

**ORDINANCE NO. 2014-032**

ORIGINAL  
STAMPED IN RED

*Amending Ordinance 2012-059 granting encroachment to the University of South Carolina for use of the right of way area of the 1500 block of Greene Street and 800 block of Pickens Street adjacent to USC Petigru College, Richland County TMS #11304-05-01, for installation and maintenance of asphalt pavement, concrete curb, guttering, walkway, brick wall, wrought iron fencing, parking spaces, bike lane, wheel stops, handicap ramp, landscaping and irrigation system to include the 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street for installation and maintenance of stamped asphalt pavement crosswalks, concrete curb, guttering, columns, gate, islands, bike lanes and removal of thirty-five (35) parking spaces*

WHEREAS, by Ordinance No.: 2012-059 enacted on September 19, 2012, Mayor and City Council granted the University of South Carolina the right to use the 1500 block of Greene Street and 800 block of Pickens Street adjacent to USC Petigru College, Richland County TMS #11304-05-01, for installation and maintenance of asphalt pavement, concrete curbing, guttering, walkway, brick wall approximately two hundred eighty (280') feet in length and varying in height from six (6") inches to two (2') feet with wrought iron fencing approximately three (3') feet in height and two hundred eighty (280') feet in length along the top of the wall, parking spaces with wheel stops, a bike lane, handicap ramp, landscaping and irrigation system, a copy of which is attached hereto and incorporated herein; and,

WHEREAS, the University of South Carolina (hereinafter "Grantee") desires to amend Ordinance 2012-059 to include installation and maintenance of stamped asphalt pavement crosswalks, concrete curb, guttering, six (6) brick columns approximately two (2') feet six (6") inches in width and two (2') feet six (6") inches in depth and approximately twelve (12') feet in height; six (6) brick columns approximately one (1') foot eight (8") inches in width approximately one (1') foot eight (8") inches in depth and approximately seven (7') feet in height; three (3) wrought iron gates each approximately twenty-four (24') feet in width and approximately seven (7') feet in height; islands; landscaping and irrigation system; bike lanes; and removal of thirty-five (35) parking spaces in the 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street as shown on the attached drawings; and,

WHEREAS, it appears that the encroachment will not interfere with the use of the medians or street for traffic, utility locations or other uses within the foreseeable future; NOW, THEREFORE,

BE IT ORDAINED by the Mayor and City Council of the City of Columbia, South Carolina, this 8th day of April, 2014 that Grantee is hereby granted the right to amend Ordinance 2012-059 to include installation and maintenance of stamped asphalt pavement crosswalks, concrete curb, guttering, six (6) brick columns approximately two (2') feet six (6") inches in width and two (2') feet six (6") inches in depth and approximately twelve (12') feet in height; six (6) brick columns approximately one (1') foot eight (8") inches in width approximately one (1') foot eight (8") inches in depth and approximately seven (7') feet in height; three (3) wrought iron gates each approximately twenty-four (24') feet in width and approximately seven (7') feet in height; islands; landscaping and irrigation system; bike lanes; and removal of thirty-five (35) parking spaces in the 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street as shown on the attached drawings.

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ALL WORK SHALL COMPLY with the requirements of The City of Columbia and South Carolina Department of Transportation now in existence or hereafter enacted. The materials and type of finish to be used are to be approved by the City Engineer prior to installation. Any damage to the street or sidewalk caused by construction shall be repaired to the satisfaction of the City Manager. Improvements within the encroachment shall be maintained by the grantee at no cost to the City in a manner approved by the City Manager.

PROVIDED FURTHER that the privilege granted hereby is subject to the Grantee complying with the following conditions, restrictions or limitations:

1. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets;
2. All trees shall be protected;
3. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.
4. Grantee is to coordinate existing and proposed crosswalks, ramps and curb cuts to insure proper alignment.
5. Grantee shall mitigate any on-street parking lost due to the project.

PROVIDED FURTHER that the privilege granted hereby may be modified or terminated by Columbia City Council at any time without notice to the Grantee, its successors and assigns.

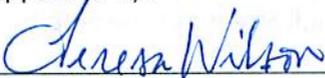
BE IT FURTHER ORDAINED that Grantee, in consideration of the above privilege, shall at its expense provide for protection and relocation of all utilities that might be within this area to the satisfaction of the City Manager.

Requested by:

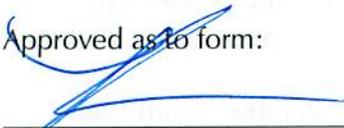
University of South Carolina \_\_\_\_\_

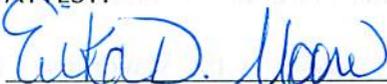
  
\_\_\_\_\_  
MAYOR

Approved by:

  
\_\_\_\_\_  
City Manager

Approved as to form:

  
\_\_\_\_\_  
City Attorney

ATTEST:  
  
\_\_\_\_\_  
City Clerk

Introduced: 4/1/2014

Final Reading: 4/8/2014

**CITY COUNCIL  
ENCROACHMENT SUMMARY  
2014-032**



**1300, 1400 AND 1500 BLOCKS OF GREENE STREET  
800 BLOCK OF PICKENS STREET  
600 AND 700 BLOCKS OF BULL STREET  
WALKWAY, BICYCLE LANES, GATES, COLMUNS, LANDSCAPING AND  
ROADWAY IMPROVEMENTS**

<b>Subject Property:</b>	Right-of-way adjacent to USC Petigru College, 1500 Block of Greene Street and 800 Block of Pickens Street, 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street
<b>Council District:</b>	3
<b>Proposal:</b>	Amending Ordinance 2012-059 to include the 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street for installation and maintenance of stamped asphalt pavement crosswalks, concrete curb, guttering, columns, gates, islands, bike lanes and removal of thirty-five (35) parking spaces
<b>Applicant:</b>	University of South Carolina
<b>Staff Recommendation:</b>	Approval

<b>Detail:</b>	<p>The applicant is requesting to amend Encroachment Ordinance No. 2012-059 to include the installation and maintenance of stamped asphalt pavement crosswalks, concrete curb, guttering, six (6) brick columns approximately two (2') feet six (6") inches in width and two (2') feet six (6") inches in depth and approximately twelve (12') feet in height; six (6) brick columns approximately one (1') foot eight (8") inches in width approximately one (1') foot eight (8") inches in depth and approximately seven (7') feet in height; three (3) wrought iron gates each approximately twenty-four (24') feet in width and approximately seven (7') feet in height; islands; landscaping and irrigation system; bike lanes; and removal of thirty-five (35) parking spaces in the 1300 and 1400 blocks of Greene Street and 600 and 700 blocks of Bull Street, as shown on the attached drawings.</p> <p>The applicant has worked with staff regarding the removal and mitigation of the metered parking spaces along Greene Street and design of the bicycle lane. Conditions of the proposed encroachment are as follows:</p> <ol style="list-style-type: none"> <li>1. Irrigation must be designed to avoid spraying walkways, sidewalks and streets and/or creating hazardous conditions upon the walkways, sidewalks and streets;</li> <li>2. All trees shall be protected;</li> <li>3. Grantee is responsible for all maintenance and assuring that all accessibility and ADA requirements are met and maintained.</li> <li>4. Grantee is to coordinate existing and proposed crosswalks, ramps and curb cuts to insure proper alignment.</li> <li>5. Grantee shall mitigate any on-street parking lost due to the project.</li> </ol>
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<b>CITY AGENCY COMMENTS FOR ENCROACHMENT</b>	
<b>Planning &amp; Development Services</b>	Recommend approval. Bicycle markings and signage to be reviewed and approved by staff prior to installation.

<b>Streets</b>	<b>Recommend approval.</b>
<b>Utilities and Engineering</b>	<b>Recommend approval.</b>
<b>Traffic Engineering</b>	<b>Recommend approval.</b>
<b>Forestry</b>	<b>Recommend approval.</b>
<b>Land Development</b>	<b>Recommend approval.</b>
<b>Fire</b>	<b>Recommend approval.</b>

**REQUEST FOR AN ENCROACHMENT ORDINANCE**

For a continuing encroachment on any type of property in which the City has an interest (i.e., rights of way, tree zone, sidewalk, streets), the person or entity is required to have an encroachment ordinance enacted by City Council permitting the encroachment. Encroachment ordinances are required for but not limited to: irrigation systems; landscaping; fencing; walls; pavers; walkways; outdoor dining items (chairs, tables, umbrellas, etc.); awnings; bollards and directional signs (i.e., churches) *Business signs are NOT permitted via an encroachment. An encroachment must comply with all existing City codes, rules and regulations, the Americans with Disabilities Act, if applicable, and is subject to review and approval by City staff. Enactment of the encroachment ordinance by a majority vote of City Council, which is a discretionary legislative act, is also required. In order to obtain an encroachment ordinance from the City of Columbia, it will be necessary for the City of Columbia to be named as an additional insured on your homeowners' policy with limits being increased to \$600,000 as required by Sec. 11-71. It is recommended that you contact your insurance provider to determine if it will name the City of Columbia as an additional insured prior to submitting your request for an encroachment ordinance. If you have any questions concerning these requirements, please contact Chip Timmons with Risk Management.*

Please complete and submit this form along with any attachment(s) to Shari Ardis by e-mail at slardis@columbiasc.net ; fax at 803-737-4250; or mail to Shari Ardis, Legal Department, POB 147 Columbia, SC 29217, for preparation of an encroachment ordinance. Copies to City departments should be directed to the contact person for that department as shown below and not through the Legal Department. Chip Timmons with Risk Management (343-8778 or catimmons@columbiasc.net ) should be contacted regarding the insurance requirements.

Date: 12/12/13 Property Owner: University of South Carolina

Applicant's Name if different from Property Owner: Mr. Yancey Modesto

Contact Information: Telephone Number: (803) 777-8478 Fax Number: 803-777-7334

Mailing address: 743 Greene Street, Columbia SC 29204 E-mail address: YMODESTO@fmc.sc.edu

Encroachment Location (Address): Bull St. from Greene to Devine and Greene St. from Sumter to Pickens  
(If corner lot, include name and block number of side street, i.e., 1737 Main Street and 1100 block of Laurel Street)

Tax Map Number for Encroachment Location: 11303-07-01 (General Area)

Encroachment type:  Wall  Fence  Columns  Steps  Irrigation System  Landscaping  Driveway  Pavers

Walkway/Side walk  Underground Utilities  other

If Other - specify: stamped asphalt pavement crosswalks, new curb/gutter, remove 35 parking spaces

Dimensions (height/width/length): install three column/gate islands and bike lanes

(i.e., 6'x42' wooden privacy fence; two 12'x4' concrete step; two 12'x12" x24" brick columns; 4'x15' brick paver walkway)

Construction material: \_\_\_\_\_

Please provide photographs and drawing or site plan drawn to scale - no larger than 8-1/2 x 11.

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<p>_____ Church Directional Signs (Must provide picture or drawing of proposed signs that reflect dimensions)</p> <p>Location(s) signs are to be placed (i.e. Northeast corner of Main Street) _____</p> <p>_____</p> <p>_____</p>	
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Businesses only:  Outdoor dining No. of chairs: \_\_\_\_\_ No. of Tables \_\_\_\_\_

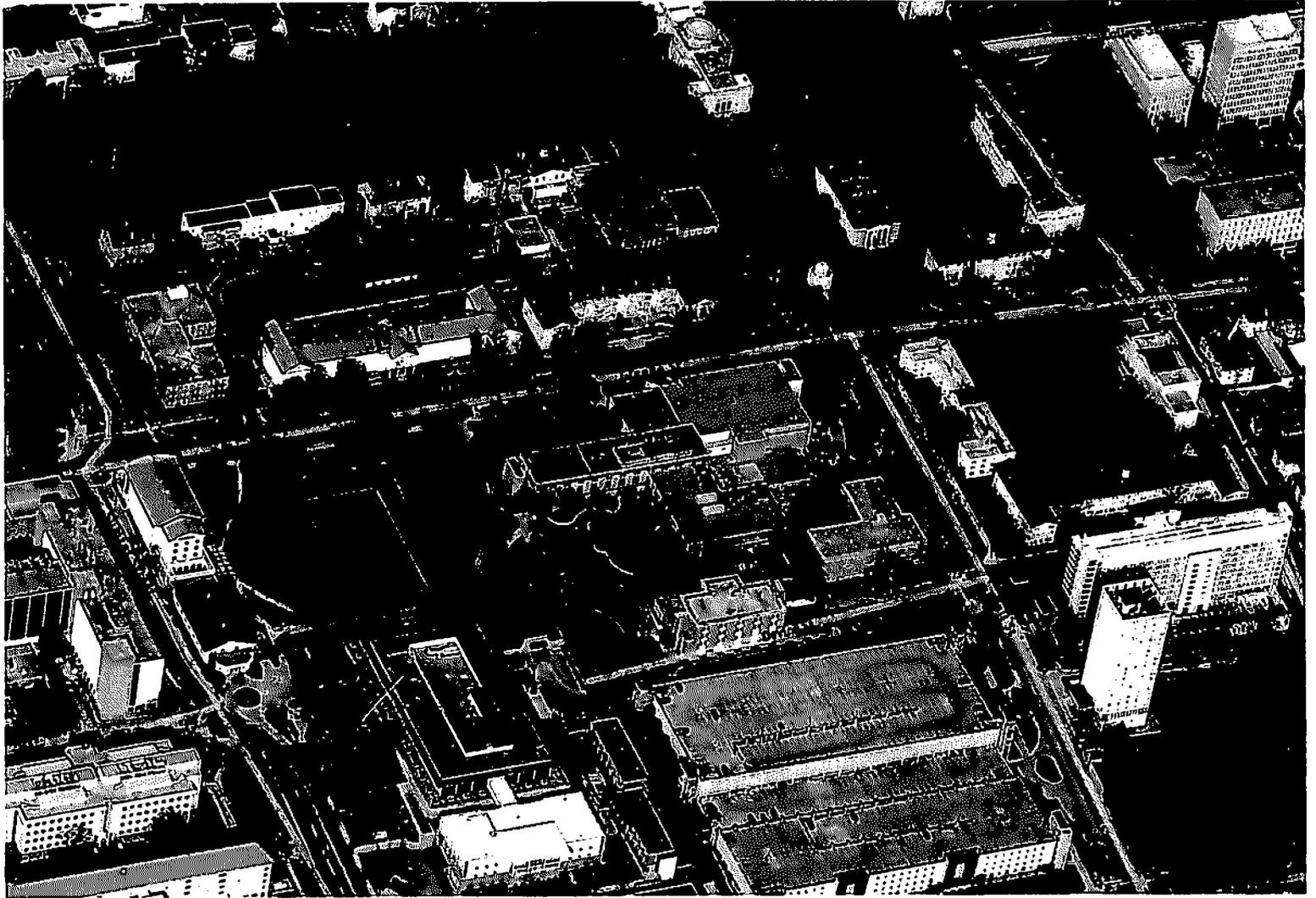
Hours of operation for outdoor dining: \_\_\_\_\_

Number of planters: \_\_\_\_\_ Awning: \_\_\_\_\_ (dimensions - size/material) \_\_\_\_\_

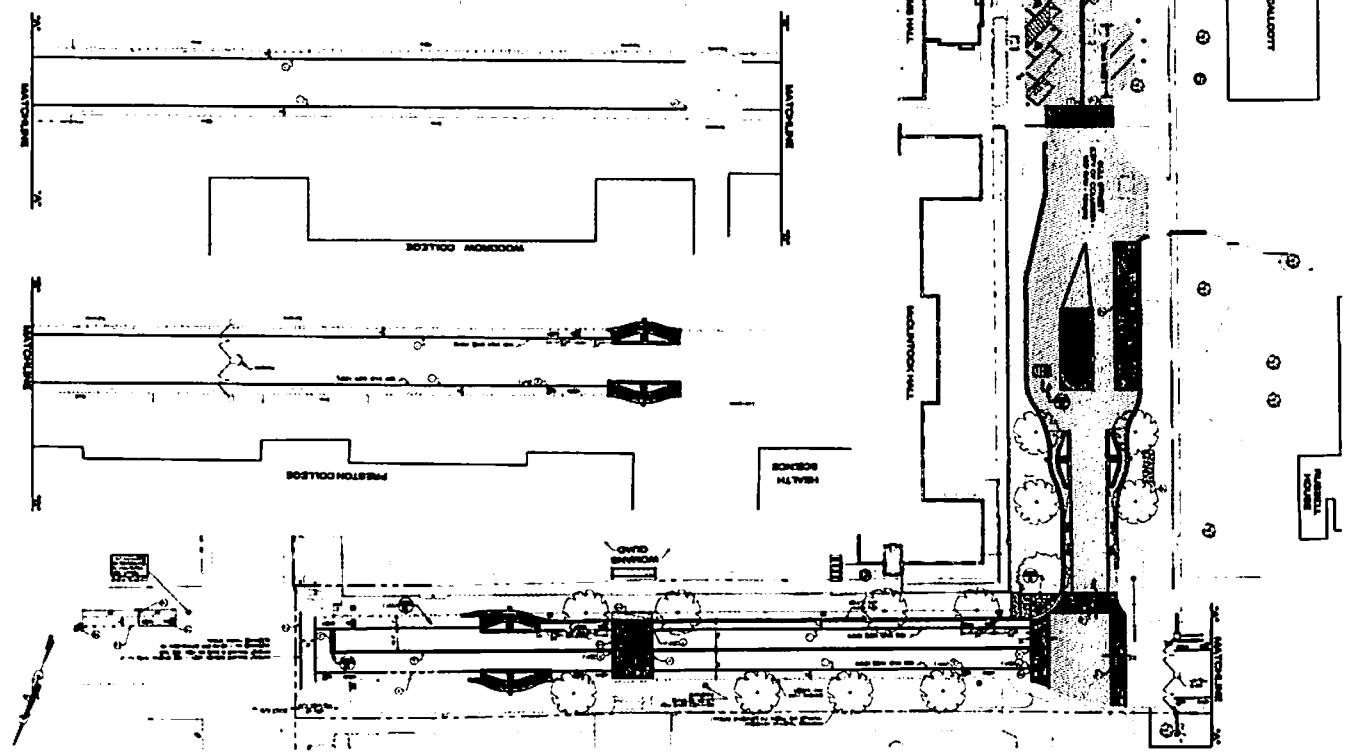
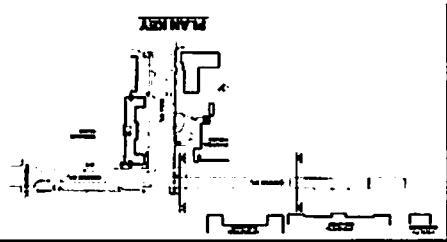
Other: \_\_\_\_\_ (or complete applicable "Encroachment type" section above)

The proposed ordinance will be sent to the requesting party and City offices for review and approval. Krista Hampton will compile the recommendations and forward them to the City Clerk for scheduling before City Council. This process may take from 30-90 days.

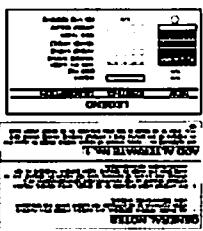
Contact	Department	Telephone Number	Fax Number
John Dooley	Utilities and Engineering	545-3240	733-8674
Joey Jaco	Engineering	545-3400	988-8199
Missy Gentry	Public Works	545-3780	733-8648
Marc Mylott	Planning and Development Services	545-3426	255-8935
Krista Hampton	Planning and Development Services	545-3420	733-8647
Jerry Thompson	Building Official	545-3442	733-8699
Sara Hollar	Forestry & Beautification	545-3860	733-8648
Amy Moore	Historic Preservation	545-3222	733-8647
Fred Delk	Columbia Dev. Corporation	988-8040	988-8039
Chip Timmons	Risk Management	343-8778	733-8245
Dana Higgins	Construction Management	545-3372	545-4130
David Brewer	Traffic Engineering	545-3830	733-8648
Robert Sweat	Street Division	545-3790	545-3785
Jonathan Chambers	Planning and Development Services	545-3206	343-8779
Carmen Floyd	Fire Marshall	545-3703	401-8839
Nancy Lee Trihey	Planning and Development Services	545-3218	733-8647
Lucinda Statler	Planning and Development Services	545-3222	733-8647

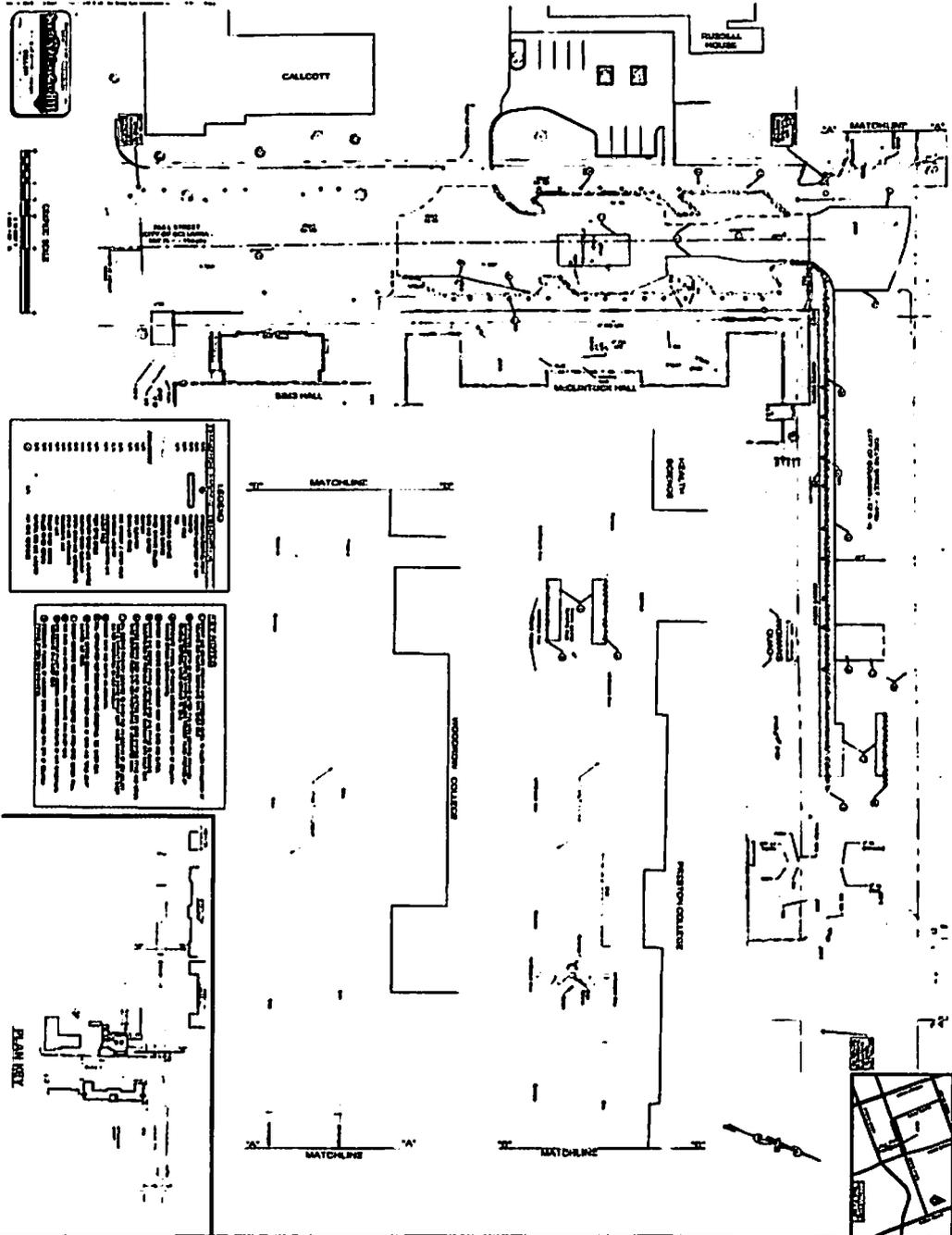


**STANDARD PLAN**  
**ENCLOSURE ORDINANCE**  
**UNIVERSITY OF SOUTH CAROLINA**  
**GREENSBORO / BULL ST. SITE IMPROVEMENTS**  
**COLUMBIA, SOUTH CAROLINA**  
**CBTODD**  
**ARCHITECTS**  
**1000 W. BROAD ST.**  
**COLUMBIA, SC 29201**  
**TEL: 803.792.1234**  
**FAX: 803.792.1235**  
**WWW.CBTODD.COM**



**NOTES**  
 1. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.  
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).  
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.  
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.  
 5. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.  
 7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.  
 8. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.  
 9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING LANDSCAPE AND PLANTINGS.  
 11. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING INFRASTRUCTURE.  
 13. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.  
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.  
 15. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.  
 16. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.  
 17. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING LANDSCAPE AND PLANTINGS.  
 19. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING INFRASTRUCTURE.





**LEGEND**

EXISTING CONDITIONS  
 DEMOLITION PLAN

1. EXISTING BUILDING FOOTPRINTS  
 2. EXISTING WALLS  
 3. EXISTING ROOFS  
 4. EXISTING CURBS  
 5. EXISTING DRIVEWAYS  
 6. EXISTING SIDEWALKS  
 7. EXISTING PAVEMENT  
 8. EXISTING UTILITIES  
 9. EXISTING TREES  
 10. EXISTING LANDSCAPE

**NOTES**

1. ALL EXISTING STRUCTURES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.

2. ALL EXISTING UTILITIES TO BE REMOVED UNLESS OTHERWISE NOTED.

3. ALL EXISTING TREES TO BE REMOVED UNLESS OTHERWISE NOTED.

4. ALL EXISTING LANDSCAPE TO BE REMOVED UNLESS OTHERWISE NOTED.

5. ALL EXISTING DRIVEWAYS TO BE REMOVED UNLESS OTHERWISE NOTED.

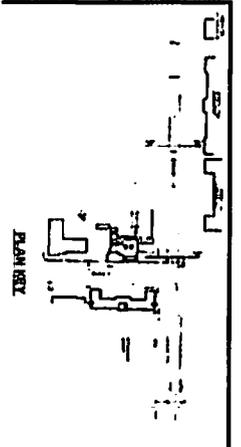
6. ALL EXISTING SIDEWALKS TO BE REMOVED UNLESS OTHERWISE NOTED.

7. ALL EXISTING PAVEMENT TO BE REMOVED UNLESS OTHERWISE NOTED.

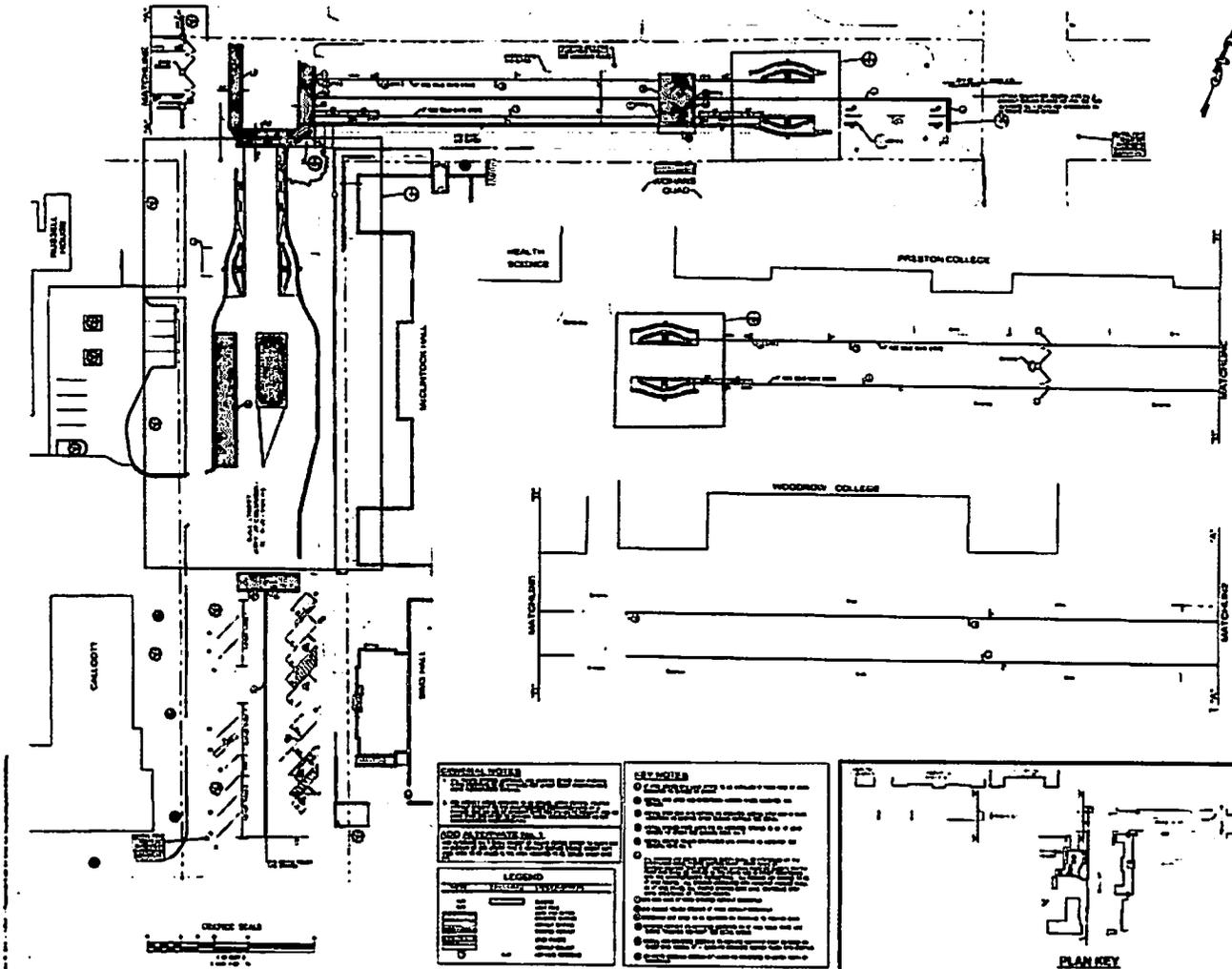
8. ALL EXISTING CURBS TO BE REMOVED UNLESS OTHERWISE NOTED.

9. ALL EXISTING WALLS TO BE DEMOLISHED UNLESS OTHERWISE NOTED.

10. ALL EXISTING ROOFS TO BE DEMOLISHED UNLESS OTHERWISE NOTED.



<p>C-1.0</p>	<p>EXISTING CONDITIONS AND DEMOLITION PLAN</p>	<p>UNIVERSITY OF SOUTH CAROLINA GREENS / BULL ST. SITE IMPROVEMENTS COLUMBIA, SOUTH CAROLINA</p>		
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**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE U.S. DEPARTMENT OF COMMERCE, BUREAU OF STANDARDS, SPECIFICATIONS FOR CONSTRUCTION.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE INDICATED BY THE SURVEYOR.
4. ALL UTILITIES SHALL BE PROTECTED AND SHALL NOT BE INTERRUPTED.
5. ALL UTILITIES SHALL BE RELOCATED AS NECESSARY TO ACCOMMODATE THE CONSTRUCTION.
6. ALL UTILITIES SHALL BE RELOCATED TO A MINIMUM DEPTH OF 48 INCHES.
7. ALL UTILITIES SHALL BE RELOCATED TO A MINIMUM DEPTH OF 60 INCHES.
8. ALL UTILITIES SHALL BE RELOCATED TO A MINIMUM DEPTH OF 72 INCHES.
9. ALL UTILITIES SHALL BE RELOCATED TO A MINIMUM DEPTH OF 84 INCHES.
10. ALL UTILITIES SHALL BE RELOCATED TO A MINIMUM DEPTH OF 96 INCHES.

**LEGEND**

Symbol	Description
Circle with dot	Proposed Building
Circle with cross	Proposed Structure
Circle with horizontal lines	Proposed Pavement
Circle with vertical lines	Proposed Gravel
Circle with diagonal lines	Proposed Concrete
Circle with wavy lines	Proposed Asphalt
Circle with dots	Proposed Sand
Circle with dashes	Proposed Gravel
Circle with solid fill	Proposed Concrete
Circle with diagonal lines (top-left to bottom-right)	Proposed Asphalt
Circle with diagonal lines (top-right to bottom-left)	Proposed Sand
Circle with horizontal lines (top to bottom)	Proposed Gravel
Circle with vertical lines (left to right)	Proposed Concrete

**KEY NOTES**

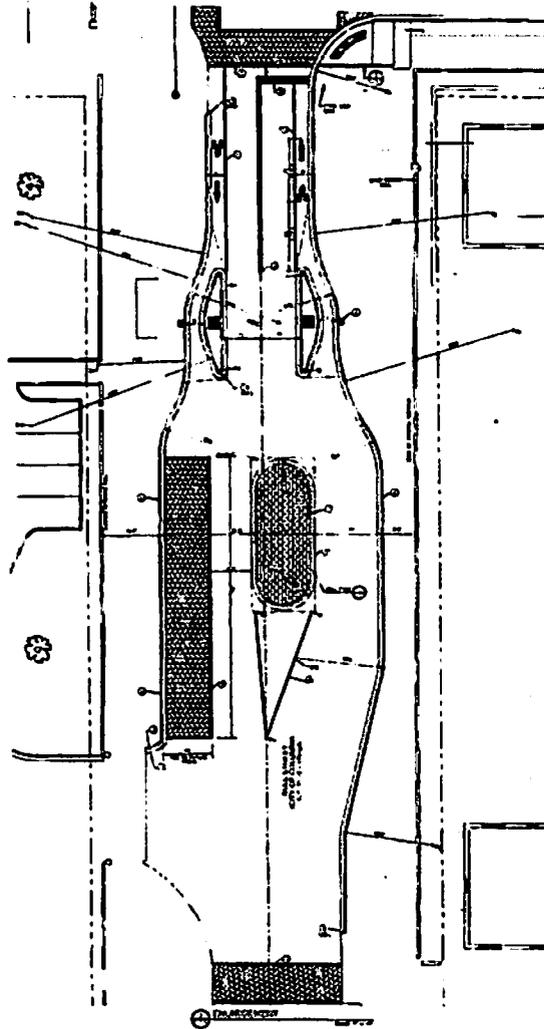
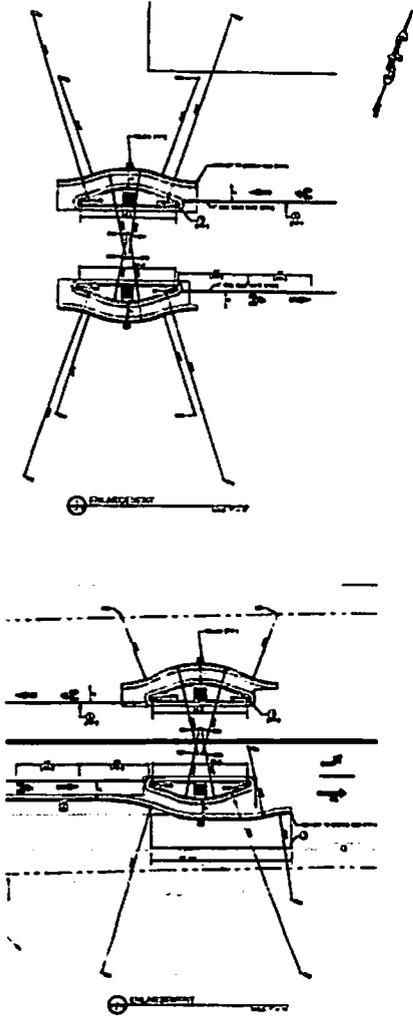
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**RB TODD**  
ARCHITECTS

**UNIVERSITY OF SOUTH CAROLINA**  
COLLEGE / BULL ST. SITE IMPROVEMENTS  
COLUMBIA, SOUTH CAROLINA

**STAGING PLAN**

**C-2.0**



NO.	DESCRIPTION	DATE
1	REVISION	
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NO.	DESCRIPTION
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50	REVISION

- KEY NOTES**
- 1. ALL REVISIONS SHALL BE MADE TO THE ORIGINAL DRAWING.
  - 2. ALL DIMENSIONS SHALL BE IN UNITS OF FEET AND INCHES.
  - 3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 4. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
  - 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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  - 23. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 24. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
  - 25. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 26. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
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  - 43. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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  - 45. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 46. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
  - 47. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 48. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
  - 49. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
  - 50. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.



**RB TODD**  
CONSULTING ENGINEERS

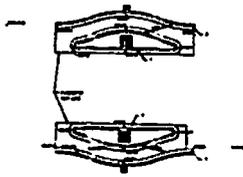
**UNIVERSITY OF SOUTH CAROLINA  
GREENSBORO / BALL ST. SITE IMPROVEMENTS**  
COLUMBIA, SOUTH CAROLINA

**ENLARGED STACKING PLAN**

DATE: 10/15/2010  
DRAWN BY: J. SMITH  
CHECKED BY: M. JONES  
SCALE: AS SHOWN

**C-2.1**

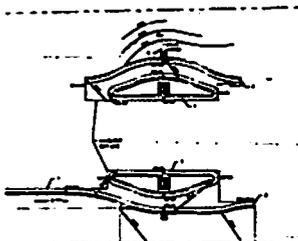




PLAN VIEW

**KEY NOTES**

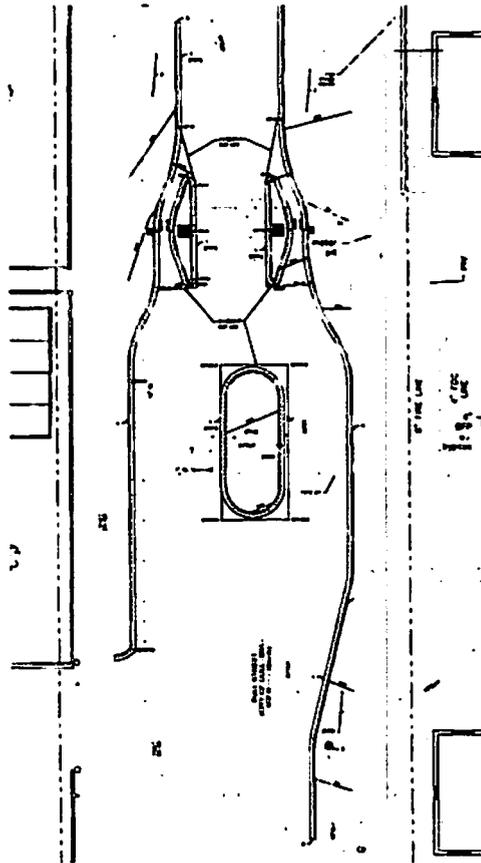
- 1. Size of basins to be determined by engineer.
- 2. Underdrains to be installed.



ELEVATION VIEW

**KEY NOTES**

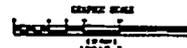
- 1. Size of basins to be determined by engineer.
- 2. Underdrains to be installed.
- 3. Slope of basins to be determined by engineer.
- 4. Slope of underdrains to be determined by engineer.
- 5. Slope of basins to be determined by engineer.



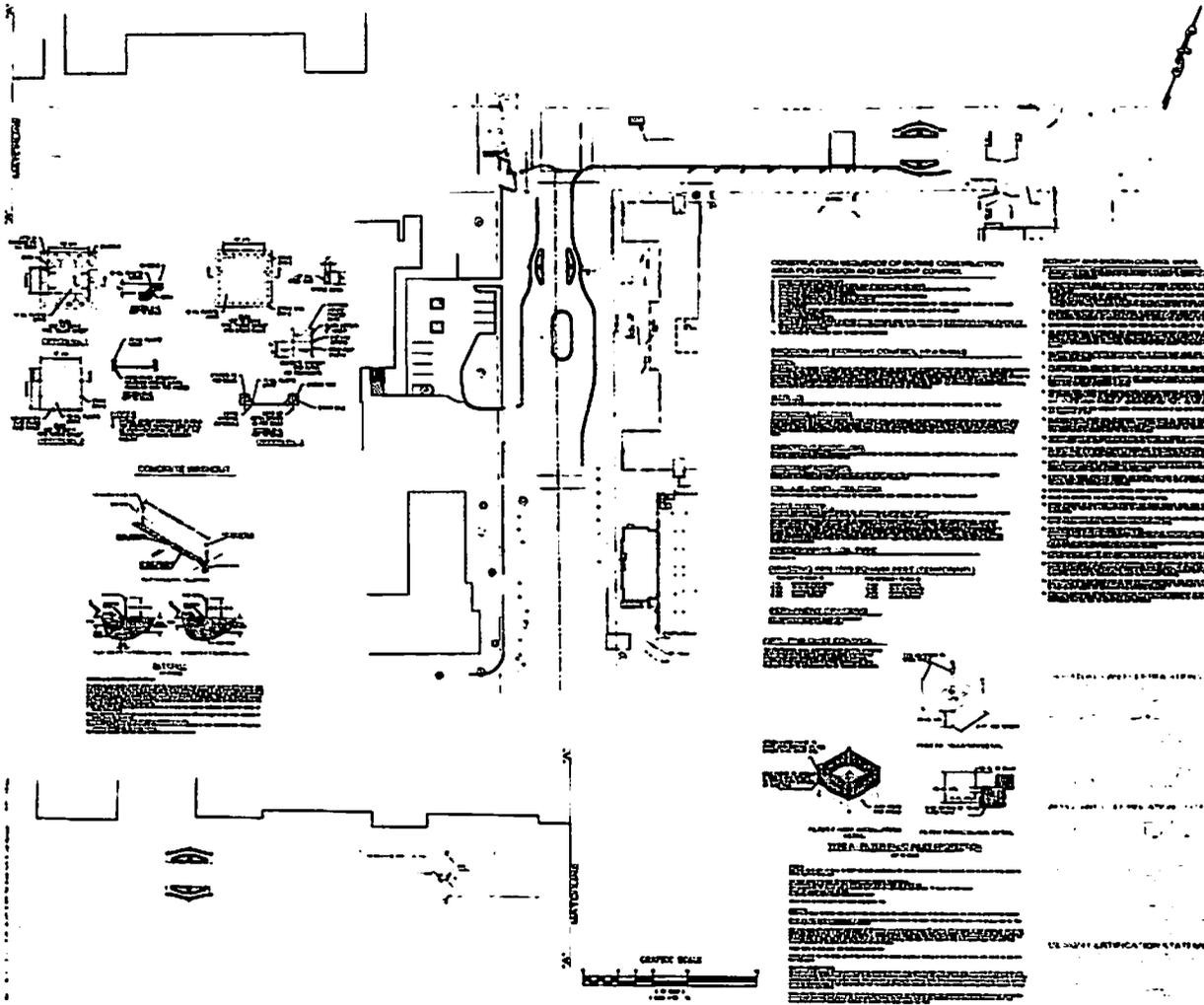
PLAN VIEW

**KEY NOTES**

- 1. Size of basins to be determined by engineer.
- 2. Underdrains to be installed.
- 3. Slope of basins to be determined by engineer.
- 4. Slope of underdrains to be determined by engineer.
- 5. Slope of basins to be determined by engineer.



		UNIVERSITY OF SOUTH CAROLINA GREENSBORO / BALL ST. SITE IMPROVEMENTS COLUMBIA, SOUTH CAROLINA
		ENLARGED GRADING AND UTILITIES PLAN C3.1



**CONSTRUCTION REQUIREMENTS OF SWINE CONSTRUCTION**  
 FOR EROSION AND SEDIMENT CONTROL

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

2. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON COMPLETION OF THE SLOPE.

3. ALL EXPOSED SOILS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.

4. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

5. EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.

6. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

7. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON COMPLETION OF THE SLOPE.

8. ALL EXPOSED SOILS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.

9. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

10. EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.

11. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

12. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON COMPLETION OF THE SLOPE.

13. ALL EXPOSED SOILS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.

14. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

15. EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.

16. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

17. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON COMPLETION OF THE SLOPE.

18. ALL EXPOSED SOILS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.

19. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

20. EROSION CONTROL MEASURES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.

**IDEA EXTERIOR PAINTS**

1. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

2. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

3. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

4. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

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8. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

9. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

10. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

11. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

12. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

13. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

14. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

15. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

16. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

17. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

18. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

19. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

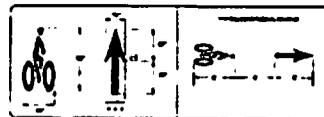
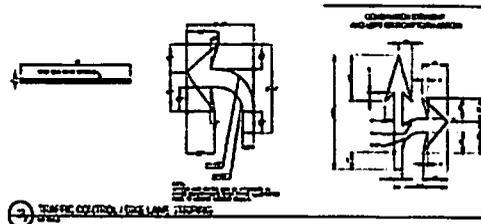
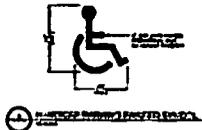
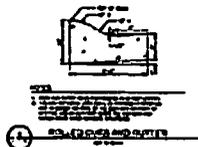
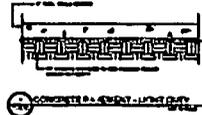
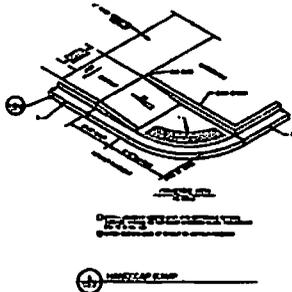
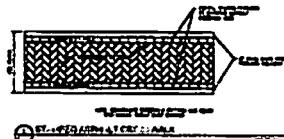
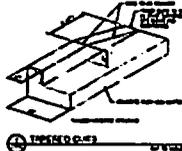
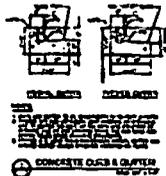
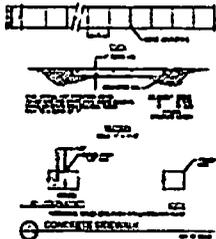
20. EXTERIOR PAINTS SHALL BE APPLIED TO ALL EXTERIOR SURFACES OF THE BUILDING.

**ABTODD**  
 ARCHITECTS & ENGINEERS  
 1000 W. GREEN ST., SUITE 100  
 COLUMBIA, SOUTH CAROLINA 29201  
 (803) 733-1111

UNIVERSITY OF SOUTH CAROLINA  
 GREENE / BALL ST. SITE IMPROVEMENTS  
 COLUMBIA, SOUTH CAROLINA

SEDIMENT AND EROSION CONTROL PLAN, NOTES, AND DETAILS

C4.0

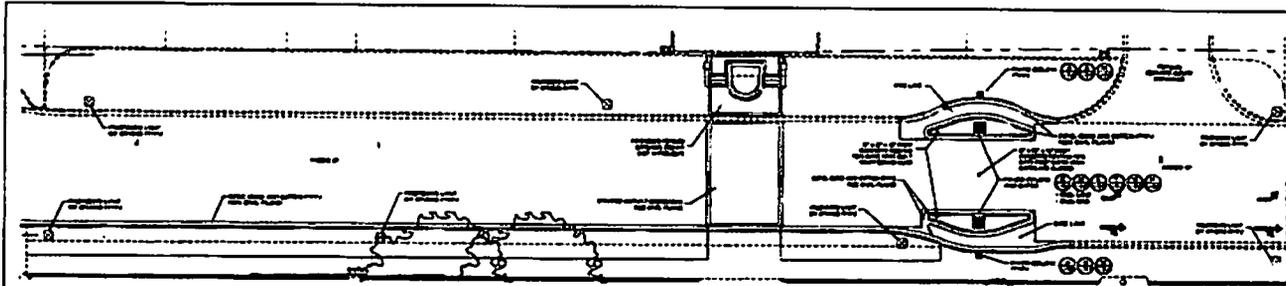


**RTODD**  
 CONSULTING ENGINEERS  
 ARCHITECTS

UNIVERSITY OF SOUTH CAROLINA  
 GREENS / DULL ST. SITE IMPROVEMENTS  
 COLUMBIA, SOUTH CAROLINA

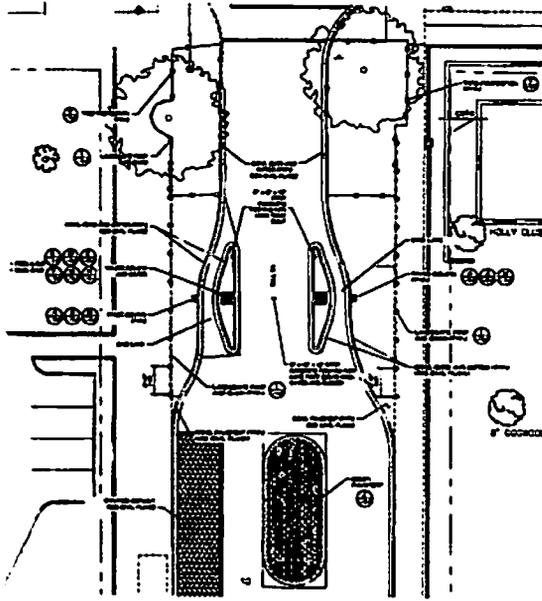
DETAILS

**C5.0**



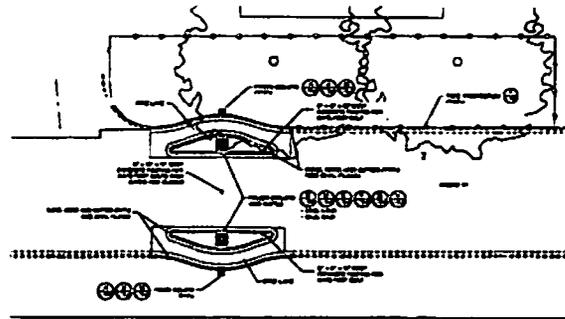
8 GREENE ST. DETAIL KEY  
PLAN

SCALE 1/4"=1'-0"



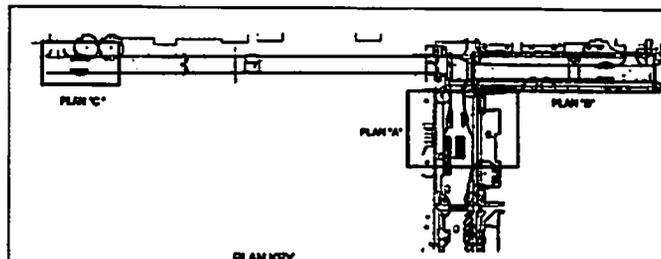
7 BULL ST. DETAIL KEY  
PLAN

SCALE 1/4"=1'-0"



9 GREENE ST. DETAIL KEY  
PLAN

SCALE 1/4"=1'-0"



PLAN KEY  
PLAN

NOT TO SCALE

GRIMBALL  
SCOTTILLI

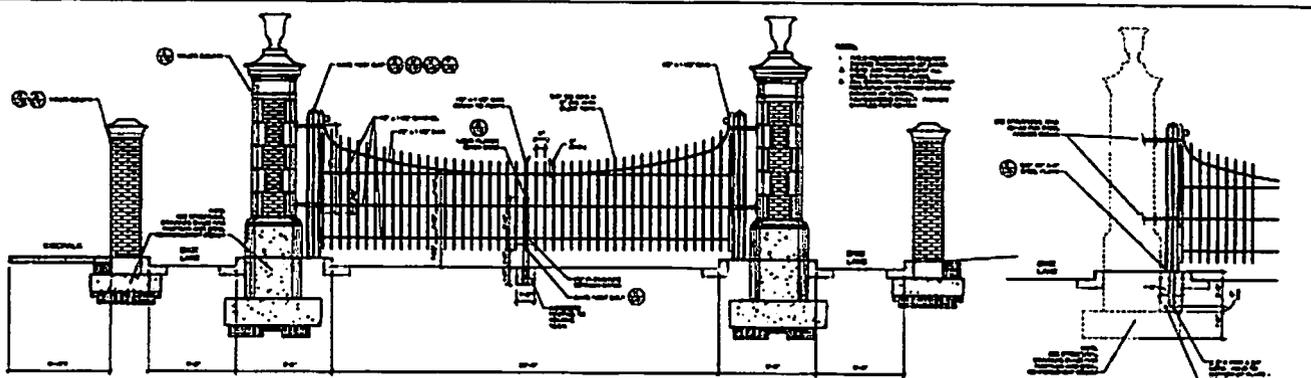


UNIVERSITY OF SOUTH CAROLINA  
DULL STREET TURN AROUND  
MECKLENBURG COUNTY, SOUTH CAROLINA

DETAIL KEY /  
TREE PROTECTION PLAN

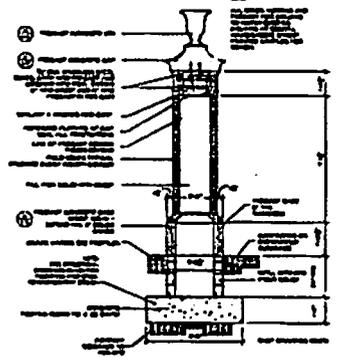


L-1.0



1. GATE COLUMN DETAIL  
SECTION  
SCALE 1/4" = 1'-0"

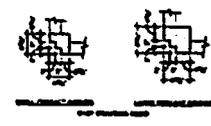
2. COLUMN POST DETAIL  
SECTION  
SCALE 1/4" = 1'-0"



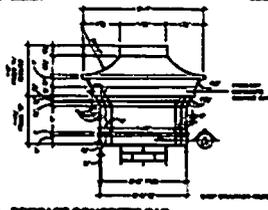
3. MAJOR COLUMN DETAIL  
SECTION  
SCALE 1/4" = 1'-0"



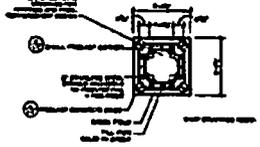
4. PRECAST CONCRETE URN  
SECTION  
SCALE 1/4" = 1'-0"



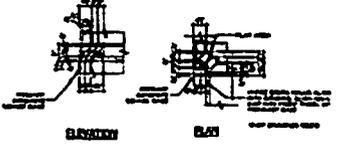
5. PRECAST CONCRETE CORNER  
SECTION  
SCALE 1/4" = 1'-0"



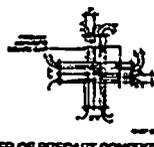
6. PRECAST CONCRETE CAP  
SECTION  
SCALE 1/4" = 1'-0"



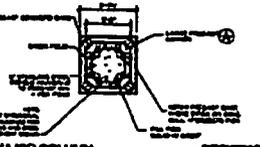
7. MAJOR COLUMN  
PLAN (SECTION 3 & 4) SCALE 1/4" = 1'-0"



8. PRECAST CONCRETE BASE  
SECTION  
SCALE 1/4" = 1'-0"



9. CORNER OF PRECAST CONCRETE CAP  
SECTION  
SCALE 1/4" = 1'-0"



10. MAJOR COLUMN  
PLAN (SECTION 9 & 10) SCALE 1/4" = 1'-0"

GRIMBALL  
SCOTT  
ARCHITECTS

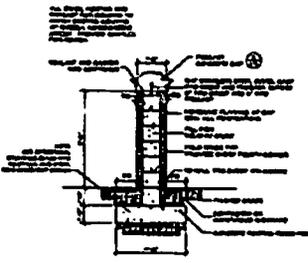


UNIVERSITY OF SOUTH CAROLINA  
BULL STREET TURN ARROUND  
BEULAH COUNTY, SOUTH CAROLINA

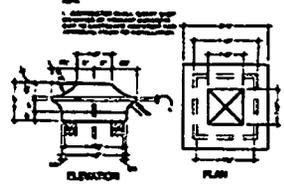
SITE DETAILS



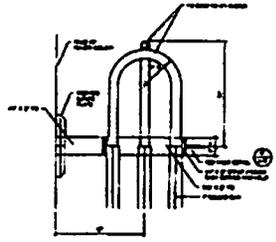
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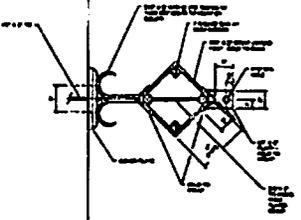
1 MENDR COLUMN DETAIL  
SECTION  
SCALE: 1/4" = 1'-0"



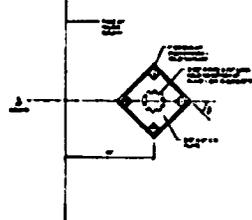
2 PRECAST CONCRETE CAP  
ELEVATION  
SCALE: 1/4" = 1'-0"



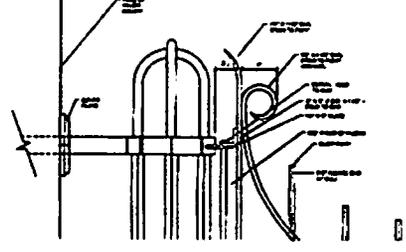
3 GATE POST CAP DETAIL  
SECTION  
SCALE: 1/4" = 1'-0"



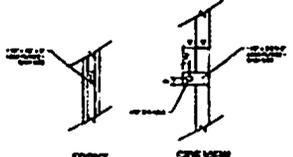
4 HINGE DETAIL  
PLAN  
SCALE: 1/4" = 1'-0"



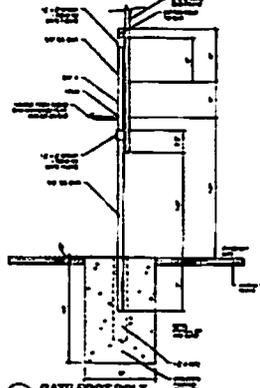
5 POST BASE DETAIL  
PLAN  
SCALE: 1/4" = 1'-0"



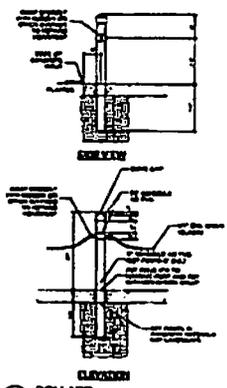
6 GATE DETAIL  
PLAN  
SCALE: 1/4" = 1'-0"



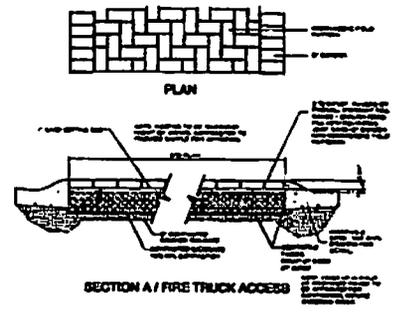
7 FRONT LOCK FLANGE  
SCALE: 1/4" = 1'-0"



8 GATE FOOT BOLT  
SECTION  
SCALE: 1/4" = 1'-0"



9 ROLLAPID  
SCALE: 1/4" = 1'-0"



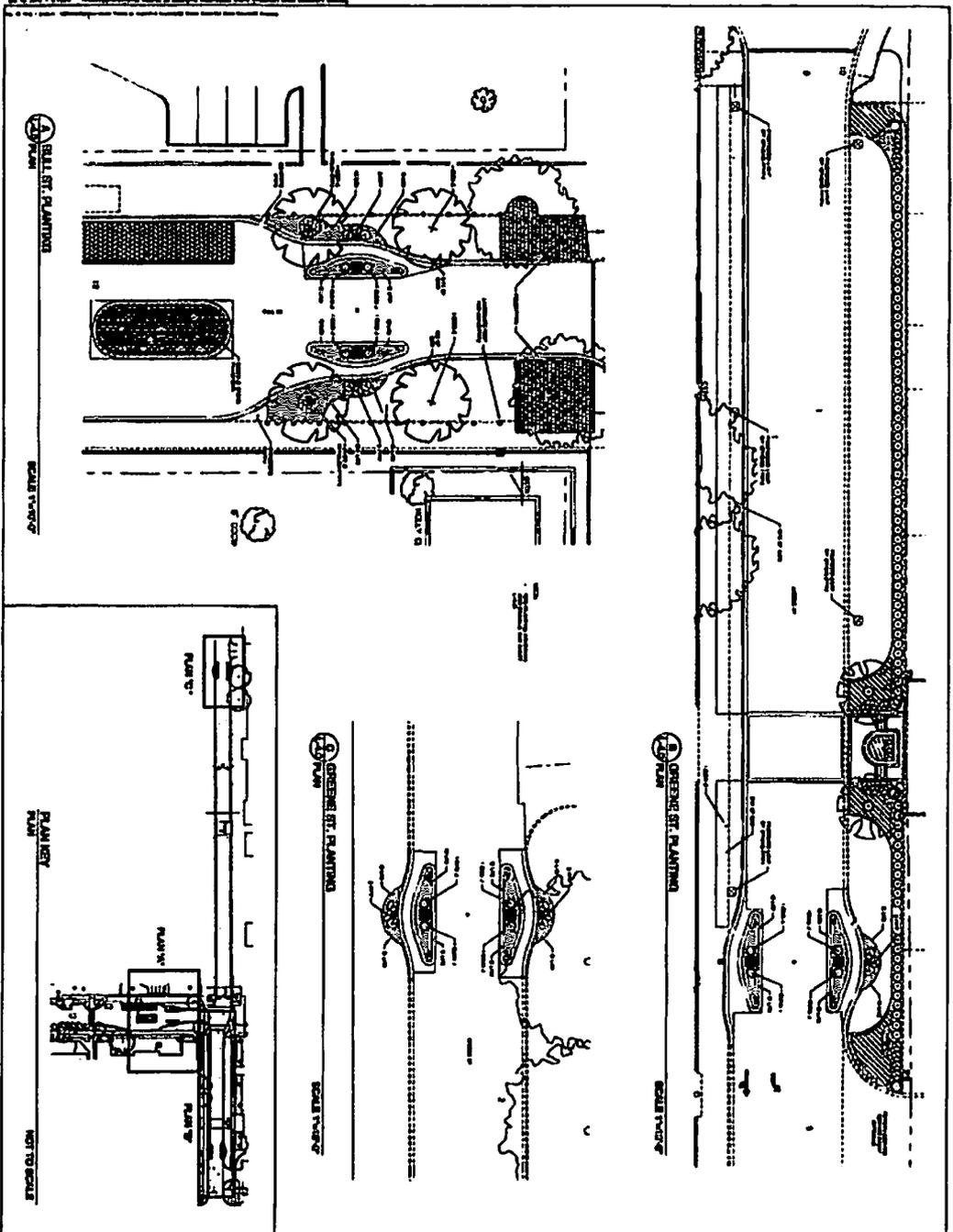
10 CONCRETE PAVERS  
SCALE: 1/4" = 1'-0"

**GRAVEBALL SCIENTIFIC**

UNIVERSITY OF SOUTH CAROLINA  
BULL STREET TURN AROUND  
BERKLAND COUNTY, NORTH CAROLINA

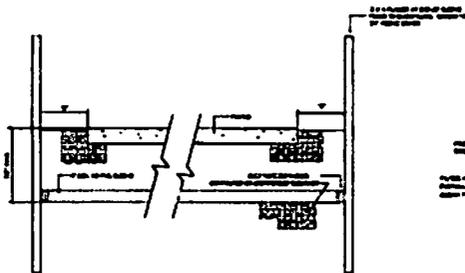
SITE DETAILS

L-3.0

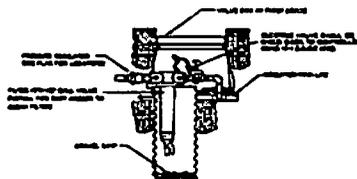




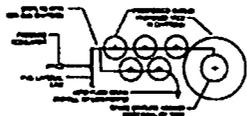




**A** SLEEVING DETAIL  
SECTION NOT TO SCALE



**B** ELECTRIC VALVE-DRIP ZONE  
SECTION NOT TO SCALE



**C** DRIPLINE IN SHRUBS  
PLAN NOT TO SCALE



**D** DRIPLINE IN GROUNDCOVER  
PLAN NOT TO SCALE

**IRIGATION NOTES**

1. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
2. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
3. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
4. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
5. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
6. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
7. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
8. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
9. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.
10. ALL IRRIGATION SYSTEMS TO BE INSTALLED PER IRRIGATION MANUAL.

**TRIMBALL**  
SCOTTERRILL

UNIVERSITY OF SOUTH CAROLINA  
BULL STREET TURN ARROUND  
REPLACES COUNTY, EXISTING IRRIGATION

IRRIGATION DETAILS

1-20