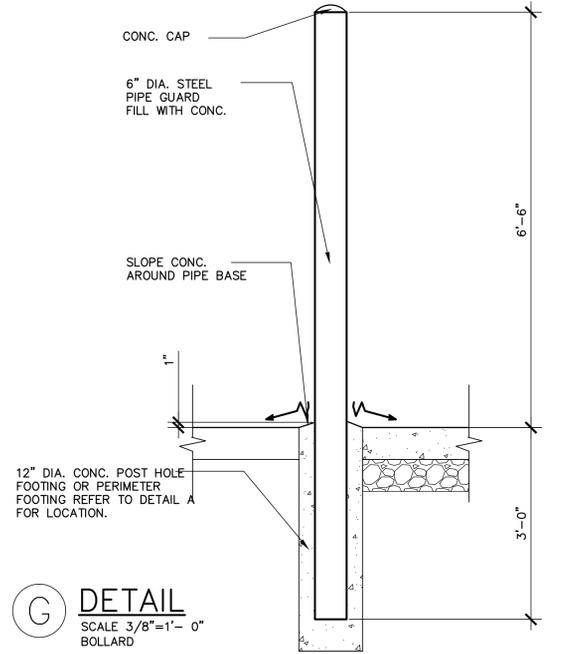
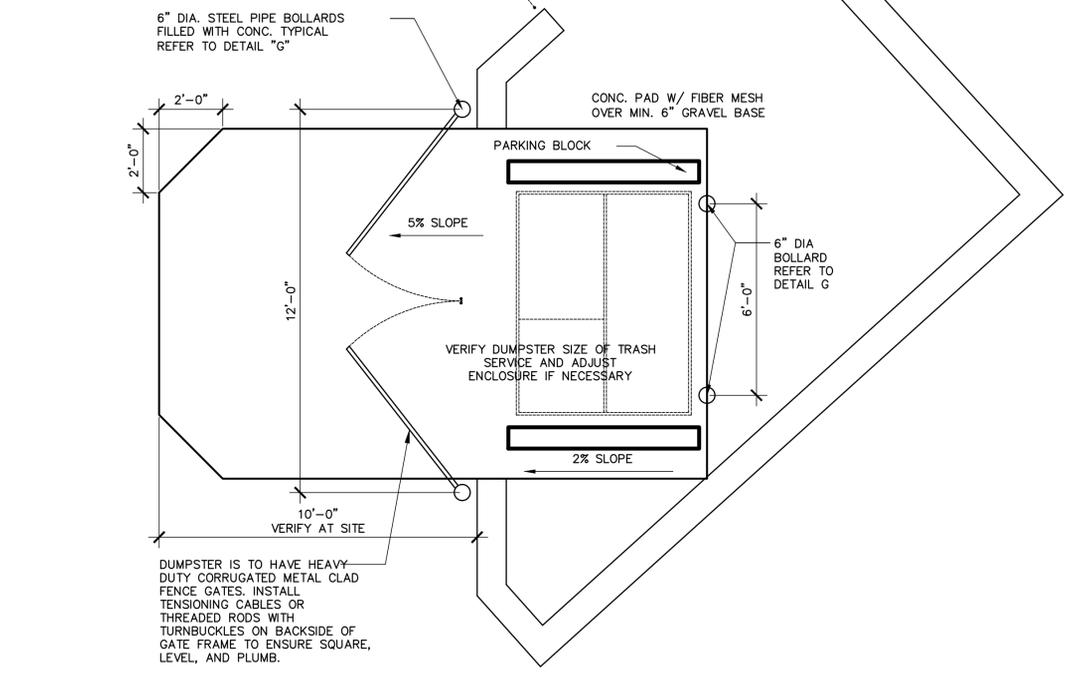
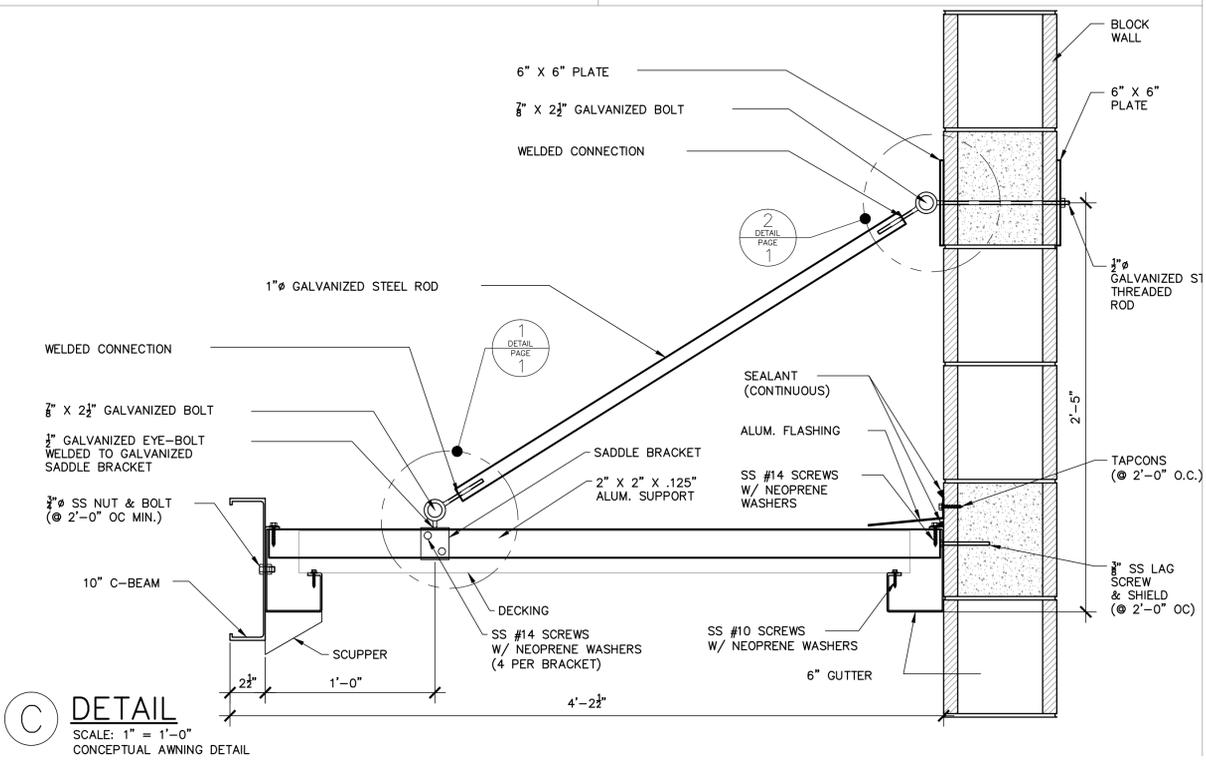
**G** DETAIL  
 SCALE 3/8"=1'-0"  
 BOLLARD

**F** DETAIL  
 SCALE 3/8"=1'-0"  
 DUMPSTER SECTION

**A** DETAIL  
 SCALE 3/8"=1'-0"  
 DUMPSTER PLAN

**E** DETAIL  
 SCALE: 3/4" = 1'-0"  
 CONCEPTUAL AWNING DETAIL

**D** DETAIL  
 SCALE 1/2" = 1'-0"  
 PROJECT SIGN PLAN



**C** DETAIL  
 SCALE: 1" = 1'-0"  
 CONCEPTUAL AWNING DETAIL